

Notice of meeting and agenda

Planning Local Review Body (Panel 2)

10.00 am Wednesday, 7th August, 2019

Dean of Guild Court Room - City Chambers

This is a public meeting and members of the public are welcome to attend

The law allows the Council to consider some issues in private. Any items under “Private Business” will not be published, although the decisions will be recorded in the minute.

Contacts

Email: blair.ritchie@edinburgh.gov.uk

Tel: 0131 529 4085

1. Appointment of Convener

- 1.1 The Local Review Body is invited to appoint a Convener from its membership.

2. Order of Business

- 2.1 Including any notices of motion and any other items of business submitted as urgent for consideration at the meeting.

3. Declaration of Interests

- 3.1 Members should declare any financial and non-financial interests they have in the items of business for consideration, identifying the relevant agenda item and the nature of their interest.

4. Minutes

- 4.1 Minute of the Local Review Body (Panel 2) of 15 May 2019 – 9 - 18
submitted for approval as a correct record

5. Local Review Body - Procedure

- 5.1 Note of the outline procedure for consideration of all Requests for Review 19 - 22

6. Requests for Review

- 6.1 15 Boswall Terrace, Edinburgh – Rear single storey extension and 2 new dormer windows front and rear – application no. 19/00014/FUL 23 - 50

- (a) Decision Notice and Report of Handling
- (b) Notice of Review and Supporting Documents

Note: The applicant has requested that the review proceed on the basis of an assessment of the review documents only.

6.2 7 - 9 Broomhouse Market, Edinburgh - Change of Use from shop to hot food takeaway – application no. 19/00633/FUL. 51 - 78

- (a) Decision Notice and Report of Handling
- (b) Notice of Review and Supporting Documents

Note: The applicant has requested that the review proceed on the basis of an assessment of the review documents only.

6.3 34 Brunstane Road, Edinburgh - Single storey flat roof extension to rear. New stair into existing attic. Extend attic with new flat roof dormer to rear – application no. 19/01352/FUL. 79 - 112

- (a) Decision Notice and Report of Handling
- (b) Notice of Review and Supporting Documents

Note: The applicant has requested that the review proceed on the basis of an assessment of the review documents only.

6.4 6 Davidson Park - Edinburgh - Alterations to the existing property and a new rear extension (as amended) – application no. 18/10505/FUL 113 - 190

- (a) Decision Notice and Report of Handling
- (b) Notice of Review and Supporting Documents

Note: The applicant has requested that the review proceed on the basis of an assessment of the review documents and a site inspection.

6.5 67 Lauriston Farm Road, Edinburgh - Erect 2 (two) one and a half 191 - 278

storey steading type semi-detached dwelling houses within the grounds – 18/10471/FUL

- (a) Decision Notice and Report of Handling
- (b) Notice of Review and Supporting Documents

Note: The applicant has requested that the review proceed on the basis of an assessment of the review documents only.

6.6 184 - 186 Queensferry Road, Edinburgh - Garage extension to industrial premises for vehicle and goods storage – application no. 19/00541/FUL 279 - 372

- (a) Decision Notice and Report of Handling
- (b) Notice of Review and Supporting Documents

Note: The applicant has requested that the review proceed on the basis of an assessment of the review documents only.

7. Extracts of Relevant Policies from the Edinburgh Local Development Plan

7.1 Extracts of Relevant Policies from the Edinburgh Local Development Plan for the above review cases 373 - 386

[Local Development Plan Online](#)

Edinburgh Local Development Plan Policy DES 1 (Design Quality and Context)

Edinburgh Local Development Plan Policy DES 4 (Development Design – Impact on Setting)

Edinburgh Local Development Plan Policy DES 5 (Development Design - Amenity)

Edinburgh Local Development Plan Policy DES 12 (Alterations and Extensions)

Edinburgh Local Development Plan Policy HOU 7 (Inappropriate Uses in Residential Areas)

Edinburgh Local Development Plan Policy RET 10 (Alternative

Use of Shop Units in Other Locations)

Edinburgh Local Development Plan Policy RET 11 (Food and Drink Establishments)

Edinburgh Local Development Plan Policy ENV 10 (Development in the Green Belt and Countryside)

Edinburgh Local Development Plan Policy Env 11 (Special Landscape Areas)

Edinburgh Local Development Plan Policy Env 15 (Sites of Local Importance)

Edinburgh Local Development Plan Policy Env 16 (Species Protection)

Edinburgh Local Development Plan Policy TRA 2 (Private Car Parking)

Edinburgh Local Development Plan Policy TRA 3 (Private Cycle Parking)

8. Non-Statutory Guidance

8.1	Guidance for Householders	387 - 412
8.2	Guidance for Businesses	413 - 434
8.3	Development in the Countryside and Green Belt	435 - 446
8.4	Edinburgh Design Guidance	447 - 592

Note: The above policy background papers are available to view on the Council's website www.edinburgh.gov.uk under Planning and Building Standards/local and strategic development plans/planning guidelines/conservation areas, or follow the links as above.

Laurence Rockey

Head of Strategy and Communications

Membership Panel

Councillor Chas Booth, Councillor Maureen Child, Councillor Rob Munn, Councillor Hal Osler and Councillor Cameron Rose

Information about the Planning Local Review Body (Panel 2)

The City of Edinburgh Planning Local Review Body (LRB) has been established by the Council in terms of the Town and Country Planning (Schemes of Delegation and Local Review Procedure) (Scotland) Regulations 2008. The LRB's remit is to determine any request for a review of a decision on a planning application submitted in terms of the Regulations.

The LRB comprises a panel of five Councillors drawn from the eleven members of the Planning Committee. The LRB usually meets every two weeks, with the members rotating in two panels of five Councillors.

It usually meets in the Dean of Guild Court Room in the City Chambers, High Street, Edinburgh. There is a seated public gallery and the meeting is open to all members of the public.

Further information

Members of the LRB may appoint a substitute from the pool of trained members of the Planning Committee. No other member of the Council may substitute for a substantive member. Members appointing a substitute are asked to notify Committee Services (as detailed below) as soon as possible

If you have any questions about the agenda or meeting arrangements, please contact Blair Ritchie, Committee Services, City of Edinburgh Council, Business Centre 2.1, Waverley Court, 4 East Market Street, Edinburgh EH8 8BG, Tel 0131 529 4085, email blair.ritchie@edinburgh.gov.uk.

A copy of the agenda and papers for this meeting will be available for inspection prior to the meeting at the main reception office, City Chambers, High Street, Edinburgh.

The agenda, minutes and public reports for this meeting and all the main Council committees can be viewed online by going to www.edinburgh.gov.uk/cpol.

Unless otherwise indicated on the agenda, no elected members of the Council, applicant, agent or other member of the public may address the meeting.

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Minutes

The City of Edinburgh Planning Local Review Body (Panel 2)

10.00 am, Wednesday 15 May 2019

Present: Councillors Booth, Cameron (substituting for Councillor Child), McLellan, Munn and Osler.

1. Appointment of Convener

Councillor Booth was appointed as Convener.

2. Minutes

To approve the minute of the Local Review Body (LRB Panel 2) of 27 March 2019 as a correct record.

3. Planning Local Review Body Procedure

Decision

To note the outline procedure for consideration of reviews.

(Reference – Local Review Body Procedure, submitted)

4. Request for Review – 8 Bellevue Crescent/East Scotland Street Lane (At Garage 32 Metres Southwest Of), Edinburgh

Details were submitted of a request for a review for the refusal of planning permission to change of use from domestic lock up/garage to class 4 business at garage 32 Metres Southwest of at 8 Bellevue Crescent East Scotland Street Lane, Edinburgh. Application No. 18/03340/FUL.

The request was considered by the City of Edinburgh Planning Local Review Body (LRB) at a meeting on Wednesday 15 May 2019.

Assessment

At the meeting on 15 May 2019, the LRB had been provided with copies of the notice of review, including a request that the review proceed on the basis of an assessment of the review documents and a site inspection. The LRB had also been provided with copies of the decision notice and the report of handling.

The LRB heard from the Planning Adviser who summarised the issues raised and presented the drawings of the development and responded to further questions.

The plans used to determine the application were numbered 01-03, Scheme 1, being the drawings shown under the application reference number 18/03340/FUL on the Council's Planning and Building Standards Online Services.

The LRB in their deliberations on the matter, considered the following:

- 1) The development plan, including the relevant policies of the Edinburgh Local Development Plan.
Edinburgh Local Development Plan Policy Hou 7 (Inappropriate Uses in Residential Areas)
Edinburgh Local Development Plan Policy Env 6 (Conservation Areas - Development)
Edinburgh Local Development Plan Policy Tra 2 (Private Car Parking)
- 2) Relevant Non-Statutory Guidelines.
'Guidance for Businesses'
- 3) The procedure used to determine the application.
- 4) The reasons for refusal and the arguments put forward in the request for a review.

Conclusion

The LRB considered all the arguments put before it in respect of the proposed planning application and discussion took place in relation to the following issues:

- That there was some concern regarding the advice that had been given to the applicant, however, the proposals were a clear breach of planning policy.
- That the history of the site indicated that nothing had been altered and there was no reason to overturn the decision by the Chief Planning Officer.

Having taken all the above matters into consideration and although there was some sympathy for the applicant, the LRB was of the opinion that no material considerations had been presented in the request for a review which would lead it to overturn the determination by the Chief Planning Officer.

Decision

To uphold the decision by the Chief Planning Officer to refuse planning permission.

Reasons for Refusal:

The proposal was contrary to the Edinburgh Local Development Plan Policy Hou 7 in respect of Inappropriate Uses in Residential Areas, as the Class 4 use would have a materially detrimental impact on residential amenity by the introduction of a commercial use, thereby intensifying the non-residential elements contained within the immediate vicinity.

(Reference – Decision Notice, Report of Handling and Notice of Review, submitted)

5. Request for Review – 3 Glasgow Road (At Land 24 Metres West Of), Newbridge

Details were submitted of a request for a review for the refusal of planning permission for the change of use of existing vacant garden ground to form light industrial units and

car sales yard at land 24 metres west of 3 Glasgow Road Newbridge Edinburgh.
Application No. 17/04517/PPP.

The request was considered by the City of Edinburgh Planning Local Review Body (LRB) at a meeting on Wednesday 15 May 2019.

Assessment

At the meeting on 15 May 2019, the LRB had been provided with copies of the notice of review, including a request that the review proceed on the basis of an assessment of the review documents only. The LRB had also been provided with copies of the decision notice and the report of handling.

The LRB heard from the Planning Adviser who summarised the issues raised and presented the drawings of the development and responded to further questions.

The plans used to determine the application were numbered 01-02, Scheme 1, being the drawings shown under the application reference number 17/04514/PPP on the Council's Planning and Building Standards Online Services.

The LRB in their deliberations on the matter, considered the following:

- 1) The development plan, including the relevant policies of the Edinburgh Local Development Plan.
Edinburgh Local Development Plan Des 1 (Design Quality and Context)
Edinburgh Local Development Plan Policy Emp 8 (Business and Industry Areas)
Edinburgh Local Development Plan Policy Tra 10 (New and Existing Roads)
- 2) The procedure used to determine the application.
- 3) The reasons for refusal and the arguments put forward in the request for a review.

Conclusion

The LRB considered all the arguments put before it in respect of the proposed planning application and discussion took place in relation to the following issues:

- That clarification was required about the location and if the proposed development involved a new access, or the widening of the existing access.
- That the area for the proposed development was near a busy junction and the development might generate more traffic.
- That there were proposals for the construction of a new M9 junction in the vicinity and the proposed change of use might complicate the issue, as advised by Transport Scotland.
- That the Council's Transport professional's objection could not be put aside in this instance.

Having taken all the above matters into consideration, the LRB was of the opinion that no material considerations had been presented in the request for a review which would lead it to overturn the determination by the Chief Planning Officer.

Decision

To uphold the decision by the Chief Planning Officer to refuse planning permission.

Reasons for Refusal:

The proposed development was contrary to the Edinburgh Local Development Plan Policy Tra 10: New and Existing Roads as the new commercial access point in this location would restrict the scope of improvements in the future for the new M9 junction.

(Reference – Decision Notice, Report of Handling and Notice of Review, submitted)

6. Request for Review – 26 (1F2) Links Gardens, Edinburgh

Details were submitted of a request for a review for the refusal of planning permission to replace the existing white timber and aluminium windows with white uPVC windows (as amended) at 1F2 26 Links Gardens Edinburgh. Application No. 18/09997/FUL

The request was considered by the City of Edinburgh Planning Local Review Body (LRB) at a meeting on Wednesday 15 May 2019.

Assessment

At the meeting on 15 May 2019, the LRB had been provided with copies of the notice of review, including a request that the review proceed on the basis of an assessment of the review documents only. The LRB had also been provided with copies of the decision notice and the report of handling.

The LRB heard from the Planning Adviser who summarised the issues raised and presented the drawings of the development and responded to further questions.

The plans used to determine the application were numbered 01 and 02, 03A and 04A, Scheme 2, being the drawings shown under the application reference number 18/09997/FUL on the Council's Planning and Building Standards Online Services.

The LRB in their deliberations on the matter, considered the following:

- 1) The development plan, including the relevant policies of the Edinburgh Local Development Plan.
Edinburgh Local Development Plan Des 12 (Alterations and Extensions)
Edinburgh Local Development Plan Policy Env 6 (Conservation Areas - Development)
- 2) Relevant Non-Statutory Guidelines.
'Listed Buildings and Conservation Areas'
The Leith Conservation Area Character Appraisal
- 3) The procedure used to determine the application.

- 4) The reasons for refusal and the arguments put forward in the request for a review.

Conclusion

The LRB considered all the arguments put before it in respect of the proposed planning application and discussion took place in relation to the following issues:

- Clarification was sought that the application was within the Leith Conservation Area and that the reason for refusal was based both on the fenestration style and the proposed use of uPVC in this location.
- Clarification was also sought regarding the applicant's option to simply replace the existing windows like for like, which would still result in a non-traditional window pattern.
- The Panel expressed their sympathy regarding the need to replace the windows due to their poor condition, but on balance it was felt that it would be a missed opportunity to get a better solution if this application was approved.
- The policy and guidelines on windows in a conservation area were clear and the proposals did not comply with these.

Having taken all the above matters into consideration, the LRB was of the opinion that no material considerations had been presented in the request for a review which would lead it to overturn the determination by the Chief Planning Officer.

Decision

To uphold the decision by the Chief Planning Officer to refuse planning permission.

Reasons for Refusal:

The proposal was not of an acceptable form and design, would be detrimental to neighbourhood character and would have a detrimental effect on the character and appearance of the conservation area. It would not comply with Local Development Plan Policies Env 6 or Des 12 or with non-statutory guidance.

(Reference – Decision Notice, Report of Handling and Notice of Review, submitted)

7. Request for Review – 16 Lutton Place (St Peter's Church), Edinburgh

Details were submitted of a request for a review for the refusal of planning permission for the removal of 4 antennas, 1 ground-based cabinet and ancillary works; installation of 3 antennas, 1 ground-based cabinet and ancillary works at St Peters Church 16 Lutton Place Edinburgh. Application No. 18/10084/FUL.

The request was considered by the City of Edinburgh Planning Local Review Body (LRB) at a meeting on Wednesday 15 May 2019.

Assessment

At the meeting on 15 May 2019, the LRB had been provided with copies of the notice of review, including a request that the review proceed on the basis of assessment of

the review documents only. The LRB had also been provided with copies of the decision notice and the report of handling.

The LRB heard from the Planning Adviser who summarised the issues raised and presented the drawings of the development and responded to further questions.

The plans used to determine the application were numbered 01,02, 03,04,05,06, 07, 08, 09, Scheme 1, being the drawings shown under the application reference number 18/10084/FUL on the Council's Planning and Building Standards Online Services.

The LRB in their deliberations on the matter, considered the following:

- 1) The development plan, including the relevant policies of the Edinburgh Local Development Plan
Edinburgh Local Development Plan Policy ENV 4 (Listed Buildings)
Edinburgh Local Development Plan Policy ENV 6 (Conservation Areas – Development)
Edinburgh Local Development Plan Policy RS 7 (Telecommunications)
- 2) Relevant Non-Statutory Guidelines.
'Listed Buildings and Conservation Areas'
- 3) The procedure used to determine the application.
- 4) The reasons for refusal and the arguments put forward in the request for a review.

Conclusion

The LRB considered all the arguments put before it in respect of the proposed planning application and discussion took place in relation to the following issues:

- That it might be advantageous for there to be a site visit to get a better understanding of the position of the antennae and the cabinets.
- There was some confusion as Historic Environment Scotland's were opposed to the original antennae, but if the application was refused, the present antennae would remain.
- That the present antennae would eventually need to be upgraded and that this could result in new equipment being located in additional locations within the conservation area.
- If the applicant was to submit an alternative design, then it might comply with regulations.
- That the current antennae must have been given consent and was therefore considered acceptable.
- That Historic Environment Scotland was opposed to the development as it would be wider and more visually intrusive than the existing ground-based cabinet and existing antennae.

- That the proposed new antennae were of a different size and position to those that are existing and would protrude forward of the arches on the spire, making the antennae much more visible.

Having taken all these matters into consideration and although some of the members were of the opinion that the officer's recommendations should be upheld, the LRB determined that:

- The replacement equipment would not be significantly more visible and although it was not a characteristic feature of churches in the conservation area, it did not harm the character and appearance of the conservation area. Therefore, it was not contrary to the Local Development Plan Policy Env 6.
- The replacement equipment would not be significantly larger or more conspicuous and would not adversely affect the special architectural and historic interest of the listed building. Therefore, it was not contrary to the Local Development Plan Policy Env 4.
- The siting and design of the proposal will not harm the built heritage of the city as it would not significantly damage the character of the listed building. Therefore, the proposal was not contrary to the Local Development Plan Policy RS 7.
- The proposal was not contrary to non-statutory guidelines on Listed Buildings and Conservation Areas.

It therefore overturned the decision of the Chief Planning Officer and granted planning permission.

Motion

To uphold the decision by the Chief Planning Officer to refuse planning permission.

Reasons for Refusal:

1. The proposal was contrary to the Local Development Plan Policy Env 6 in respect of Conservation Areas - Development, as the replacement equipment would be more visible and was not a characteristic feature of churches in the conservation area. As such the proposal harmed the character and appearance of the conservation area.
 2. The proposal was contrary to the Local Development Plan Policy Env 4 in respect of Listed Buildings - Alterations and Extensions, as the replacement equipment was larger and more conspicuous and adversely affected the special architectural and historic interest of the listed building.
 3. The proposal was contrary to the Local Development Plan Policy RS 7 in respect of Telecommunications, as the siting and design of the proposal would harm the built heritage of the city as it would significantly damage the character of the listed building.
- moved by Councillor Booth, seconded by Councillor Munn.

Amendment

To not uphold the decision by the Chief Planning Officer and to grant planning permission subject to:

The following informatives:

- (a) The development hereby permitted should be commenced no later than the expiration of three years from the date of this consent.
 - (b) No development should take place on the site until a 'Notice of Initiation of Development' had been submitted to the Council stating the intended date on which the development was to commence. Failure to do so constituted a breach of planning control under section 123(1) of the Town and Country Planning (Scotland) Act 1997.
 - (c) As soon as practicable upon the completion of the development of the site, as authorised in the associated grant of permission, a Notice of Completion of Development must be given in writing to the Council.
- moved by Councillor Osler, seconded by Councillor McLellan.

Voting

For the motion - 2 votes

(Councillors Booth and Munn.)

For the amendment - 3 votes

(Councillors Cameron, McLellan and Osler.)

Decision

To not uphold the decision by the Chief Planning Officer and to grant planning permission subject to:

The following informatives:

- (a) The development hereby permitted should be commenced no later than the expiration of three years from the date of this consent.
- (b) No development should take place on the site until a 'Notice of Initiation of Development' had been submitted to the Council stating the intended date on which the development was to commence. Failure to do so constituted a breach of planning control under section 123(1) of the Town and Country Planning (Scotland) Act 1997.
- (c) As soon as practicable upon the completion of the development of the site, as authorised in the associated grant of permission, a Notice of Completion of Development must be given in writing to the Council.

Reasons

The proposals were not contrary to LDP Policy Env 4 (Listed Building – Alterations and Extensions), LDP Policy Env 6 (Conservation Areas – Development), and LDP Policy RS 7 (Telecommunications) and Non-Statutory Guidelines Listed Buildings and Conservation Areas. The Panel determined that the removal of the most prominent

antennae and the minor increase in size of the new equipment in comparison to the existing equipment, would not result in unacceptable detriment to the listed building or the conservation area, and therefore the operational need of improving the telecoms service to individuals and businesses took priority.

The determination did not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

(Reference – Decision Notice, Report of Handling and Notice of Review, submitted)

8. Request for Review – 74-76 Newhaven Road, Edinburgh

Details were submitted of a request for a review for the refusal of planning permission to alter fire damaged public house by removal of existing attic floor and form two temporary extensions using shipping containers at 74 - 76 Newhaven Road Edinburgh. Application No. 18/09350/FUL.

The request was considered by the City of Edinburgh Planning Local Review Body (LRB) at a meeting on Wednesday 15 May 2019.

Assessment

At the meeting on 15 May 2019, the LRB had been provided with copies of the notice of review, including a request that the review proceed on the basis of an assessment of the review documents and a site inspection. The LRB had also been provided with copies of the decision notice and the report of handling.

The LRB heard from the Planning Adviser who summarised the issues raised and presented the drawings of the development and responded to further questions.

The plans used to determine the application were numbered 01, 02, 03 and 04, Scheme 1, being the drawings shown under the application reference number 18/09350/FUL on the Council's Planning and Building Standards Online Services.

The LRB in their deliberations on the matter, considered the following:

- 1) The development plan, including the relevant policies of the Edinburgh Local Development Plan.
Edinburgh Local Development Plan Des 1 (Design Quality and Context)
Edinburgh Local Development Plan Des 10 (Waterside Development)
Edinburgh Local Development Plan Des 12 (Alterations and Extensions)
- 2) The procedure used to determine the application.
- 3) The reasons for refusal and the arguments put forward in the request for a review.

Conclusion

The LRB considered all the arguments put before it in respect of the proposed planning application and discussion took place in relation to the following issues:

- That a site visit might be beneficial.

- It was noted that the premises have been inactive for some time.
- Clarification was sought as to the use of the word temporary in the application title, and what this would mean for the development. It was advised that, at the expiry of the temporary period the proposed extensions would need to be removed or a further application submitted for their retention.
- It was confirmed that the building had been derelict for some time, but was fenced off and not a public safety issue.
- All were in agreement that it would be good to see the site redeveloped, but this was not an appropriate form of development for this location.

Having taken all the above matters into consideration, the LRB was of the opinion that no material considerations had been presented in the request for a review which would lead it to overturn the determination by the Chief Planning Officer.

Decision

To uphold the decision by the Chief Planning Officer to refuse planning permission.

Reasons for Refusal:

1. The proposal was contrary to the Local Development Plan Policy Des 1 in respect of Design Quality and Context, as the proposed extension did not respect either the character or appearance of the surrounding area.
2. The proposal was contrary to the Local Development Plan Policy Des 12 in respect of Alterations and Extensions, as the materials and detailing were out of character with the existing dwelling and it would be detrimental to neighbouring character and amenity.
3. The proposal was contrary to the Local Development Plan Policy Des 10 in respect of Waterside Development, as it would not provide an attractive frontage to the Water of Leith.

(Reference – Decision Notice, Report of Handling and Notice of Review, submitted)

City of Edinburgh Planning Local Review Body (the LRB)

General

1. Each meeting of the LRB shall appoint a Convener. A quorum of a meeting of the LRB will be three members.
2. The Clerk will introduce and deal with statutory items (Order of Business and Declarations of Interest) and will introduce each request for review.
3. The LRB will normally invite the planning adviser to highlight the issues raised in the review.
4. The LRB will only accept new information where there are exceptional circumstances as to why it was not available at the time of the planning application. The LRB will formally decide whether this new information should be taken into account in the review.

The LRB may at any time ask questions of the planning adviser, the Clerk, or the legal adviser, if present.

5. Having considered the applicant's preference for the procedure to be used, and other information before it, the LRB shall decide how to proceed with the review.
6. If the LRB decides that it has sufficient information before it, it may proceed to consider the review using only the information circulated to it. The LRB may decide it has insufficient information at any stage prior to the formal decision being taken.
7. If the LRB decides that it does not have sufficient information before it, it will decide which one of, or combination of, the following procedures will be used:
 - further written submissions;
 - the holding of one or more hearing sessions; and/or
 - an accompanied or unaccompanied inspection of the land to which the review relates.
8. Whichever option the LRB selects, it shall comply with legislation set out in the Town and Country Planning (Schemes of Delegation and Local Review Procedure) (Scotland) Regulations 2013 (the Regulations).

The LRB may hold a pre-examination meeting to decide upon the manner in which the review, or any part of it, is to be conducted.

If the LRB decides to seek further information, it will specify what further information is required in a written notice to be issued to the applicant, Chief Planning Officer and any interested parties. The content of any further submissions must be restricted to the matters specified in the written notice.

In determining the outcome of the review, the LRB will have regard to the requirements of paragraphs 11 and 12 below.

9. The LRB may adjourn any meeting to such time and date as it may then or later decide.

Considering the Request for Review

10. Unless material considerations indicate otherwise, the LRB's determination must be made in accordance with the development plan that is legally in force. Any un-adopted development plan does not have the same weight but will be a material consideration. The LRB is making a new decision on the application and must take the 'de novo' approach.
11. The LRB will:
 - Identify the relevant policies of the Development Plan and interpret any provisions relating to the proposal, for and against, and decide whether the proposal accords with the Development Plan;
 - identify all other material planning considerations relevant to the proposal and assess the weight to be given to these, for and against, and whether there are considerations of such weight as to indicate that the Development Plan should not be given priority;
 - take into account only those issues which are relevant planning considerations;
 - ensure that the relevant provisions of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 are assessed when the review relates to a listed building and/or conservation area; and
 - in coming to a determination, only review the information presented in the Notice of Review or that from further procedure.
12. The LRB will then determine the review. It may:
 - uphold the officer's determination;
 - uphold the officer's determination subject to amendments or additions to the reasons for refusal;
 - grant planning permission, in full or in part;
 - impose conditions, or vary conditions imposed in the original determination;
 - determine the review in cases of non-determination.

Procedure after determination

13. The Clerk will record the LRB's decision.
14. In every case, the LRB must give notice of the decision ("a decision notice") to the applicant. Every person who has made, and has not withdrawn, representations in respect of the review, will be notified of the location where a copy of the decision notice is available for inspection. Depending on the decision, the planning adviser may provide assistance with the framing of conditions of consent or with amended reasons for refusal.
15. The Decision Notice will comply with the requirements of regulation 22.
16. The decision of the LRB is final, subject to the right of the applicant to question the validity of the decision by making an application to the Court of Session. Such application must be made within 6 weeks of the date of the decision. The applicant will be advised of these and other rights by means of a Notice as specified in Schedule 2 to the regulations.

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Sb-ad
 FAO: Laura Bishop
 32 Silverknowes Gardens
 Edinburgh
 Lothian
 EH4 5NB

Mr R And Mrs S Strain
 15 Boswall Terrace
 Edinburgh
 Scotland
 EH5 2EE

Decision date: 24 April 2019

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS
 DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013**

Rear single storey extension and 2 new dormer windows front and rear.
 At 15 Boswall Terrace Edinburgh EH5 2EE

Application No: 19/00014/FUL

DECISION NOTICE

With reference to your application for Planning Permission registered on 3 January 2019, this has been decided by **Local Delegated Decision**. The Council in exercise of its powers under the Town and Country Planning (Scotland) Acts and regulations, now determines the application as **Refused** in accordance with the particulars given in the application.

Any condition(s) attached to this consent, with reasons for imposing them, or reasons for refusal, are shown below;

Conditions:-

Reason for Refusal:-

1. The proposed development is contrary to the non-statutory Guidance for Householders. The proposed front dormer, occupying 45% of the roof width, would represent a significantly dominant and bulky feature on the roof, upsetting the character and appearance of the dwellinghouse.
2. The proposed development is contrary to Edinburgh Local Development Plan Policy Des 12 in respect of Alterations and Extensions. The proposal would introduce

an uncharacteristic feature to the street and surrounding area which, on the whole, is not characterised by front elevation dormers.

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.

Drawings 01-03, represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

The proposal does not comply with the local development plan or non-statutory guidance. It is not acceptable. There are no material considerations upon which to justify approval.

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Peter Martin directly on 0131 469 3664.

D R Leech

Chief Planning Officer
PLACE
The City of Edinburgh Council

NOTES

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months beginning with the date of this notice. The Notice of Review can be made online at www.eplanning.scot or forms can be downloaded from that website. Paper forms should be addressed to the City of Edinburgh Planning Local Review Body, G.2, Waverley Court, 4 East Market Street, Edinburgh, EH8 8BG. For enquiries about the Local Review Body, please email localreviewbody@edinburgh.gov.uk.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

Report of Handling

**Application for Planning Permission 19/00014/FUL
At 15 Boswall Terrace, Edinburgh, EH5 2EE
Rear single storey extension and 2 new dormer windows
front and rear.**

Item	Local Delegated Decision
Application number	19/00014/FUL
Wards	B04 - Forth

Summary

The proposal does not comply with the local development plan or non-statutory guidance. It is not acceptable. There are no material considerations upon which to justify approval.

Links

<u>Policies and guidance for this application</u>	LDPP, LDES12, NSG, NSHOU,
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Report of handling

Recommendations

1.1 It is recommended that this application be Refused for the reasons below.

Background

2.1 Site description

The application property is a semi-detached dwellinghouse, located on the east side of Boswall Terrace.

2.2 Site History

There is no relevant planning history for this site.

Main report

3.1 Description Of The Proposal

The application proposes the formation of one dormer on the front elevation and one dormer on the rear elevation.

The proposal includes a single storey rear extension. This is permitted development under class 1A of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 (as amended). No further assessment of its merits is required.

3.2 Determining Issues

Section 25 of the Town and Country Planning (Scotland) Act 1997 states - Where, in making any determination under the planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material considerations indicate otherwise.

Do the proposals comply with the development plan?

If the proposals do comply with the development plan, are there any compelling reasons for not approving them?

If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

3.3 Assessment

To address these determining issues, it needs to be considered whether:

- a) The proposed scale, form and design is acceptable and will not be detrimental to neighbourhood character;
- b) The proposal will cause an unreasonable loss to neighbouring amenity;
- c) Any impacts on equalities or human rights are acceptable;
- d) Any comments raised have been addressed.

a) Policy Des 12 of the Edinburgh Local Development Plan states that planning permission will be granted for alterations and extensions to existing buildings which in their design and form, choice of materials and positioning are compatible with the character of the existing building and will not be detrimental to neighbourhood amenity and character.

The proposed rear elevation dormer is acceptable.

Front elevation dormers should be of such a size that they do not dominate the form of the roof. The non-statutory Guidance for Householders specifically advises that single dormers should be no greater in width than one third of the roof width. The proposed front elevation dormer would exceed this criterion, occupying 45% of the roof width. The proposed front dormer would represent a significantly dominant and bulky feature on the roof, upsetting the character and appearance of the dwellinghouse.

There are no examples of similar front dormers within the immediate vicinity of the application property. The proposal introduces an uncharacteristic feature to the street and surrounding area which, on the whole, is not characterised by front elevation dormers. The proposal, if granted, would introduce an incongruous feature to the street which would be disruptive and highly visible. This would be contrary to Policy Des 12. It should be noted that Policy Des 12 seeks to protect neighbourhood amenity and character for areas which are not conservation areas.

The proposal is of an unacceptable scale, form and design and will be detrimental to neighbourhood character, contrary to Local Development Plan Policy Des 12.

b) The proposal fully accords with the criteria in the 'Guidance for Householders' in relation to the protection of neighbouring amenity.

c) The application was assessed in terms of equalities and human rights. No impact was identified.

d) Public comments

Material Representations:

- The proposed front dormer is contrary to the Edinburgh Local Development Plan - this has been addressed in 3.3a;
- The proposed front dormer will adversely affect the streetscape - this has been addressed in 3.3a.

It is recommended that this application be Refused for the reasons below.

3.4 Conditions/reasons/informatives

Reason for Refusal:-

1. The proposed development is contrary to the non-statutory Guidance for Householders. The proposed front dormer, occupying 45% of the roof width, would represent a significantly dominant and bulky feature on the roof, upsetting the character and appearance of the dwellinghouse.
2. The proposed development is contrary to Edinburgh Local Development Plan Policy Des 12 in respect of Alterations and Extensions. The proposal would introduce an uncharacteristic feature to the street and surrounding area which, on the whole, is not characterised by front elevation dormers.

Risk, Policy, compliance and governance impact

4.1 Provided planning applications are determined in accordance with statutory legislation, the level of risk is low.

Equalities impact

5.1 The equalities impact has been assessed as follows:

The application has been assessed and has no impact in terms of equalities or human rights.

Consultation and engagement

6.1 Pre-Application Process

There is no pre-application process history.

6.2 Publicity summary of representations and Community Council comments

The application attracted one representation, objecting to the planning application.

This representation was from the Granton & District Community Council.

A full assessment of the representation can be found in the main report in the Assessment section.

Background reading / external references

- To view details of the application go to

- [Planning and Building Standards online services](#)

**Statutory Development
Plan Provision**

Edinburgh Local Development Plan.

Date registered

3 January 2019

Drawing numbers/Scheme

01-03

Scheme 1

David R. Leslie
Chief Planning Officer
PLACE
The City of Edinburgh Council

Contact: Peter Martin, Planning officer
E-mail:peter.martin@edinburgh.gov.uk Tel:0131 469 3664

Links - Policies

Relevant Policies:

Relevant policies of the Local Development Plan.

LDP Policy Des 12 (Alterations and Extensions) sets criteria for assessing alterations and extensions to existing buildings.

Relevant Non-Statutory Guidelines

Non-statutory guidelines 'GUIDANCE FOR HOUSEHOLDERS' provides guidance for proposals to alter or extend houses or flats.

Appendix 1

Consultations

No Consultations received.

END

Granton & District Community Council

3, Fraser Crescent
Edinburgh
EH5 2AN

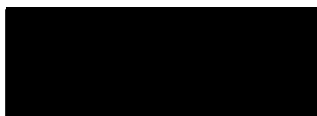
Planning & 11/2/2019

12 FEB 2019

Building Standards

19/00014/FUL
15, Boswall Terrace

Dear Sir/Madam
The Community Council formally objects to this application as a statutory
consultee. Our reason for objection is that the front dormer window planned
will adversely affect the streetscape and is contrary to the LDP.



L. Forsyth
Planning (GDCC)

Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Tel: 0131 529 3550 Fax: 0131 529 6206 Email: planning.systems@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100167591-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:

Ref. Number: You must enter a Building Name or Number, or both: *

First Name: * Building Name:

Last Name: * Building Number:

Telephone Number: * Address 1 (Street): *

Extension Number: Address 2:

Mobile Number: Town/City: *

Fax Number: Country: *

Postcode: *

Email Address: *

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="Robin"/>	Building Number:	<input type="text" value="15"/>
Last Name: *	<input type="text" value="Strain"/>	Address 1 (Street): *	<input type="text" value="Boswall Terrace"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Edinburgh"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="UK"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="EH5 2EE"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text"/>		

Site Address Details

Planning Authority:	<input type="text" value="City of Edinburgh Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="15 BOSWALL TERRACE"/>
Address 2:	<input type="text"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="EDINBURGH"/>
Post Code:	<input type="text" value="EH5 2EE"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="676239"/>	Easting	<input type="text" value="323798"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Application for Planning Permission 19/00014/FUL at 15 Boswall Terrace, Edinburgh, EH5 2EE. Rear single storey extension and 2 new dormer windows front and rear.

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please refer to attached Statement on the Grounds for Appeal and Other Supporting Information.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Statement on the Grounds for Appeal Photographs of dormer windows in the local area.

Application Details

Please provide details of the application and decision.

What is the application reference number? *

19/00014/FU:L

What date was the application submitted to the planning authority? *

03/01/2019

What date was the decision issued by the planning authority? *

24/04/2019

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Ms Anne Cunningham

Declaration Date: 01/06/2019

STATEMENT ON THE GROUNDS OF APPEAL

REFUSAL OF PLANNING PERMISSION FOR THE CREATION OF A FRONT DORMER WINDOW AT 15 BOSWALL TERRACE, EDINBURGH, EH5 2EE

APPELLANT: Mr Robin Strain

ARCHITECT: Laura Bishop, SB:AD Architecture

PLANNING CONSULTANT: Anne Cunningham, Lowland Planning Associates

PLANNING HISTORY

Mr and Mrs Robin Strain submitted proposals to the City of Edinburgh Council to create a single-storey rear extension to form an enhanced open plan kitchen/dining/family room that occupies the full width of the ground floor. This also gives access to the garden and patio. This element of the application falls into the realms of Permitted Development as does a rear dormer window applied for in the original submission. There is no need therefore for the Local Review Body to concentrate on those aspects of the original application, but to singularly focus on the front dormer window which has been refused. However, as a whole, all the parts of the planning application add up to a sensitively designed makeover of this family home.

To date the semi-detached house at 15 Boswall Terrace has remained unaltered externally since it was built in the 1930s. This part of north Edinburgh does not form part of a Conservation Area and neither is the building, nor it's neighbours, Listed.

TOWN PLANNING RELEVANCE

The Boswall area of north Edinburgh is a great example of the leafy suburbia that was exemplified by the Garden City Movements' (GCM) aim to create a people-centered urban/suburban community with all the benefits of good housing , clean air and green spaces. The GCM was the foundation on which the Town and Country Planning Association was created. The high ideals of the Movement are still as relevant today as they were in the last century.

It is clearly important to ensure the urban landscape of this part of Edinburgh is maintained as an area of family homes , respecting this history and ethos of how it was designed, but most

importantly, we must recognise the evolution of design, living habits and the needs of a family life in today's world.

With this in mind it is reasonable to assume that buildings will change through time. It is fortunate in the case of 15 Boswall Terrace that the original structure is as it was designed and without indiscriminate alterations to it by previous owners. There is a great opportunity here to allow a modest, well-designed extension and modifications to take place in a way that is not ad hoc. The appellants have commissioned a chartered architect to design the proposals and this has ensured that the new development is attractive, workable and in scale with the original house.

PLANNING POLICY and SUPPLEMENTARY GUIDANCE

Section 25 of the Town and Country Planning (Scotland) Act 1997 states that the Development Plan must form the basis of decision making and should be adhered to unless material considerations dictate otherwise. Fortunately we do not live in a world where one size fits all. Planning policy and guidance is just that- a guide. In most cases having a guide to follow is helpful, in other cases it can serve to impede innovation, imagination and a better way forward. That is why we have the 'material considerations' caveat in the '97 Act that allows for variance. It is argued here that the individual house, in relation to the proposals, should be the basis of judging what is good (approvable) and what is bad (refusable). Does the new front dormer do a dis-service to the building or the area? On examination of the plans-it does not.

WHY IS THE FRONT DORMER REQUIRED?

The new dormer windows to the front and rear of the house are essential to gain headroom in the attic to create an en-suite master bedroom for Robin and Sharon Strain. It's a simple physical necessity for compliance with Building standards. Rooflights to either side of the roof just won't work. Today we all see the benefits of using what is traditionally an underused space in houses that attics often are. They can be a heat sink and very wasteful in energy terms and creating an actual room (as opposed to an unauthorised sleeping area) will ensure that the insulation levels required in a proper living space must be incorporated into the build or a Warrant will not be granted. Sustainability in action is preferable to policies that stay on the page and not implemented.

WHY ARE THE PROPOSED ALTERATIONS REQUIRED?

Robin and Sharon have a young, growing family who enjoy their life in this part of the city. The children are schooled in the area and Sharon Strain is also a registered child minder working from

home. This child minding service is so important to working families in the Boswall area and beyond. As well as being settled here, their modest semi is very stretched for space and there is a real need to extend the floor area of the house in order that living standards for them and the visiting children are improved.

The new rear extension(PD) will really lift the ground floor living space. It will be flooded with light and the back garden will become as one with the inside of the house. If we refer back to the Garden City concept, what could be more in keeping with those principles than the creation of light and space?

Mr and Mrs Strain are very conscious of sustainability issues (as are the architect and planning agent) and here there are sound sustainability arguments for extending an existing property rather than move to perhaps a new, larger, house built on greenfield land to achieve the same result . Edinburgh has stretched physically to almost as far as it can go. We collectively must use to the maximum what good housing we already have. This will help ensure that, as a land-use, housing does not have to be built into the countryside, we do not have to extend transport corridors, physical infrastructure, build more schools, shops and community facilities. It is sustainability in practice and the Council should wholly support this type of proposal.

THE FRONT DORMER

The CEC guidance on extensions etc. seeks to prevent unattractive dormers to the front of buildings. This of course is laudible as we all know of very poor examples of such developments. However, despite the front dormer proposed for 15 Boswall Terrace being (essentially) sizeable, it does not look out of place, it does not appear to detract from the house and in fact it looks like it could have been designed like that originally. Because something does not fit into the measurements given in the Supplementary Guidance as being acceptable, it does not make it wrong. Each proposal on it's merits is a long-standing precept of the Town Planning profession. As stated above, one size does not fit all.

If you examine the front elevations of the house as existing and as proposed, you will note the careful positioning of the dormer to align perfectly with the the fenestration on the ground and 1st floors of the property. This vertical emphasis and sensitive placement of the new window in the attic is what ensures it's visual amenity s opposed to to it's size.

In the Report of Handling a concern is raised on the negative impact the proposed dormer would have on the amenity of the area and that there are no other such additions to houses in the locale. This, frankly, is not the case. There are many examples of roof space alterations in the Boswall area and it's adjoining streets. Some of them are very unattractive indeed. If Members can look at the photographs of various examples of dormer windows close to the appeal site, it can be readily seen that there are more than a few of them. A location plan showing those examples is also attached. Some of them, especially the side dormers on the hipped roofs, are the proverbial carbuncles that should be avoided! They are awful from all viewpoints, front, side and back. It is worth pointing out

that a well designed front dormer, created for very good reasons, is far superior a proposition than those locally which have gained approval(or not!) in the past.

CONCLUSION

Members must take a de novo approach to assessing this appeal. We trust that common sense and fairness will prevail in this instance. The applicants and their architect have done everything properly and the have submitted plans that should be approved by the LRB Committee. I strongly commend this proposal for the erection of a front dormer window at 15 Boswall Terrace to you.

Anne Cunningham MRTPI

March 2019

Proposal Details

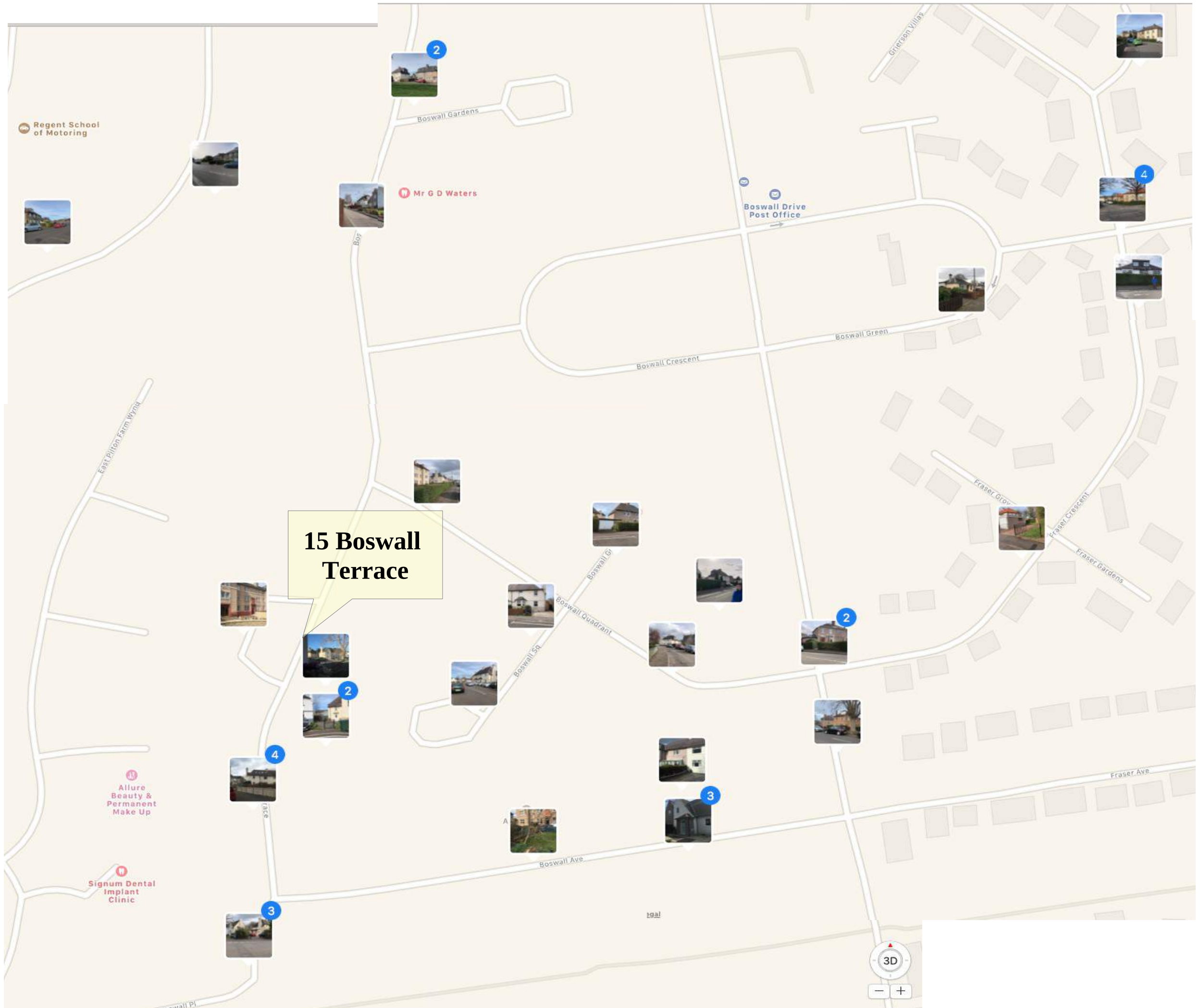
Proposal Name	100167591
Proposal Description	Creation of a front dormer window at 15 Boswall Terrace, Edinburgh.
Address	15 BOSWALL TERRACE, EDINBURGH, EH5 2EE
Local Authority	City of Edinburgh Council
Application Online Reference	100167591-001

Application Status

Form	complete
Main Details	complete
Checklist	complete
Declaration	complete
Supporting Documentation	complete
Email Notification	complete

Attachment Details

Notice of Review	System	A4
Statement on the Grounds for Appeal	Attached	A4
Photos	Attached	Not Applicable
Notice_of_Review-2.pdf	Attached	A0
Application_Summary.pdf	Attached	A0
Notice of Review-001.xml	Attached	A0



15 Boswall Terrace

Regent School of Motoring

Mr G D Waters

Boswall Drive Post Office

Allure Beauty & Permanent Make Up

Signum Dental Implant Clinic



52 Boswall Terrace Edinburgh EH5 2EF

Ref. No: 17/06067/FUL | Received: Thu 28 Dec 2017 | Validated: Thu 28 Dec 2017 | Status: Application Granted



Page 45

25 Boswall Drive: Ref. No: 00/01238/FUL | Received: Tue 18 Apr 2000 | Validated: Tue 18 Apr 2000 | Status: Application Granted



Boswall Gardens:



3 Boswall Gardens Edinburgh EH5 2BN

Ref. No: 07/01574/FUL | Received: Wed 25 Apr 2007 | Validated: Wed 25 Apr 2007 | Status: Application Granted

19 Boswall Gardens Edinburgh EH5 2BN

Ref. No: 99/01426/FUL | Received: Tue 11 May 1999 | Validated: Fri 21 May 1999 | Status: Application Granted

20 Boswall Gardens Edinburgh EH5 2BN

Ref. No: 01/02788/FUL | Received: Mon 16 Jul 2001 | Validated: Mon 16 Jul 2001 | Status: Application Granted

21 Boswall Gardens Edinburgh EH5 2BN

Ref. No: 16/03225/FUL | Received: Thu 30 Jun 2016 | Validated: Tue 26 Jul 2016 | Status: Application Granted

Boswall Quadrant: house No 2 and 4. No references on the planning portal



Grierson Crescent:

47 Grierson Crescent Edinburgh EH5 2AY

Ref. No: 10/02548/FUL | Received: Fri 03 Sep 2010 | Validated: Fri 03 Sep 2010 | Status: Application Granted

51 Grierson Crescent Edinburgh EH5 2AY

Ref. No: 03/00211/FUL | Received: Mon 27 Jan 2003 | Validated: Mon 27 Jan 2003 | Status: Application Granted



19 Grierson Crescent Edinburgh EH5 2AY

Ref. No: 11/01608/FUL | Received: Thu 19 May 2011 | Validated: Thu 19 May 2011 | Status: Application Granted



Pilton Avenue:

10 Pilton Avenue Edinburgh EH5 2BT

Ref. No: 00/01111/FUL | Received: Thu 06 Apr 2000 | Validated: Thu 06 Apr 2000 | Status: Application Granted

09/03351/FUL | Alter roof over dwelling to form 2 dormers and velux rooflights to front pitch of roof and 2 dormers to rear, formation of off-road parking area with dropped kerb | 202 Pilton Avenue Edinburgh EH5 2LG

38 Pilton Avenue Edinburgh EH5 2HS

Ref. No: 02/03744/FUL | Received: Tue 15 Oct 2002 | Validated: Mon 04 Nov 2002 | Status: Application Granted



Whitelaw Associates
 FAO: Tom Whitelaw
 Kitleybrig
 Kitleyknowe
 Carlops
 Penicuik
 Scotland
 EH26 9NJ

Mr Asif Hussain
 547 Queensferry Road
 Edinburgh
 Scotland
 EH4 7QE

Decision date: 17 April 2019

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS
 DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013**

Change of Use from shop to hot food takeaway
 At 7 - 9 Broomhouse Market Edinburgh EH11 3UU

Application No: 19/00633/FUL

DECISION NOTICE

With reference to your application for Planning Permission registered on 13 February 2019, this has been decided by **Local Delegated Decision**. The Council in exercise of its powers under the Town and Country Planning (Scotland) Acts and regulations, now determines the application as **Refused** in accordance with the particulars given in the application.

Any condition(s) attached to this consent, with reasons for imposing them, or reasons for refusal, are shown below;

Conditions:-

Reasons:-

1. Given the close proximity between the application site and nearby neighbouring dwellings, it is considered that the proposed change of use from a shop to a hot food takeaway would result in an unacceptable impact on the living conditions of nearby residents in terms of noise, disturbance on street activity or anti social behaviour. The proposal is therefore contrary to Policies Ret 11 and Hou 7 of the Edinburgh Local Plan and the Council's non statutory Guidance for Business.

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.

Drawings 01, represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

Given the close proximity between the application site and nearby neighbouring dwellings, it is considered that the proposed change of use from a shop to a hot food takeaway would result in an unacceptable impact on the living conditions of nearby residents in terms of noise, disturbance on street activity or anti social behaviour. The proposal is therefore contrary to Policies Ret 11 and Hou 7 of the Edinburgh Local Plan and the Council's non statutory Guidance for Business.

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Astrid Walker directly on 0131 529 3620.

D R Leech

Chief Planning Officer
PLACE
The City of Edinburgh Council

NOTES

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months beginning with the date of this notice. The Notice of Review can be made online at www.eplanning.scot or forms can be downloaded from that website. Paper forms should be addressed to the City of Edinburgh Planning Local Review Body, G.2, Waverley Court, 4 East Market Street, Edinburgh, EH8 8BG. For enquiries about the Local Review Body, please email localreviewbody@edinburgh.gov.uk.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

Report of Handling

Application for Planning Permission 19/00633/FUL At 7 - 9 Broomhouse Market, Edinburgh, EH11 3UU Change of Use from shop to hot food takeaway

Item	Local Delegated Decision
Application number	19/00633/FUL
Wards	B07 - Sighthill/Gorgie

Summary

Given the close proximity between the application site and nearby neighbouring dwellings, it is considered that the proposed change of use from a shop to a hot food takeaway would result in an unacceptable impact on the living conditions of nearby residents in terms of noise, disturbance on street activity or anti social behaviour. The proposal is therefore contrary to Policies Ret 11 and Hou 7 of the Edinburgh Local Plan and the Council's non statutory Guidance for Business.

Links

<u>Policies and guidance for this application</u>	LDPP, LHOU07, LRET10, LRET11, LTRA02, NSG, NSBUS,
---	---

Report of handling

Recommendations

1.1 It is recommended that this application be Refused for the reasons below.

Background

2.1 Site description

The application site is a single storey unit located within a short parade of shops, containing a community hub, bakers and shop and post office. The site is not within a defined centre. The unit is currently vacant.

The predominant character is residential, with housing located to the north, east and west of the site.

2.2 Site History

No planning history.

Main report

3.1 Description Of The Proposal

The application is for a change of use from a shop (Class 1) to a hot food take away (Class 3). The premises are currently vacant.

3.2 Determining Issues

Section 25 of the Town and Country Planning (Scotland) Act 1997 states - Where, in making any determination under the planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material considerations indicate otherwise.

Do the proposals comply with the development plan?

If the proposals do comply with the development plan, are there any compelling reasons for not approving them?

If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

3.3 Assessment

To address these determining issues, it needs to be considered whether:

- a) Whether the development is acceptable in principle;
- b) whether the development will result in an acceptable impact on amenity;
- c) whether the proposal will have any transport or parking implications;
- d) any public comments have been addressed;
- e) Equalities and Human Rights.

a) Whether the development is acceptable in principle

Policy Ret 10 considers alternative uses of shop units in other locations (i.e. outwith defined centres). The application site is currently vacant. It is not located within a speciality shopping street or a predominantly commercial area. The proposal would not result in the loss of premises suitable for small business use as they would be retained in use as a small business. The unit is located within a small parade of shops currently comprising a community shop, a bakers and a shop with post office. Local shopping needs are therefore met from the current neighbouring uses and there is not a justification to retain the unit as a shop in order to meet local needs.

Policy Ret 11 of the Edinburgh Local Plan stipulates that the change of use of a shop unit or other premises to a shop selling hot food for consumption off the premises (hot food takeaway) will not be permitted if likely to lead to an unacceptable increase in noise, disturbance, on- street activity or anti social behaviour to the detriment of living conditions for nearby residents.

Policy Hou 7 states that applications that would have a materially detrimental effect on the living conditions of nearby residents, will not be granted.

The Council's non statutory Guidance for Businesses states that in existing clusters of commercial uses, proposals will be supported provided that it will not lead to an unacceptable increase in disturbance, on-street activity or anti social behaviour to the detriment of the living conditions of nearby residents.

The proposal is considered acceptable in principle, subject to an assessment of the impact on amenity, as assessed in section 3. b) below.

b) Whether the development will result in an acceptable impact on amenity

The application site is located within a small run of commercial units, it is not however a designated local centre. The overriding character of the area is residential, with residential dwellings being situated immediately opposite and to the rear of the application site. Broomhouse Market is a narrow and enclosed pedestrian area with a modest degree of separation between the application site and the nearest neighbouring dwellings to the west. Hot food takeaways are recognised as a component of urban living however, such uses can cause a number of problems for local residents in terms of increase in noise, disturbance and anti social behaviour. Careful consideration must therefore be given to where they are located in order to minimise the impact on neighbour amenity.

Given the close proximity of the application site to neighbouring dwellings, in particular those to the west of the site, it is considered that any adverse impacts arising from the change of use, in terms of increase in noise disturbance on street activity or anti social behaviour, would have an unacceptable impact on the living conditions of the nearby

occupiers of neighbouring dwellings. The proposal is therefore contrary to Policy Ret 11 and Hou7 of the Edinburgh Local Plan and the Council's non statutory Guidance for Businesses.

Environmental Protection have not objected to the application. The proposed ventilation system is considered acceptable, subject to the imposition of a compliance condition ensuring that the equipment is installed in accordance with the details shown on the submitted plan.

c) Whether the proposal will have any transport or parking implications

Transportation have not objected to the proposal. Zero parking provision is considered acceptable for this proposal.

d) any public comments have been addressed

Six letters of representation have been received, from five nearby residents raising the following objections:

- Noise, particularly late at night.
- Smells arising from the use.
- Increase in litter.
- Encourage groups to congregate outside/anti social behaviour.

These comments have been addressed in section 3. b above.

-Concerns that the area to the front of 7-9 Broomhouse Market will have tables and chairs on the pathway.

The applicant would be required to apply for a Tables and Chairs permit from the Council, prior to placing any tables or chairs on the public highway.

-Parking and congestion issues.

Transportation have not objected to the proposal. This has been addressed in section 3. c above

e) Equalities and Human Rights

The application has been assessed in terms of equalities and human rights and no adverse impact has been identified.

Conclusion

Given the close proximity between the application site and nearby neighbouring dwellings, it is considered that the proposed change of use from a shop to a hot food takeaway would result in an unacceptable impact on the living conditions of nearby residents in terms of noise, disturbance on street activity or anti social behaviour. The proposal is therefore contrary to Policies Ret 11 and Hou 7 of the Edinburgh Local Plan and the Council's non statutory Guidance for Business.

It is recommended that this application be Refused for the reasons below.

3.4 Conditions/reasons/informatives

Reasons:-

1. Given the close proximity between the application site and nearby neighbouring dwellings, it is considered that the proposed change of use from a shop to a hot food takeaway would result in an unacceptable impact on the living conditions of nearby residents in terms of noise, disturbance on street activity or anti social behaviour. The proposal is therefore contrary to Policies Ret 11 and Hou 7 of the Edinburgh Local Plan and the Council's non statutory Guidance for Business.

Risk, Policy, compliance and governance impact

4.1 Provided planning applications are determined in accordance with statutory legislation, the level of risk is low.

Equalities impact

5.1 The equalities impact has been assessed as follows:

The application has been assessed and has no impact in terms of equalities or human rights.

Consultation and engagement

6.1 Pre-Application Process

There is no pre-application process history.

6.2 Publicity summary of representations and Community Council comments

Six letters of representation have been received, from five neighbouring occupiers, objecting to the application.

Background reading / external references

- To view details of the application go to
- [Planning and Building Standards online services](#)

Statutory Development

Plan Provision

The Edinburgh Local Plan and relevant non statutory guidance.

Date registered

13 February 2019

Drawing numbers/Scheme

01

Scheme 1

David R. Leslie
Chief Planning Officer
PLACE
The City of Edinburgh Council

Contact: Astrid Walker, Planning Officer
E-mail:astrid.walker@edinburgh.gov.uk Tel:0131 529 3620

Links - Policies

Relevant Policies:

Relevant policies of the Local Development Plan.

LDP Policy Hou 7 (Inappropriate Uses in Residential Areas) establishes a presumption against development which would have an unacceptable effect on the living conditions of nearby residents.

LDP Policy Ret 10 (Alternative Use of Shop Units in Other Locations) sets out the criteria for assessing the change of use of a shop unit outwith defined centres.

LDP Policy Ret 11 (Food and Drink Establishments) sets criteria for assessing the change of use to a food and drink establishment.

LDP Policy Tra 2 (Private Car Parking) requires private car parking provision to comply with the parking levels set out in Council guidance, and sets criteria for assessing lower provision.

Relevant Non-Statutory Guidelines

Non-statutory guidelines 'GUIDANCE FOR BUSINESSES' provides guidance for proposals likely to be made on behalf of businesses. It includes food and drink uses, conversion to residential use, changing housing to commercial uses, altering shopfronts and signage and advertisements.

Appendix 1

Consultations

Environmental Protection

The applicant proposes the conversion of a shop which is located in a single storey terrace of shops to a hot food takeaway. Two storey residential properties are situated to the East, West and South of the proposed development. An extract canopy is to be installed above all cooking equipment which is to be capable of achieving 30 air changes per hour. The outlet of the extraction system is to be located above the level of openable windows on the nearby residential properties and is to be fitted with a venturi to ensure the ventilation reaches an upward velocity of at least 15 metres per second.

Environmental Protection therefore has no objections to this proposed development subject to the following condition:

The ventilation system shall be installed in accordance with the design as detailed on drawing 001 submitted in support of planning application 19.00633/FUL.

Roads Authority

No objections to the application.

Note:

The existing zero parking provision is considered acceptable for this development.

END

Comments for Planning Application 19/00633/FUL

Application Summary

Application Number: 19/00633/FUL

Address: 7 - 9 Broomhouse Market Edinburgh EH11 3UU

Proposal: Change of Use from shop to hot food takeaway

Case Officer: Astrid Walker

Customer Details

Name: Mrs Alice Coppins

Address: 8 Broomhouse Market Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: My reason for objecting is that I don't want to be kept awake at night by people making loud noise outside my house

Comments for Planning Application 19/00633/FUL

Application Summary

Application Number: 19/00633/FUL

Address: 7 - 9 Broomhouse Market Edinburgh EH11 3UU

Proposal: Change of Use from shop to hot food takeaway

Case Officer: Astrid Walker

Customer Details

Name: Mr James McIntyre

Address: 8 Broomhouse Market Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Number 9 of the property 7-9 Broomhouse Market is currently being used as a stock room for property number 11 Broomhouse Market and I have been informed that the area at the front of 7-9 Broomhouse Market is intending on having tables and chairs on the pathway.

Comments for Planning Application 19/00633/FUL

Application Summary

Application Number: 19/00633/FUL

Address: 7 - 9 Broomhouse Market Edinburgh EH11 3UU

Proposal: Change of Use from shop to hot food takeaway

Case Officer: Astrid Walker

Customer Details

Name: Mr Mark Peart

Address: 5 Broomhouse Place North Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I am very concerned about the noise level coming from a working kitchen close to the rear of my property, especially late at night, but I am more concerned about the smell that will inevitably come from the hot food shop. My property is in very close proximity, and to the east of the shop, and with the prevailing easterly wind, will constantly be showered with any odours coming from the shop, no matter how tall the kitchen chimney is. Myself and my young children use our rear garden a lot during the warmer months, for drying clothes and recreation, and do not want to have to stop using it because of the bad smells that comes from a hot food shop.

Comments for Planning Application 19/00633/FUL

Application Summary

Application Number: 19/00633/FUL

Address: 7 - 9 Broomhouse Market Edinburgh EH11 3UU

Proposal: Change of Use from shop to hot food takeaway

Case Officer: Astrid Walker

Customer Details

Name: Mrs Alice Coppins

Address: 8 Broomhouse Market Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I object to the planning of a hot food because the area from the shop to our house is quite small we have a lot of problems all ready with litter and people hanging about in groups the shop here closes at 8-30 every week days and that's bad enough this area is to small for a hot food shop what will happen when the community centre re-opens it should have a big cafe there the centre has been called the hub of the community and would like people to go there.

Comments for Planning Application 19/00633/FUL

Application Summary

Application Number: 19/00633/FUL

Address: 7 - 9 Broomhouse Market Edinburgh EH11 3UU

Proposal: Change of Use from shop to hot food takeaway

Case Officer: Astrid Walker

Customer Details

Name: Mrs Marge Hambling

Address: Broomhouse place north Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Parking, traffic, anti social gatherings?

more residents especially in Broomhouse place north should be notified of this as it is pensioners homes this will cause more traffic & noise in their street

Comments for Planning Application 19/00633/FUL

Application Summary

Application Number: 19/00633/FUL

Address: 7 - 9 Broomhouse Market Edinburgh EH11 3UU

Proposal: Change of Use from shop to hot food takeaway

Case Officer: Astrid Walker

Customer Details

Name: Miss E Byrne

Address: Broomhouse place north Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Really not happy about this

Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Tel: 0131 529 3550 Fax: 0131 529 6206 Email: planning.systems@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100164819-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:

Ref. Number:

You must enter a Building Name or Number, or both: *

First Name: *

Building Name:

Last Name: *

Building Number:

Telephone Number: *

Address 1 (Street): *

Extension Number:

Address 2:

Mobile Number:

Town/City: *

Fax Number:

Country: *

Postcode: *

Email Address: *

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="Asif"/>	Building Number:	<input type="text" value="7-9"/>
Last Name: *	<input type="text" value="Hussain"/>	Address 1 (Street): *	<input type="text" value="Broomhouse Market"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Edinburgh"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="EH11 3UU"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text"/>		

Site Address Details

Planning Authority:	<input type="text" value="City of Edinburgh Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="7-9 BROOMHOUSE MARKET"/>
Address 2:	<input type="text"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="EDINBURGH"/>
Post Code:	<input type="text" value="EH11 3UU"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="671335"/>	Easting	<input type="text" value="320179"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Application for planning permission for change of use from shop to hot take-away.

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

See Appeal Statement attached.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Planning Appeal Statement to LRB Petition in support of proposal

Application Details

Please provide details of the application and decision.

What is the application reference number? *

19/00633/FUL

What date was the application submitted to the planning authority? *

13/02/2019

What date was the decision issued by the planning authority? *

17/04/2019

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Nicolas Whitelaw

Declaration Date: 06/06/2019

Request to the Local Review Body

within the terms of (The Town and Country Planning (Appeals) (Scotland) Regulations 2013))

- in respect of the Local Delegated Decision to refuse an application for planning permission for change of use from shop to hot take-away.

Planning Reference: 19/00633/FUL

Address of property: 7-9 Broomhouse Market, Edinburgh, EH11 3UU

Summary of Appeal:

We object to the reasons given for refusal in the decision notice on the grounds that we believe:

1. We disagree with the City of Edinburgh Councils interpretation of Edinburgh City Local Plan Policy Hou 7 and Ret 11, in that the hot food takeaway is unlikely to have a significant material detrimental impact to local residents, through employing appropriate mitigation measures such as existing CCTV to minimise local disturbances to neighbouring properties.
2. Again it is difficult to gauge what is considered an unacceptable level of disturbance, etc, as the proposal does not need to conflict with Policy Hou 7 and Ret 11 if the application of change of use from empty shop unit to hot food takeaway is dealt with through relevant planning conditions, and the City of Edinburgh's Environmental Protection team and Police Scotland had no objections to the proposal.
3. We hope to have alleviated any concerns regarding smells and litter as a result of the proposal.
4. The applicant believes that there is more local support for the proposal than against it, as the area currently lacks such a facility, and there are no alternative locations available in the vicinity.

Site History

There is no relevant planning history for the site.

Background to application

The proposed application site is located at 7-9 Broomhouse Market, Broomhouse, Edinburgh.

The vacant ground floor premises forms part of a small single storey shopping parade and is located immediately between two outlets, community one stop shop and Broomhouse convenience store. There are two storey residential properties located across the pedestrian street.

Planning application 19/00633/FUL was registered by the City of Edinburgh Council on the 13th of February 2019, and was refused consent on the 17th April 2019.

The application has been refused on the following grounds made by residents of 4 nearby households:

- Noise, particularly late at night.
- Smells arising from the use.
- Increase in litter.
- Encourage groups to congregate outside/anti social behaviour.

Dealing with each of these points in turn, in terms of noise, there are customers entering and exiting the Broomhouse convenience store up til 20:30 each evening. No details have been given as to the proposed opening hours, and this could be addressed through the use of prescriptive planning conditions.

In terms of smells emanating from the premises, the elevated flue would dispense any odours above the window height of any surrounding properties, and the planning case officer makes no mention of the issue in her report of handling.

In reference to potential increase in litter, it is expected that the vast majority of local customers would be collecting food for consumption at home, and would therefore use their own waste bins for proper disposal. There is nowhere immediately suitable for the external consumption of goods as there are no seating areas in the surrounding area. There are two bins on Broomhouse Market.

As already stated, local residents will be used to the ambient noise of people outside entering and leaving the existing units. It remains unclear why this proposal is not deemed acceptable to the amenity of neighbouring residents. The street has CCTV at either end, and the premises would also have CCTV. This alongside responsible management and appropriate community policing should act as a deterrent to any potential anti social behaviour.

The units were built to be used primarily for the benefit of local residents and this proposal would lead to an vacant commercial property coming back into use.

The reasons for refusal are entirely speculative and therefore there is no way of knowing if the proposal would lead to a loss of local amenity, and in any case there remains the opportunity to implement planning conditions to minimise and mitigate any potential disturbances.

Precedents

There are many other hot food takeaways in operation in comparable residential areas across the city of Edinburgh, many located on the ground floor of tenement buildings. The nearest equivalent hot food outlet, the Bodrum Express is located over 400m away at Parkhead, at Parkhead Gardens, and adjoins residential properties.

City of Edinburgh Local Development Plan

The applicable policies in relation to the application and appeal are:

Policy Hou 7 Inappropriate Uses in Residential Areas

Developments, including changes of use, which would have a materially detrimental effect on the living conditions of nearby residents, will not be permitted.

There is no evidence provided in the handling report to indicate that the proposal would lead to a detrimental effect on the living conditions for local residents, instead it is just conjecture, based entirely on speculation. We hope to show that some of these concerns are unfounded and believe that such concerns over anti social behaviour, etc, can be overcome through using mitigation measures alluded to above and through planning conditions. Although some residents have objected to the proposal, there are a considerable number of local residents who would welcome the proposal. Additionally, Police Scotland and Environmental Protection have not raised any concerns.

The policy below is also relevant.

Policy Ret 11 Food and Drink Establishments

The change of use of a shop unit or other premises to a licensed or unlicensed restaurant, café, pub, or shop selling hot food for consumption off the premises (hot food take-away) will not be permitted:

- a) if likely to lead to an unacceptable increase in noise, disturbance, on-street activity or anti-social behaviour to the detriment of living conditions for nearby residents or*
- b) in an area where there is considered to be an excessive concentration of such uses to the detriment of living conditions for nearby residents.*

The proposal will obviously have some impact on the local amenity of the area, as it will bring back footfall to a currently disused unit, although it is unclear how this can be considered 'unacceptable', when taking into account the existing CCTV surveillance, and limited hours, and elevated flue exit. No details were provided in the application as to the hours of operation, which can be addressed through planning conditions.

Use Class Order

The premises are now vacant and were last used as a general convenience which is classified as Use Class 1 – Shops. This application seeks to change the use of the premises to Class 3 – Food and Drink.

Summary

Although there were some objections from nearby residents close to the property, there have been no objections received from the Police or Environmental Protection.

We have addressed each of the following concerns raised by local residents who have objected and demonstrated that each of these concerns can be overcome through appropriate mitigation measures.

In addition, there is considerable popular support for the proposal as the neighbourhood currently lacks such a facility as indicated by the petition attached with this appeal.

Request to Local Review Body:

We ask that the Local Review Body consider the above arguments and review the planning application for change of use of existing shop to hot food take-away within the terms of The Town and Country Planning (Appeals) (Scotland) Regulations 2013).

Nicolas Whitelaw MRTPI.

Agent acting on behalf of Mr Asif Hussain 6th June 2019

Proposal Details

Proposal Name	100164819
Proposal Description	Appeal to LRB for refusal of change of use from vacant shop to hot food takeaway.
Address	7-9 BROOMHOUSE MARKET, EDINBURGH, EH11 3UU
Local Authority	City of Edinburgh Council
Application Online Reference	100164819-001

Application Status

Form	complete
Main Details	complete
Checklist	complete
Declaration	complete
Supporting Documentation	complete
Email Notification	complete

Attachment Details

Notice of Review	System	A4
Notice of review to LRB	Attached	A4
Notice_of_Review-2.pdf	Attached	A0
Application_Summary.pdf	Attached	A0
Notice of Review-001.xml	Attached	A0

HLP Architects
 FAO: Colin Gibson
 35 Joppa Road
 Edinburgh
 United Kingdom
 EH15 2HB

Mr Derek Curran
 34 Brunstane Road
 Edinburgh
 UK
 EH15 2QN

Decision date: 10 May 2019

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS
 DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013**

Single storey flat roof extension to rear. New stair into existing attic. Extend attic with new flat roof dormer to rear.

At 34 Brunstane Road Edinburgh EH15 2QN

Application No: 19/01352/FUL

DECISION NOTICE

With reference to your application for Planning Permission registered on 15 March 2019, this has been decided by **Local Delegated Decision**. The Council in exercise of its powers under the Town and Country Planning (Scotland) Acts and regulations, now determines the application as **mixed decision** in accordance with the particulars given in the application.

Any condition(s) attached to this consent, with reasons for imposing them, or reasons for refusal, are shown below;

1. This permission relates to the proposed rear extension.

1. In order to show which elements of the proposal are acceptable.

Reason for Refusal:-

1. This refusal relates to the proposed rear dormer.

2. The proposed rear dormer does not comply with Policy Des 12 of the Edinburgh Local Development Plan because it is not compatible with the existing building and it will be detrimental to neighbourhood character and amenity.

Informatives:-

It should be noted that:

1. The development hereby permitted shall be commenced no later than the expiration of three years from the date of this consent.
2. No development shall take place on the site until a 'Notice of Initiation of Development' has been submitted to the Council stating the intended date on which the development is to commence. Failure to do so constitutes a breach of planning control, under Section 123(1) of the Town and Country Planning (Scotland) Act 1997.
3. As soon as practicable upon the completion of the development of the site, as authorised in the associated grant of permission, a 'Notice of Completion of Development' must be given, in writing to the Council.

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.

Drawings 07, 08, 11, 12, 13, represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

The proposed rear extension would be compatible with the existing building and the character of the surrounding area. It would not have an unacceptable impact on neighbouring amenity and complies with the relevant policies and non-statutory guidelines.

The proposed rear dormer would not be compatible with the existing building and the character of the surrounding area. It would diminish the property's character as a bungalow and ultimately does not comply with the relevant policies and non-statutory guidelines.

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Alexander Calderwood directly on 0131 469 3824.

D R Leeshie

**Chief Planning Officer
PLACE
The City of Edinburgh Council**

NOTES

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months beginning with the date of this notice. The Notice of Review can be made online at www.eplanning.scot or forms can be downloaded from that website. Paper forms should be addressed to the City of Edinburgh Planning Local Review Body, G.2, Waverley Court, 4 East Market Street, Edinburgh, EH8 8BG. For enquiries about the Local Review Body, please email localreviewbody@edinburgh.gov.uk.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

Report of Handling

**Application for Planning Permission 19/01352/FUL
At 34 Brunstane Road, Edinburgh, EH15 2QN
Single storey flat roof extension to rear. New stair into
existing attic. Extend attic with new flat roof dormer to rear.**

Item	Local Delegated Decision
Application number	19/01352/FUL
Wards	B17 - Portobello/Craigmillar

Summary

The proposed rear extension would be compatible with the existing building and the character of the surrounding area. It would not have an unacceptable impact on neighbouring amenity and complies with the relevant policies and non-statutory guidelines.

The proposed rear dormer would not be compatible with the existing building and the character of the surrounding area. It would diminish the property's character as a bungalow and ultimately does not comply with the relevant policies and non-statutory guidelines.

Links

Policies and guidance for this application	LDPP, LDES12, NSG, NSHOU,
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Report of handling

Recommendations

1.1 It is recommended that this application be mixed decision to part-approve and part-refuse this application subject to the details below.

Background

2.1 Site description

This application relates to a semi-detached bungalow. The surrounding area is primarily residential with neighbouring properties situated immediately to the north and south.

2.2 Site History

18/09037/FUL - This application relates to the same proposal as identified in the current application. It was ultimately withdrawn as it could not be supported and the applicant was asked to reconsider.

Main report

3.1 Description Of The Proposal

This application seeks full planning permission for the extension of the property. The application proposes the construction of a single storey flat roof extension to the rear of the property. It also proposes the extension of the attic through the construction of a new flat roof dormer to the rear of the property.

The proposed materials are as follows:

- Roof: PPC Aluminium
- Walls: Vertical Western Red cedral cladding boards (applied to proposed dormer and flat roofed extension). K-rend smooth render (applied to flat roofed extension).
- Doors: PPC Aluminium bi-fold doors, Anthracite grey.
- Windows: PPC Aluminium double glazed

3.2 Determining Issues

Section 25 of the Town and Country Planning (Scotland) Act 1997 states - Where, in making any determination under the planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material considerations indicate otherwise.

Do the proposals comply with the development plan?

If the proposals do comply with the development plan, are there any compelling reasons for not approving them?

If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

3.3 Assessment

To address these determining issues, it needs to be considered whether:

- a) The proposal is of an acceptable scale, form and design and is compatible with the character of the neighbourhood.
- b) The proposal does not result in an unreasonable loss of neighbouring residential amenity.
- c) Public comments have been addressed.

'Policy Des 12 Alterations and Extensions' states that extensions will be granted if their design and form, choice of materials and positioning are compatible with the character of the existing building, they will not result in an unreasonable loss of privacy or natural light to neighbouring properties and they will not be detrimental to neighbourhood amenity and character.

The planning guidelines, "Guidance for Householders" advises, in relation to the consideration of proposals for the extension and alteration of dwellings; regard will be had to:

- the proportion of the original garden ground that an extension will occupy.
- the density and scale of the proposal in relation to the overall spatial pattern of the area.
- the visibility of the proposal in relation to the principal elevation of the dwelling.

a) The submitted plans indicate that a K-render smooth render and cedar cladding will be applied to the flat roofed extension. The smooth render is similar to that of the existing building and so assists in integrating the extension with the existing building. The cedar cladding introduces a contrasting, yet acceptable design feature. Whilst the extension occupies the full width of the rear elevation of the building it still leaves approximately one third of the rear garden area and so would be considered acceptable. Additionally, a number of the neighbouring properties have extensions of a similar scale. The neighbouring dwelling to the north has a large rear extension and as the proposed extension is screened to a reasonable degree by the existing boundary fixture, its impact on the wider area would be reduced to an acceptable degree. Additionally, approximately 2/3 of the original garden ground will remain free which, as guidance states, is adequate.

The extension would therefore be considered acceptable in terms of Edinburgh Local Development Plan Policy Des 12 and the non-statutory "Guidance for Householders".

The width of the proposed dormer covers approximately 92% of the width of the entire roof pane. This would be considered unacceptable because it distorts the buildings nature as a bungalow which should be single storey. The addition of the dormer makes the dwelling appear top heavy which in turn diminishes its character. Whilst there are rear dormers on some of the neighbouring properties none of them have dormers

covering almost the entirety of the roof pane. The rear dormer would therefore be considered unacceptable in terms of Edinburgh Local Development Plan Policy Des 12 and the non-statutory "Guidance for Householders".

b) The proposal was assessed in terms of neighbouring residential amenity. It has been established that it complies with guidance in relation to daylighting and sunlight.

In respect of privacy, there are no windows on either the north or south elevations of the extension and dormer. The windows on the western elevation are approximately 9 metres from the boundary and so comply with guidance.

c) The Portobello Amenity Society has objected to both the extension and the rear dormer, as follows:

The rear extension would have a negative impact on the character and amenity of the building and surrounding area as it would represent overdevelopment of the property due to its coverage of the entire rear elevation and coverage of the already inadequate rear amenity space - this is addressed in (a) , above;

The rear dormer is too large and overly dominant for the size of the roof and would be visually obtrusive when viewed from Brunstane Road going north - this is addressed in (a), above.

It is recommended that this application be mixed decision to part-approve and part-refuse this application subject to the details below.

3.4 Conditions/reasons/informatives

Conditions:-

1. This permission relates to the proposed rear extension.
1. In order to show which elements of the proposal are acceptable.

Reason for Refusal:-

1. This refusal relates to the proposed rear dormer.
2. The proposed rear dormer does not comply with Policy Des 12 of the Edinburgh Local Development Plan because it is not compatible with the existing building and it will be detrimental to neighbourhood character and amenity.

Informatives

It should be noted that:

1. The development hereby permitted shall be commenced no later than the expiration of three years from the date of this consent.

2. No development shall take place on the site until a 'Notice of Initiation of Development' has been submitted to the Council stating the intended date on which the development is to commence. Failure to do so constitutes a breach of planning control, under Section 123(1) of the Town and Country Planning (Scotland) Act 1997.

3. As soon as practicable upon the completion of the development of the site, as authorised in the associated grant of permission, a 'Notice of Completion of Development' must be given, in writing to the Council.

Risk, Policy, compliance and governance impact

4.1 Provided planning applications are determined in accordance with statutory legislation, the level of risk is low.

Equalities impact

5.1 The equalities impact has been assessed as follows:

The application has been assessed and has no impact in terms of equalities or human rights.

Consultation and engagement

6.1 Pre-Application Process

Pre-application discussions took place on this application.

6.2 Publicity summary of representations and Community Council comments

One representation was received from a local amenity body, objecting to the proposals; this is summarised and addressed in the Assessment Section of the Report.

Background reading / external references

- **To view details of the application go to**
- [Planning and Building Standards online services](#)

Statutory Development

Plan Provision

- Edinburgh Local Development Plan 2016
- Policy Des 12 Alterations and Extensions

Date registered

15 March 2019

Drawing numbers/Scheme

07, 08, 11, 12, 13

Scheme 1

David R. Leslie
Chief Planning Officer
PLACE
The City of Edinburgh Council

Contact: Alexander Calderwood, Planning Officer
E-mail:alexander.calderwood@edinburgh.gov.uk Tel:0131 469 3824

Links - Policies

Relevant Policies:

Relevant policies of the Local Development Plan.

LDP Policy Des 12 (Alterations and Extensions) sets criteria for assessing alterations and extensions to existing buildings.

Relevant Non-Statutory Guidelines

Non-statutory guidelines 'GUIDANCE FOR HOUSEHOLDERS' provides guidance for proposals to alter or extend houses or flats.

Appendix 1

Consultations

No consultations undertaken.

END

Comments for Planning Application 19/01352/FUL

Application Summary

Application Number: 19/01352/FUL

Address: 34 Brunstane Road Edinburgh EH15 2QN

Proposal: Single storey flat roof extension to rear. New stair into existing attic. Extend attic with new flat roof dormer to rear.

Case Officer: Alexander Calderwood

Customer Details

Name: Mr John Stewart

Address: 4A Elcho Terrace, Edinburgh, City of Edinburgh EH15 2EF

Comment Details

Commenter Type: Amenity Body

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:

On behalf of Portobello Amenity Society, I wish to object to this application to build a rear extension and to create a rear dormer. The society believes that the proposal represents overdevelopment of the property as the size of the rear extension, occupying the full width of the house, is very large and would leave inadequate amenity space to the rear of the property as the back garden is small as it is even before the construction of such a large rear extension. The society also objects to the size and to the design of the proposed rear dormer as it is far too large for the size of the roof and would occupy too large an area of the roof of the house itself. As the house is on the corner of the road to the bowling green, both the side of the proposed extension and the side of the proposed rear dormer would be very visible to people coming down Brunstane Road. For all of the above reasons, Portobello Amenity Society objects to this application. Yours sincerely, John M. Stewart, Chair, Portobello Amenity Society.

Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Tel: 0131 529 3550 Fax: 0131 529 6206 Email: planning.systems@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100140451-004

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	HLP Architects		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Colin	Building Name:	
Last Name: *	Gibson	Building Number:	35
Telephone Number: *		Address 1 (Street): *	Joppa Road
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Edinburgh
Fax Number:		Country: *	United Kingdom
		Postcode: *	EH15 2HB
Email Address: *			

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="Derek"/>	Building Number:	<input type="text" value="34"/>
Last Name: *	<input type="text" value="Curran"/>	Address 1 (Street): *	<input type="text" value="Brunstane Road"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Edinburgh"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="United Kingdom"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="EH15 2QN"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text"/>		

Site Address Details

Planning Authority:	<input type="text" value="City of Edinburgh Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="34 BRUNSTANE ROAD"/>
Address 2:	<input type="text"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="EDINBURGH"/>
Post Code:	<input type="text" value="EH15 2QN"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="673161"/>	Easting	<input type="text" value="331259"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Single storey flat roof extension to rear. New stair into existing attic. Extend attic with new flat roof dormer to rear. At 34 Brunstane Road Edinburgh EH15 2QN

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please see attached supporting statement.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Additional supporting statement and images used as a response to the reasons for refusal.

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Architectural drawings 1733/001 to 1733/010 inc. 1773 SK01 Sun path analysis. UFM37 - Decision notice from CEC Report of Handling from CEC Architects supporting statement. Brunstane road, character appraisal. Supplementary images Example 1 P-15.0038 Supplementary images Example 2 P-17.01492

Application Details

Please provide details of the application and decision.

What is the application reference number? *

19/01352/FUL

What date was the application submitted to the planning authority? *

15/03/2019

What date was the decision issued by the planning authority? *

10/05/2019

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Robert Lukas

Declaration Date: 03/06/2019

Proposal Details

Proposal Name	100140451
Proposal Description	Single storey flat roof extension to rear. New stair into existing attic. Extend attic with new flat roof dormer to rear.
Address	34 BRUNSTANE ROAD, EDINBURGH, EH15 2QN
Local Authority	City of Edinburgh Council
Application Online Reference	100140451-004

Application Status

Form	complete
Main Details	complete
Checklist	complete
Declaration	complete
Supporting Documentation	complete
Email Notification	complete

Attachment Details

Notice of Review	System	A4
1733-001	Attached	A3
1733-002C	Attached	A3
1733-003C	Attached	A3
1733-004B	Attached	A3
1733-005F	Attached	A3
1733-006F	Attached	A3
1733-007F	Attached	A3
1733-008F	Attached	A3
1733-009A	Attached	A3
1733-SK01	Attached	A3
ufm37	Attached	A4
Report of handling	Attached	A4
Architects supporting statement	Attached	A4
Brunstane Road character appraisal	Attached	A3
Example 1 P_15_00538	Attached	A3
Example 2 P_17_01492	Attached	A3
Notice_of_Review-2.pdf	Attached	A0
Application_Summary.pdf	Attached	A0
Notice of Review-004.xml	Attached	A0

SUPPORTING STATEMENT-V1

This document to be read in conjunction with Local Review Body Appeal documents and the Architects drawings

Project: 34 Brunstane Road, Edinburgh EH15 2QN

Subject: Supporting statement to planning application lodged by hLp architects ref no. 19/01352/FUL and in support of the elements of application which have been refused planning approval

Date: 24.05.19

Client: Mr Derek Curran

Author: Colin Gibson (hLp architects)

Reference no: 1733

Review statement in support of planning application

Site situation:

The property is a semi-detached bungalow. The attached neighbour to the North has a large pitched roof extension to the rear. To the North there is another semi-detached bungalow with a converted attic space with small rear dormer windows. These two buildings (4 dwellings) constitute the only bungalows on the street. Further North over the railway towards Portobello there are new build flats. To the South the streetscape comprises matching rows of two storey townhouses.

Proposal:

New flat roof extension to rear (approved) to form open plan kitchen, dining and family area. New flat roof dormer to rear to allow compliant head height for new stair into attic and two new Bedrooms and associated En-Suites.

The property at No.34 has previously had the attic space converted to form two new bedrooms with a non-compliant stair located within the existing hall. The existing stair is too steep to comply with current building regulations and requires to be adjusted as part of the works. The bedrooms are occupied by the applicants two children, who as they have gotten older have outgrown the existing bedrooms as they suffer from lack over overall head height due to the reducing pitch of the roof.

Reason for refusal:

- *The proposed rear dormer does not comply with Policy Des 12 of the Edinburgh Local Development Plan because it is not compatible with the existing building and it will be detrimental to neighbourhood character and amenity.*

Rebuttal:

With regard to the neighbourhood character, as alluded to in the description of the site situation above, the house type is not common in the street, therefore we would argue that

this building type is not one that defines the character of this particular streetscape, and that alterations to an outlier building, especially when proposals are to the rear do not therefore diminish the neighbourhood character at all.

On a more local scale, the co-adjointing property has a large single storey pitched roof extension constructed at 90 degrees to the original house. It would not be possible to replicate this design on this property without significant overshadowing and loss of amenity to both the application site and the co-adjointing neighbour. Therefore the design solution proposed tries not to negatively affect the neighbour. As shown by our sun path analysis there is no significant loss of sun light and what little increase in loss of direct sun light occurs due to the flat roof extension already approved is effectively cancelled out by the existing fencing on the boundary.

No windows look directly across the boundary line, not something that can be said of the neighbouring extension. We acknowledge that the proposed dormer window could allow oblique overlooking from Bedroom 4 into the neighbouring property garden but this is in fact no worse than the existing situation which has a Velux roof light in this bedroom at eye level. We would therefore contend that loss of neighbouring privacy is no worse than currently exists and that loss of direct sun light is negligible.

The final point we wish to refute is that the proposed design is incompatible with the existing building. Although the house type is relatively uncommon in the street, there are other similar bungalows in the Portobello and Duddingston area, which hLp Architects have converted previously. We recognise that precedent studies are not an ideal determining factor, the supplementary images are not to argue that if a similar design is acceptable in one area then why our client should not be allowed to do the same. No two sites are alike and will have different determining factors.

We present the appended images as a means to refute the idea that the building will appear 'top heavy' or 'overly dominant' and that this somehow diminishes the character of the building.

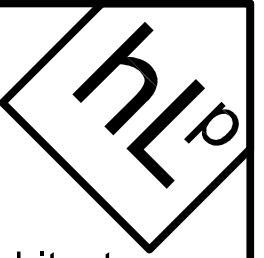
In the first example the case is made that the addition of the ground floor extension increases the building footprint, therefore reducing the impact of the large dormer. The extension helps the dormer appear less overbearing. The two constructions should be read together.

In the second example; still under construction at the time the photographs were taken, the case is put forward that the neighbours pitched roof extension breaks up the roof plane, in a style similar to that at Brunstane road. The whole roof shape when read as one building, rather than two dwellings is not adversely affected by a longer than a standard dormer window because the roof plane is not uniform and is already altered to a significant degree by the neighbouring construction.

We conclude therefore that the issues raised above, the associated images of similar designs, when read in conjunction with the application drawings, particularly the sun path diagram which shows the proposal and neighbouring property present a compelling argument that the decision to refuse the application should be overturned.

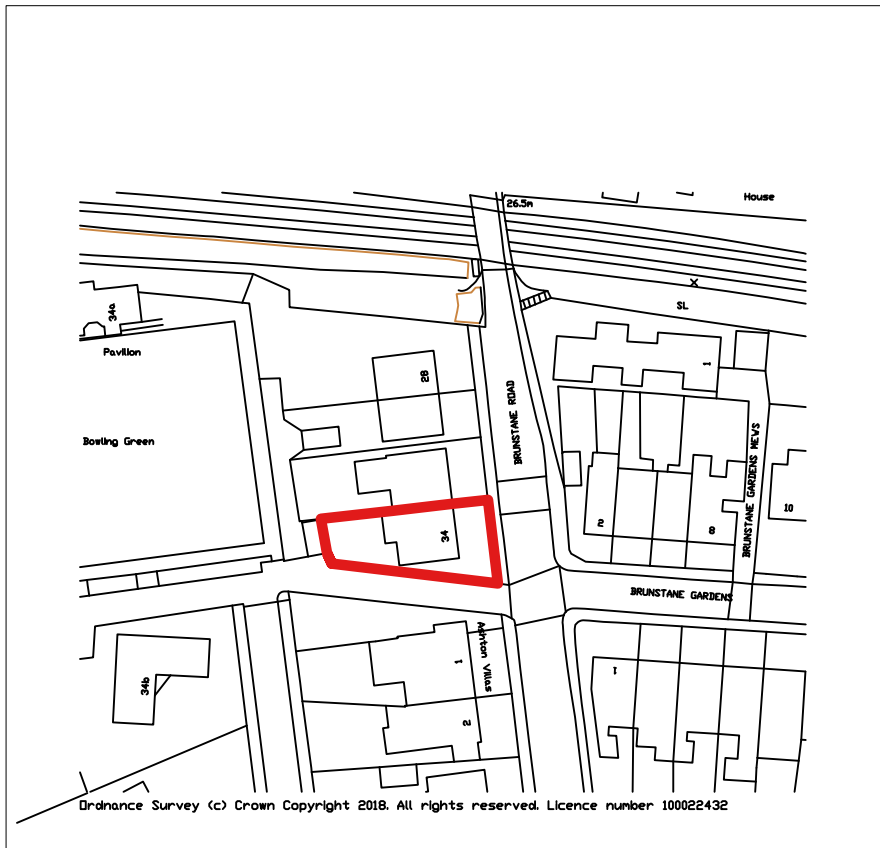
Signed Colin Gibson **BArch(Hons)DipArch**

Dated 27.05.19



hLp architects
 35 Joppa Road
 Edinburgh, EH15 2HB
 T. 0131 66 99 300
 E. office@hlpas.co.uk

- Notes
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 4. Dimensions notified on this drawing may vary due to existing site conditions. Contractor to notify the Client or Architect prior to proceeding where dimension adjustment required.



LOCATION PLAN 1:1250 @ A3



BLOCK PLAN 1:200 @ A3

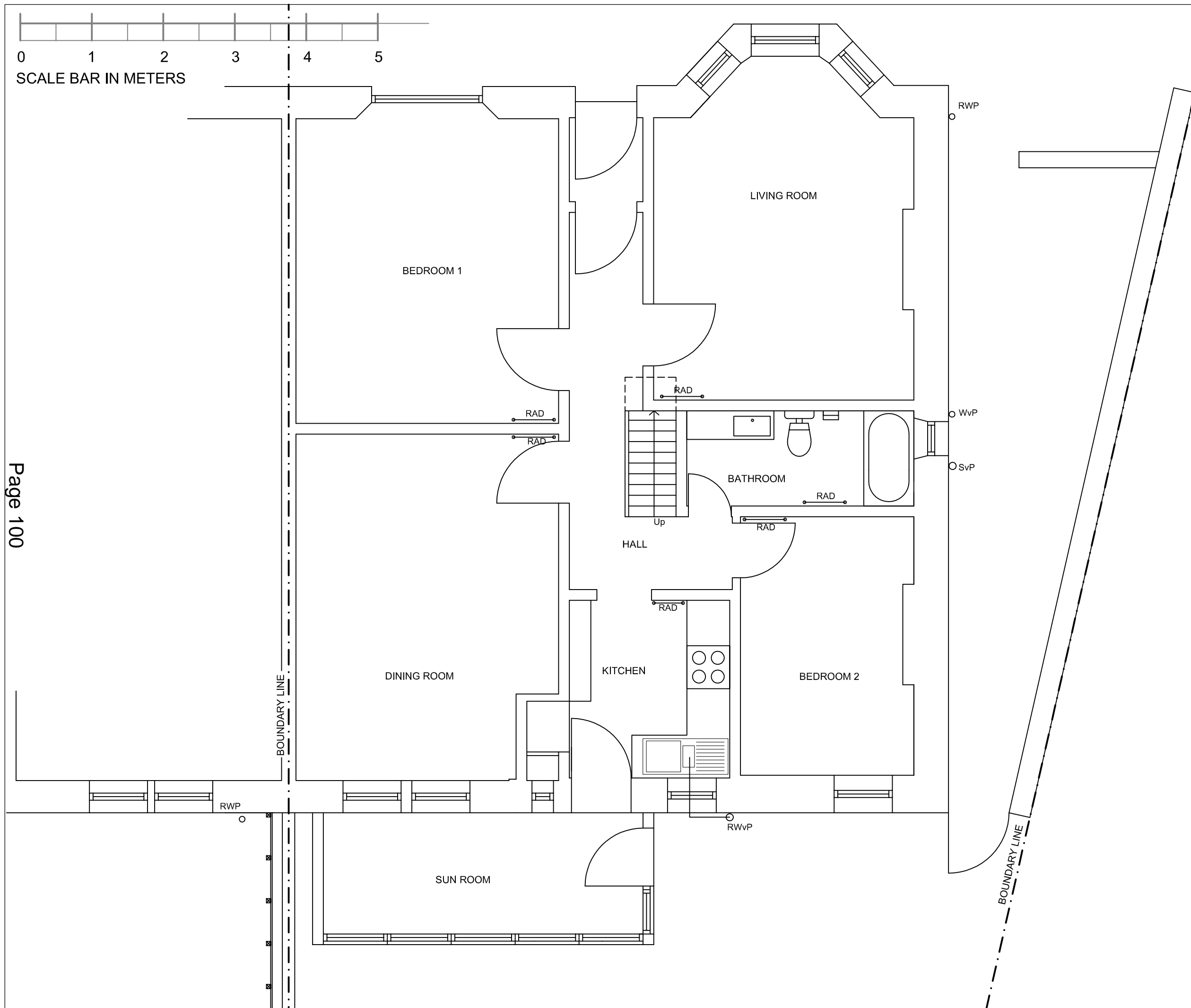


Rev	Description	Date
	CLIENT	
	34 BRUNSTANE ROAD EDINBURGH EH15 2QN	
	TITLE LOCATION PLAN BLOCK PLAN	
Date	AUGUST 2018	
Drawn	CG	Checked
Scale	AS STATED @ A3	
Drwg No	1733/001	Rev

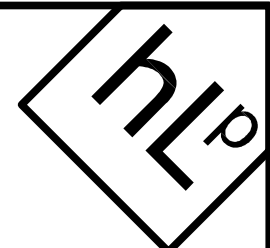
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SCALE BAR IN METERS



Page 100



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35 Joppa Road
Edinburgh, EH15 2HB
T. 0131 66 99 300
E. office@hlpas.co.uk

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Rev	Description	Date
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CLIENT		
34 BRUNSTANE ROAD		
EDINBURGH		
EH15 2QN		

TITLE		
EXISTING GROUND FLOOR PLAN		

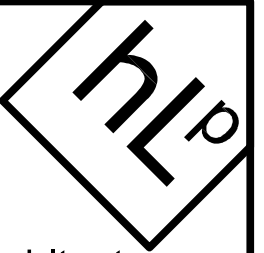
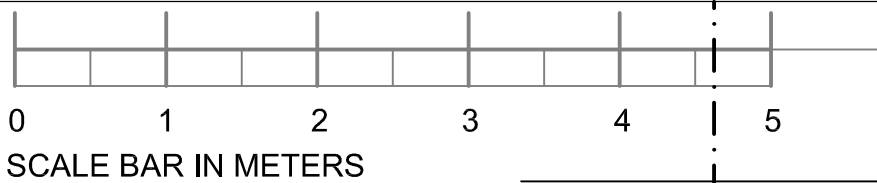
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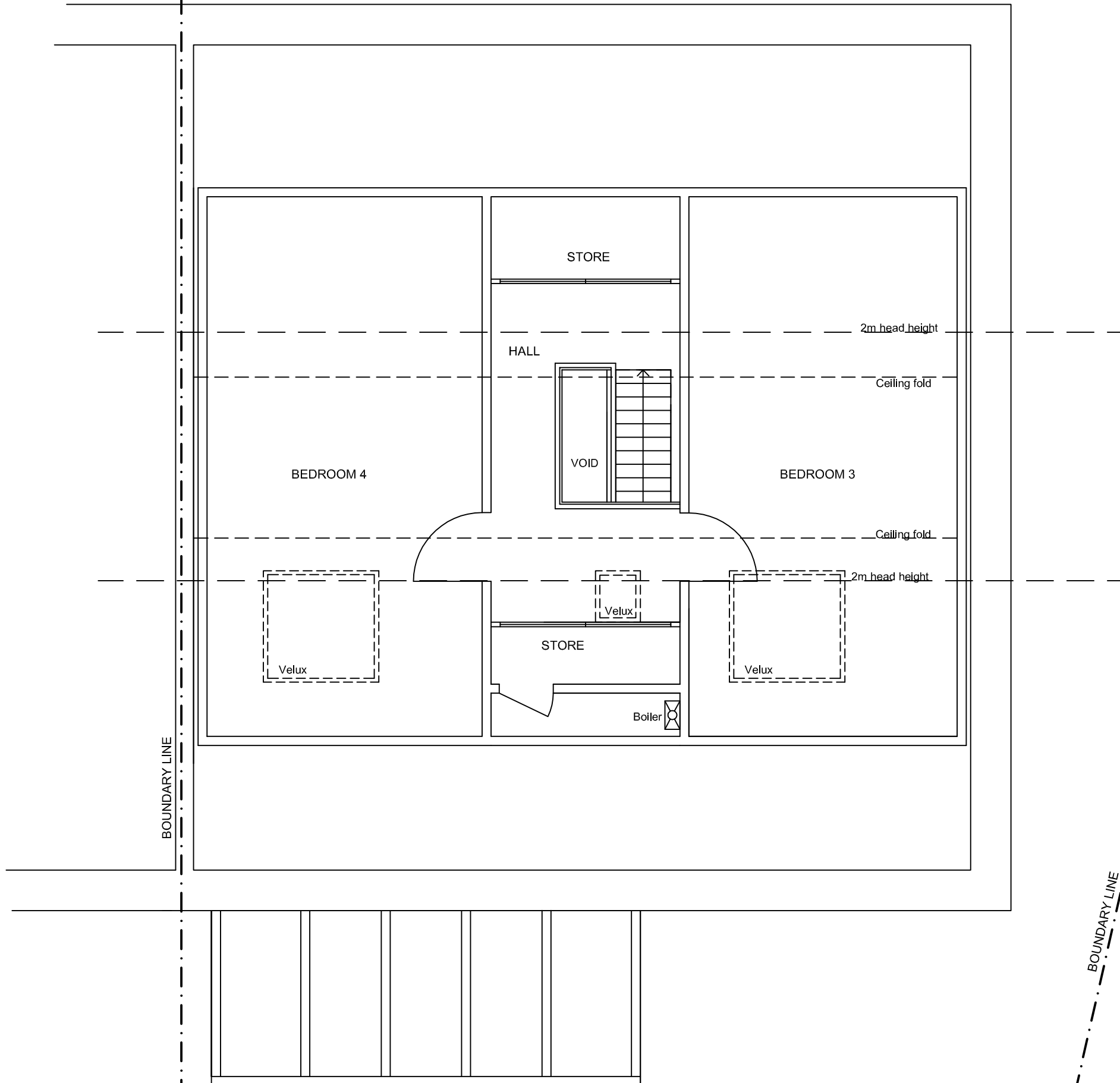
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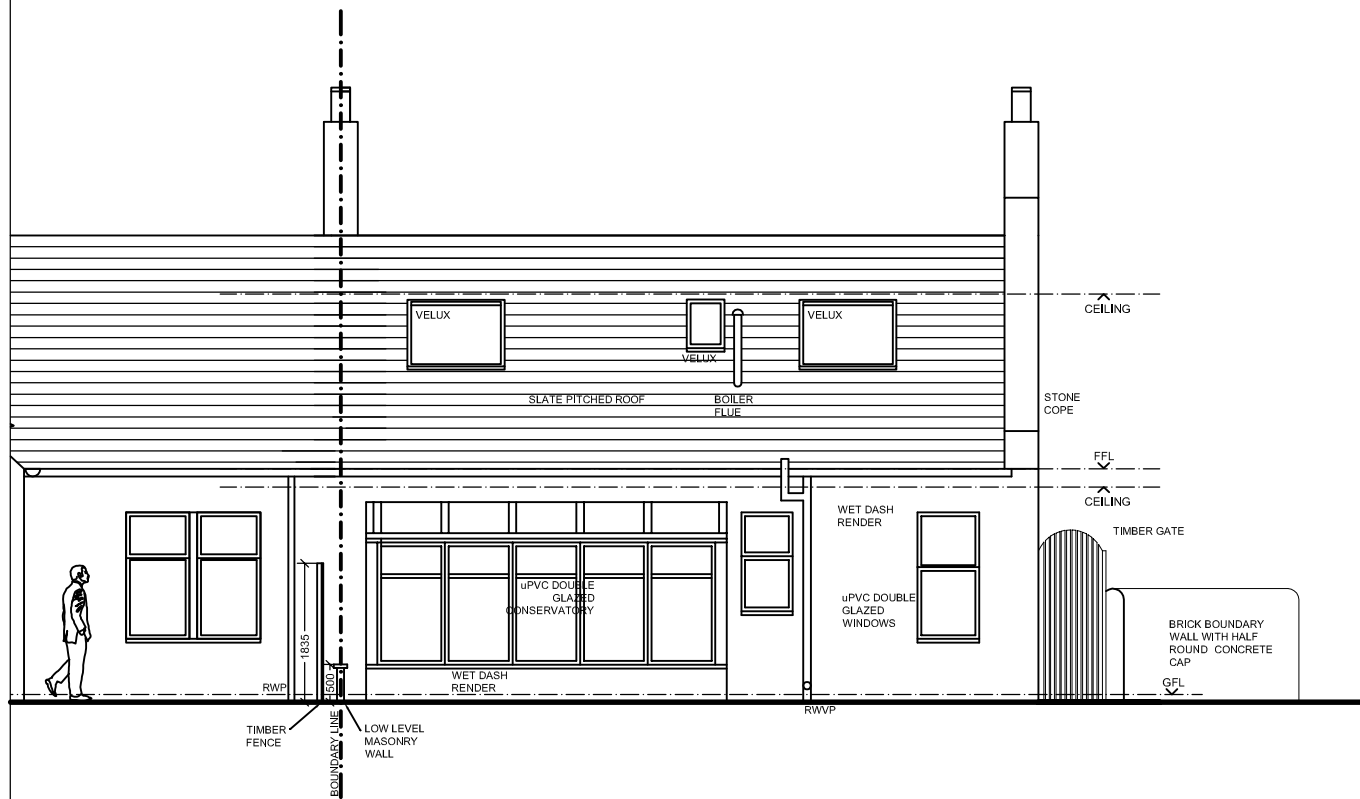
hLp architects
 35 Joppa Road
 Edinburgh, EH15 2HB
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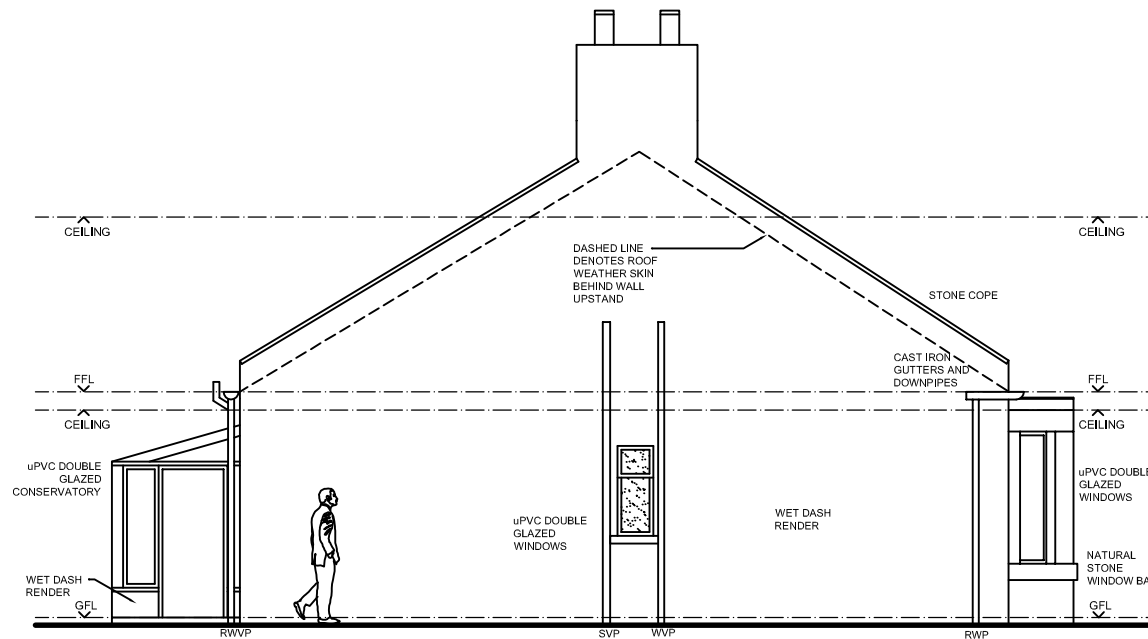


Rev	Description	Date
CLIENT		
34 BRUNSTANE ROAD EDINBURGH EH15 2QN		
TITLE EXISTING FIRST FLOOR PLAN		
Date	AUGUST 2018	
Drawn	CG	Checked
Scale	1:50 @ A3	
Drwg No	1733/003	Rev C
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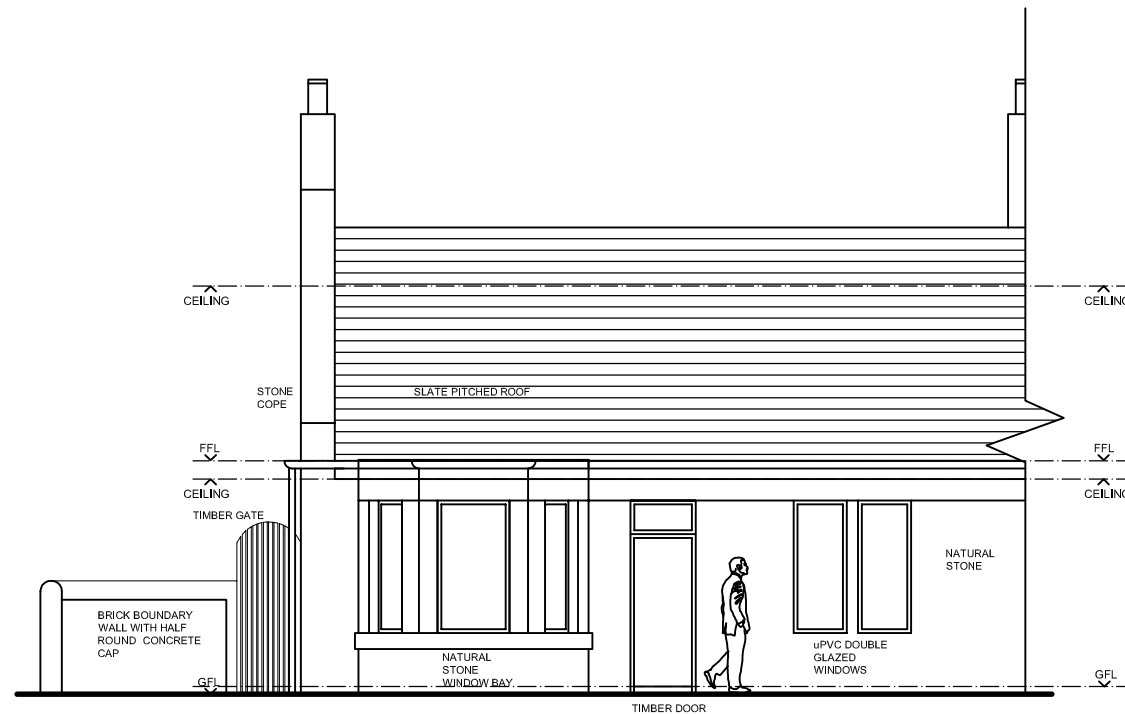
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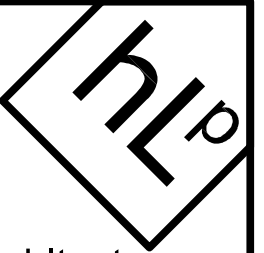
EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION



EXISTING FRONT ELEVATION



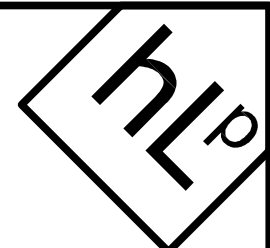
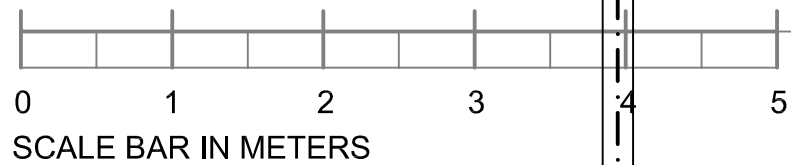
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35 Joppa Road
Edinburgh, EH15 2HB
T. 0131 66 99 300
E. office@hlpas.co.uk

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Page 102

Rev	Description	Date
	CLIENT	
	34 BRUNSTANE ROAD EDINBURGH EH15 2QN	
	TITLE EXISTING ELEVATIONS	
Date	AUGUST 2018	
Drawn	CG	Checked
Scale	1:100 @ A3	
Drwg No	1733/003	Rev B

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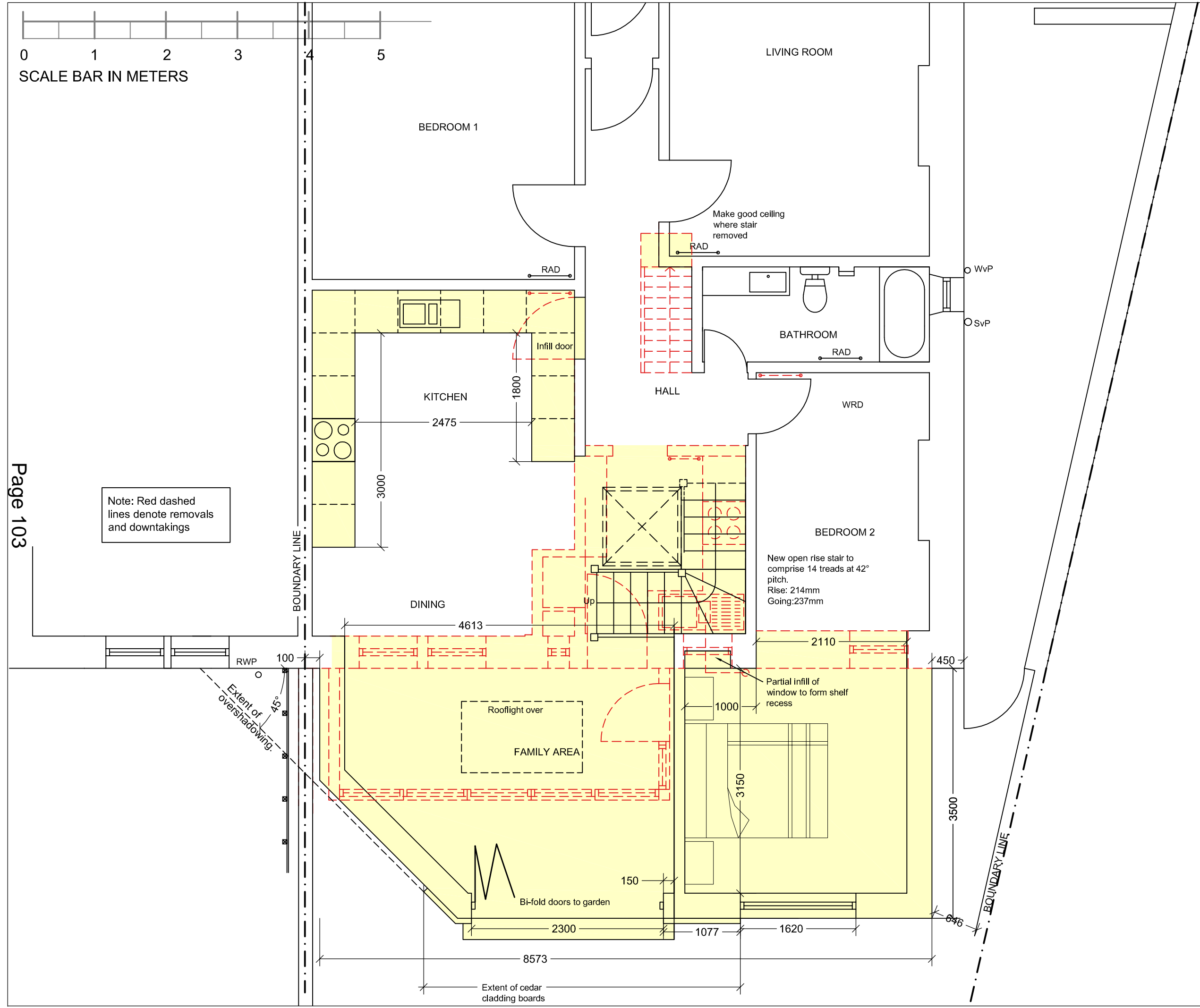


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Page 103

Note: Red dashed lines denote removals and dountakings



Rev	Description	Date
CLIENT		
34 BRUNSTANE ROAD EDINBURGH EH15 2QN		
TITLE	PROPOSED GROUND FLOOR PLAN	
Date	SEPTEMBER 2018	
Drawn	CG	Checked
Scale	1:50 @ A3	
Drwg No	1733/005	Rev F
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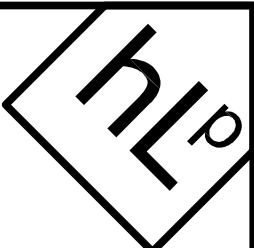
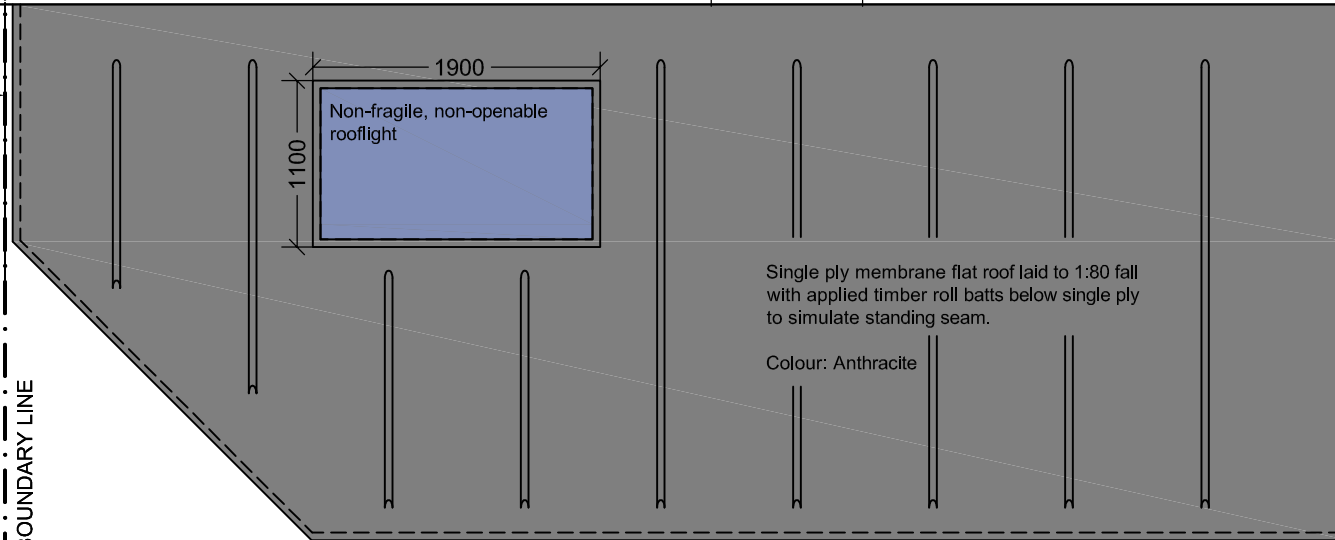
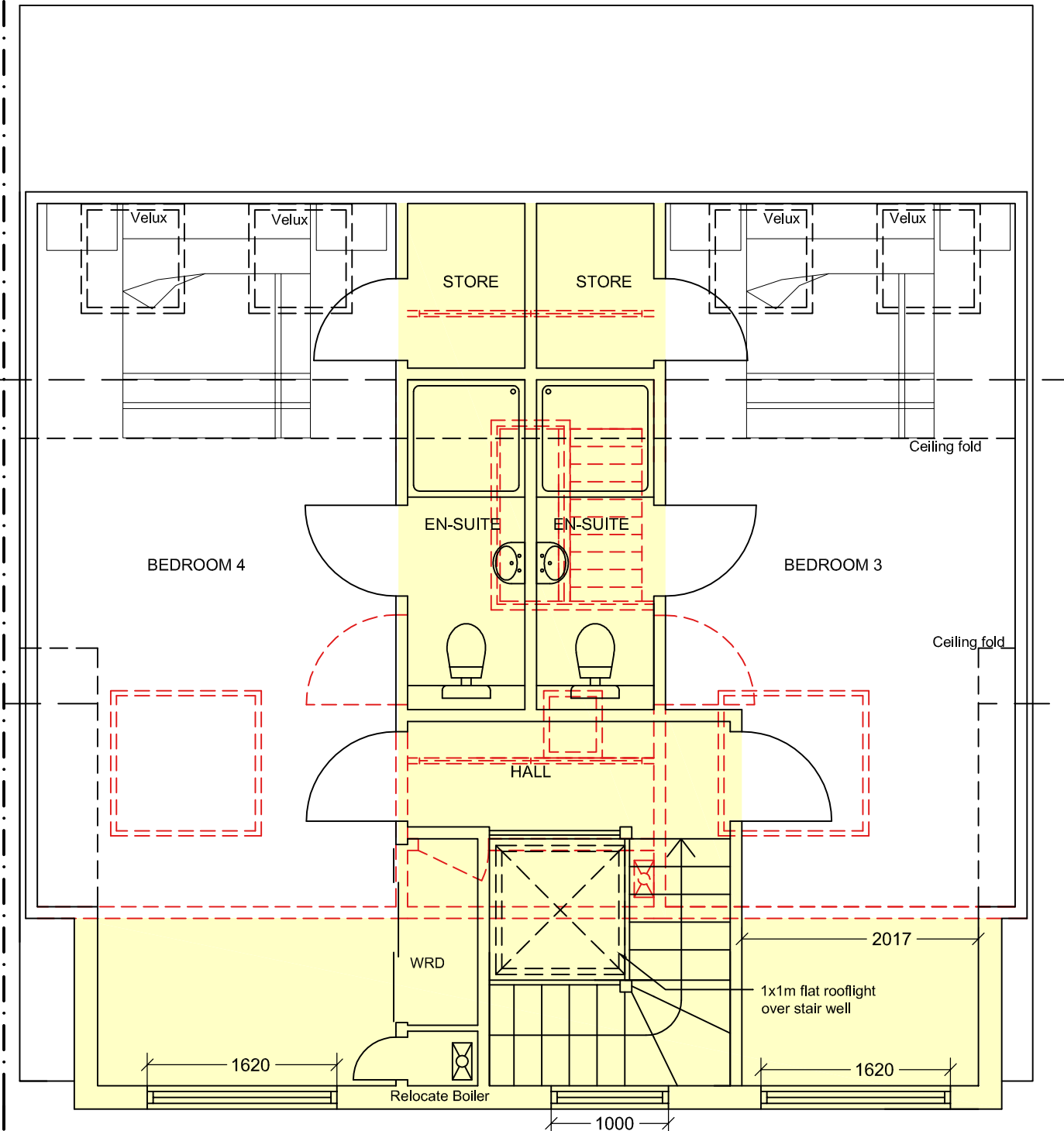
SCALE BAR IN METERS

Note: Red dashed lines denote removals and dountakings

Verge fascia this elevation to extend no more than 40mm over boundary line. All other elements wholly within site boundaries

Single ply membrane flat roof laid to 1:80 fall with applied timber roll batts below single ply to simulate standing seam.

Colour: Anthracite



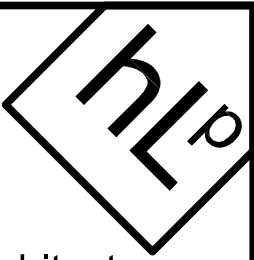
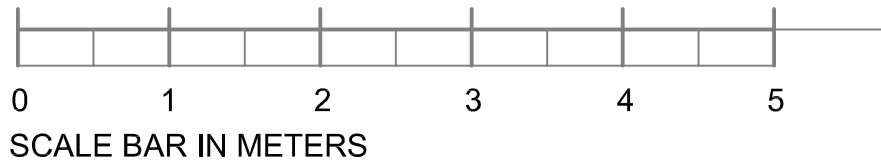
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Rev	Description	Date
CLIENT		
34 BRUNSTANE ROAD EDINBURGH EH15 2QN		
TITLE PROPOSED FIRST FLOOR PLAN		
Date	SEPTEMBER 2018	
Drawn	CG	Checked
Scale	1:50 @ A3	
Drwg No	1733/006	Rev F

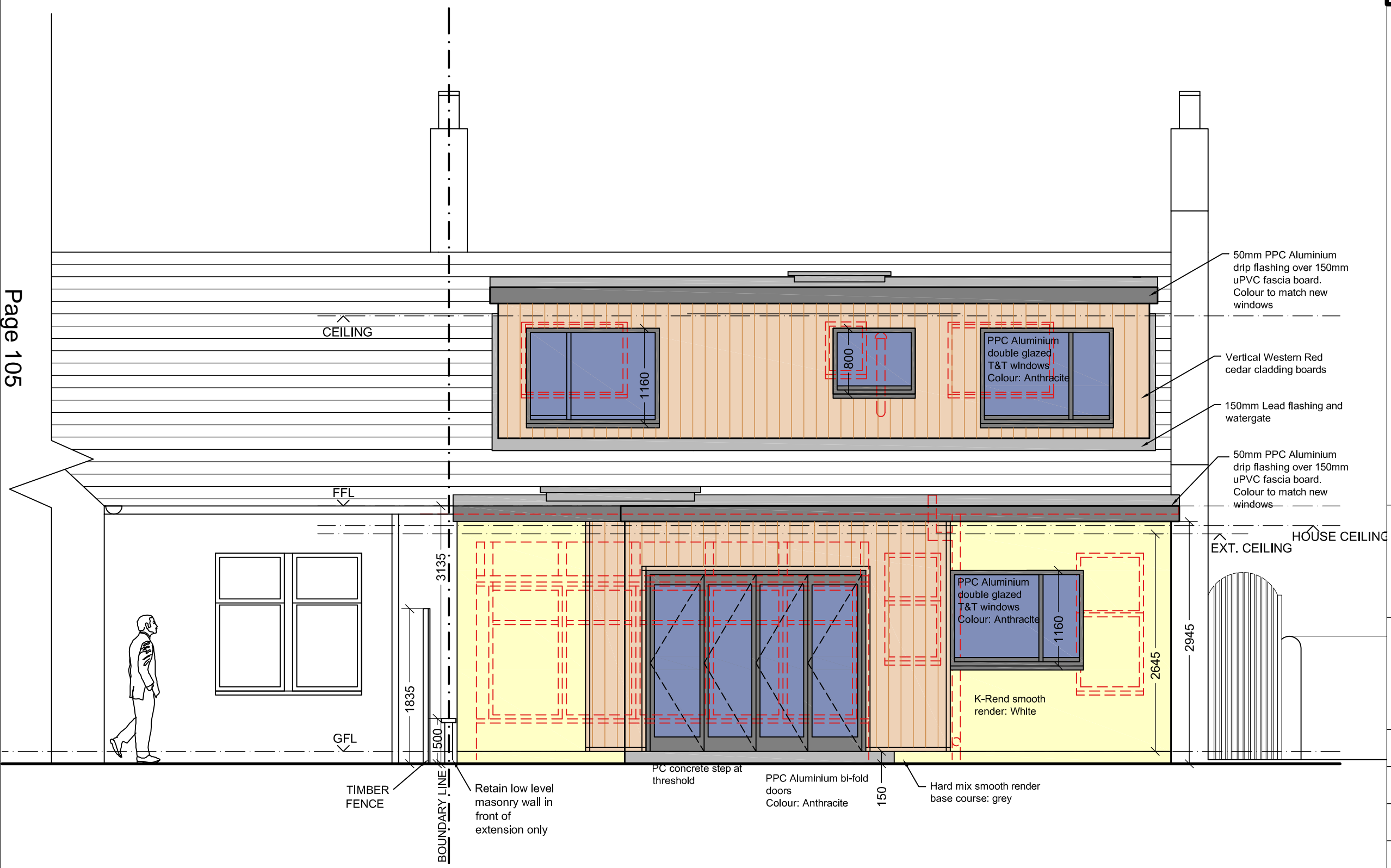
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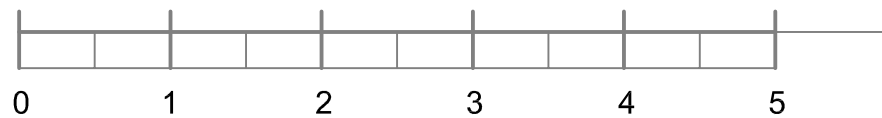
- Notes
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Page 105

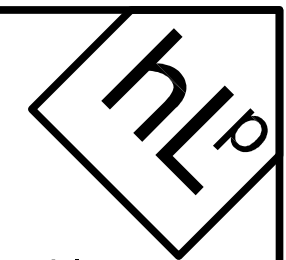


Rev	Description	Date
CLIENT	34 BRUNSTANE ROAD EDINBURGH EH15 2QN	
TITLE	PROPOSED REAR ELEVATION	
Date	SEPTEMBER 2018	
Drawn	CG	Checked
Scale	1:50 @ A3	
Drwg No	1733/007	Rev F

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SCALE BAR IN METERS

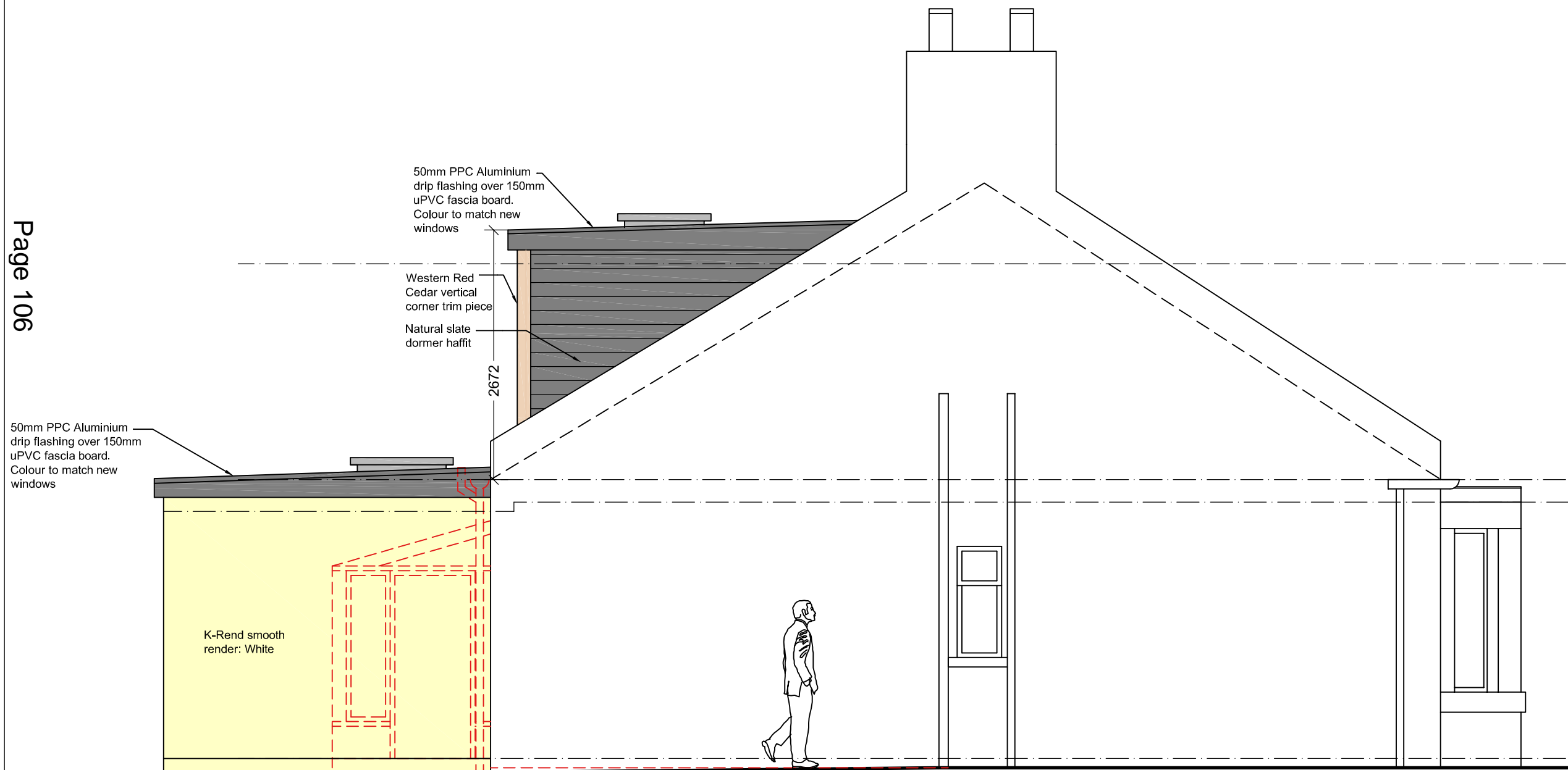


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Page 106



50mm PPC Aluminium drip flashing over 150mm uPVC fascia board. Colour to match new windows

Western Red Cedar vertical corner trim piece
Natural slate dormer haffit

2672

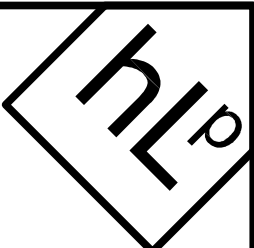
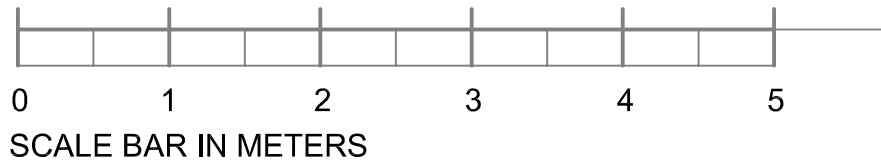
50mm PPC Aluminium drip flashing over 150mm uPVC fascia board. Colour to match new windows

K-Rend smooth render: White

Hard mix smooth render base course: grey

Grade external ground level to allow min 150mm new external GL and internal FFL

Rev	Description	Date
CLIENT		
34 BRUNSTANE ROAD EDINBURGH EH15 2QN		
TITLE PROPOSED SIDE ELEVATION		
Date	SEPTEMBER 2018	
Drawn	CG	Checked
Scale	1:50 @ A3	
Drwg No	1733/008	Rev F
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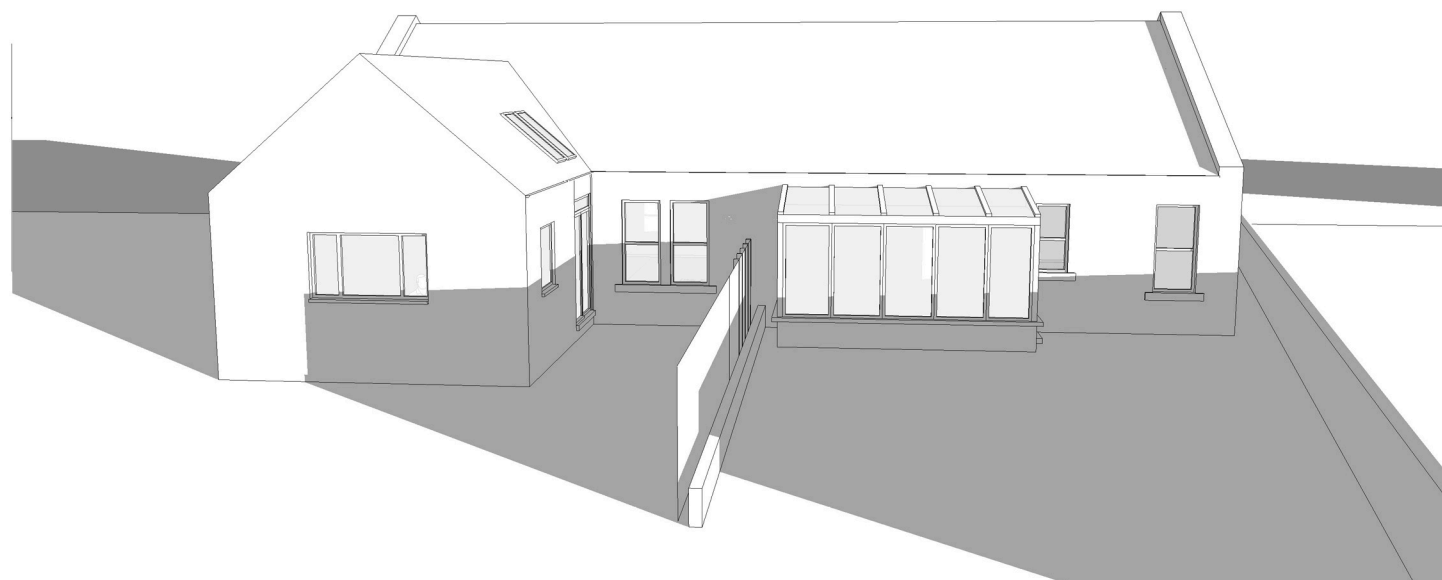
Page 107



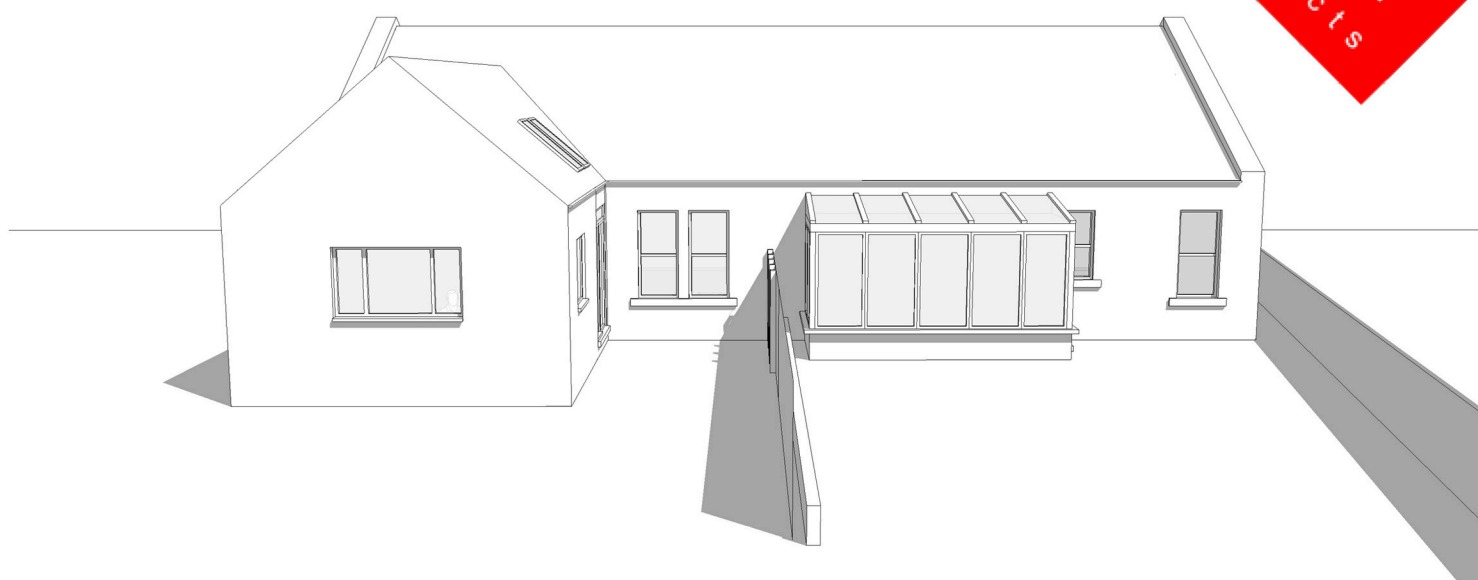
Rev	Description	Date
	CLIENT	
	34 BRUNSTANE ROAD EDINBURGH EH15 2QN	
	TITLE PROPOSED FRONT ELEVATION	
Date	SEPTEMBER 2018	
Drawn	CG	Checked
Scale	1:50 @ A3	
Drwg No	1733/009	Rev A

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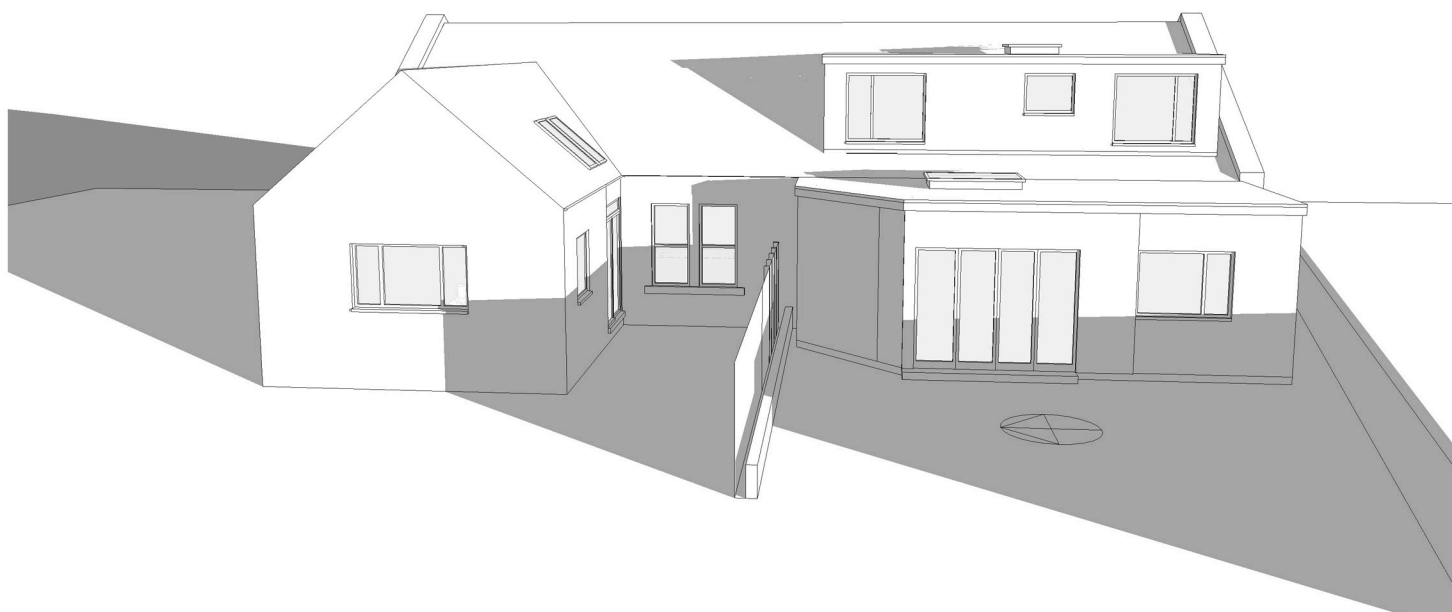
EXISTING REAR ELEVATION
Extent of overshadowing on 22nd December 3pm



EXISTING REAR ELEVATION
Extent of overshadowing on 21st June 2pm



PROPOSED REAR ELEVATION
Extent of overshadowing on 22nd December 3pm



PROPOSED REAR ELEVATION
Extent of overshadowing on 21st June 2pm



Page 108

Sun path analysis showing extent of overshadowing to No.32 Brunstane Road.
Rear garden receives no sun light until 1.30pm in Summer, and from approx 3pm onward with sunset at 4.30pm in the Winter

Diagram shows very marginal increase in overshadowing in the Summer, increasing through Winter. In the winter the critical rear window to No. 32 is already overshadowed.

1733 12/03/19 SK01 CG
34 BRUNSTANE ROAD EDINBURGH EH15 2QN
SUN PATH ANALYSIS AT SUMMER & WINTER SOLSTICE



View South, looking up Brunstane road. Property in question visible to the right.



View South, looking up Brunstane road as seen from across the street from application property.



View South, Brunstane Gardens. Directly in front of application property. Two storey town houses only.

Page 109



View North, looking down Brunstane road, over railway bridge. New build flats to the left. More two storey town houses continue towards Portobello High St.



New build flats on Brunstane Road.



16 Brunstane Road, two storey town house with front facing dormer, wider than non-statutory guidelines allow.



Page 110

New single storey rear extension and new dormer to rear at 35 Joppa Road. Planning Reference: 15/00528.

The dormer in this example exceeds the recommended guidelines. It is large and dominates the roof plane. However the addition of the ground floor extension increases the foot print of the building and reduces the 'top heavy' affect. Additionally note the large and irregular dormer (by others) next door in the top left image.



Page 111

New rear dormer and renovation of existing rear extension at 10 Parrotshot, Edinburgh. Planning Reference: 17/01492.

The dormer in this example exceeds the recommended guidelines. It is not as long as the application under review. However the overall building is also not as wide. What is relevant is the neighbour in this example has a single storey pitched roof extension to the rear which is similar arrangement to Brunstane Road. The neighbouring extension roof breaks up the roof plane and makes the new dormer appear less dominant.

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Aitken Turnbull
 5 Castle Terrace
 Edinburgh
 United Kingdom
 EH1 2DP

Mr Scott Hughes
 8/5 Boat Green
 Edinburgh
 Scotland
 EH3 5LW

Decision date: 9 April 2019

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS
 DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013**

Alterations to the existing property and a new rear extension (as amended).
 At 6 Davidson Park Edinburgh EH4 2PF

Application No: 18/10505/FUL

DECISION NOTICE

With reference to your application for Planning Permission registered on 21 December 2018, this has been decided by **Local Delegated Decision**. The Council in exercise of its powers under the Town and Country Planning (Scotland) Acts and regulations, now determines the application as **Refused** in accordance with the particulars given in the application.

Any condition(s) attached to this consent, with reasons for imposing them, or reasons for refusal, are shown below;

Conditions:-

Reason for Refusal:-

1. The proposal is contrary to Edinburgh Local Development Plan Policy Des 12 in respect of Alterations and Extensions, and also the non-statutory Guidance for Householders. The proposed development is overly dominant in both scale and footprint; would erode the character of the existing bungalow; and would be detrimental to neighbourhood character.

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.

Drawings 01, 02, 03, 04, 05A, 06A, 07A, 08A., represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

The proposal does not comply with the local development plan or non-statutory guidance. It is not acceptable. There are no material considerations upon which to justify approval.

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Peter Martin directly on 0131 469 3664.

D R Leech

Chief Planning Officer
PLACE
The City of Edinburgh Council

NOTES

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months beginning with the date of this notice. The Notice of Review can be made online at www.eplanning.scot or forms can be downloaded from that website. Paper forms should be addressed to the City of Edinburgh Planning Local Review Body, G.2, Waverley Court, 4 East Market Street, Edinburgh, EH8 8BG. For enquiries about the Local Review Body, please email localreviewbody@edinburgh.gov.uk.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

Report of Handling

Application for Planning Permission 18/10505/FUL At 6 Davidson Park, Edinburgh, EH4 2PF Alterations to the existing property and a new rear extension (as amended).

Item	Local Delegated Decision
Application number	18/10505/FUL
Wards	B05 - Inverleith

Summary

The proposal does not comply with the local development plan or non-statutory guidance. It is not acceptable. There are no material considerations upon which to justify approval.

Links

<u>Policies and guidance for this application</u>	LDPP, LDES12, NSG, NSHOU,
---	---------------------------

Report of handling

Recommendations

1.1 It is recommended that this application be Refused for the reasons below.

Background

2.1 Site description

The application property is a detached bungalow, located on the north side of Davidson Park.

There is an existing detached garage positioned to the side and rear of the main house.

2.2 Site History

There is no relevant planning history for this site.

Main report

3.1 Description Of The Proposal

The application proposes the construction of a two storey extension. The proposed development is positioned to the rear of the dwellinghouse, with a single storey link element providing a physical connection to the main building.

The extension will measure 6.10 metres in height to its ridge, will have a maximum length of 18 metres, a maximum width of 9.7 metres. The footprint of the proposed extension would be 155 square metres.

The proposal includes the reconfiguration of hard and soft landscaping to the front, side and rear of the existing dwelling, including areas of concrete slabbing and grasscrete. This work is permitted development under class 3C of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 (as amended). No further assessment of this work is required.

Supporting Statement

This application includes a supporting statement. The supporting statement is available to view on the Planning and Building Standards online services.

Previous Scheme

The application has been amended to reduce the size of the extension.

3.2 Determining Issues

Section 25 of the Town and Country Planning (Scotland) Act 1997 states - Where, in making any determination under the planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material considerations indicate otherwise.

Do the proposals comply with the development plan?

If the proposals do comply with the development plan, are there any compelling reasons for not approving them?

If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

3.3 Assessment

To address these determining issues, it needs to be considered whether:

- a) The proposed scale, form and design is acceptable and will not be detrimental to neighbourhood character;
- b) The proposal will cause an unreasonable loss to neighbouring amenity;
- c) Any impacts on equalities or human rights are acceptable;
- d) Any comments raised have been addressed.

a) Policy Des 12 of the Edinburgh Local Development Plan states that planning permission will be granted for alterations and extensions to existing buildings which in their design and form, choice of materials and positioning are compatible with the character of the existing building and will not be detrimental to neighbourhood amenity and character.

Whilst it is acknowledged that the application property occupies a relatively large plot, the non-statutory Guidance for Householders states that extensions should complement the existing house, leaving it as the dominant element. The existing house has a footprint of 118 square metres. The proposed extension would have a footprint of 155 square metres, more than doubling the footprint of the existing house. The proposed development is overly dominant in both scale and footprint, contrary to the guidance.

For bungalow extensions, the non-statutory Guidance for Householders advises that extensions should be designed in a way that retains the character of the original property and is subservient in appearance. Moreover, the hipped roof character of the host building should be respected. The roof design of the proposed extension is not in keeping with the existing property's hipped roof design. The proposal does not tie in with the existing building and would erode the character of the existing bungalow, contrary to this guidance.

The scale and layout of the proposed development is not in keeping with the overall spatial pattern of the area, which is not characterised by similar large extensions. The proposed development would be detrimental to neighbourhood character.

The proposal is of an unacceptable scale, form and design and will be detrimental to neighbourhood character, contrary to Local Development Plan Policy Des 12.

b) With regard to daylight and sunlight, the proposed development fully complies with the 45 degree criterion set out in the non-statutory Guidance for Householders and will not result in an unreasonable loss of daylight or sunlight for neighbouring properties.

With regard to privacy, the north east (side) elevation includes two rooflights at first floor level. The rooflights, by way of their positioning and angle within the roof, will not provide unrestrained opportunities to overlook the neighbouring properties and are acceptable. All other proposed window are in full compliance with the privacy requirements set out in the non-statutory Guidance for Householders.

c) The application was assessed in terms equalities and human rights. No impact was identified.

d) Public comments

Material Representations - Objection:

- The scale of the extension - This has been addressed in 3.3a;
- Not in keeping with the area - This has been addressed in 3.3a;
- The proposed development will result in an unreasonable loss of daylight for neighbouring properties - This has been addressed in 3.3b;
- The proposed development will result in an unreasonable loss of sunlight for neighbouring properties - This has been addressed in 3.3b;
- The proposed development will result in an unreasonable loss of privacy for neighbouring properties - This has been addressed in 3.3b.

Non-material Representations :

- The proposed development appears to be a separate dwellinghouse and not an extension. This is a householder planning application, and does not propose any material change of use or the formation of a new planning unit. The extension under assessment would be for ancillary accommodation to the existing dwellinghouses. The assessment of this application relates to the operational development only;
- Disturbance during the construction. If planning permission is granted for a development, the planning authority is unable to control or limit noise and disturbance associated with its construction;
- Lack of clarity in the submitted plans, including no details of what is proposed to be built in the North West corner of the application site. The submitted plans and drawings, as amended, provided sufficient detail for the determination of this planning application. The assessment of this planning application relates to the extension as proposed only. Other elements of work may benefit from permitted development rights under the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 (as amended). No further assessment of these elements would be required.
- The proposed development will result in noise disturbance for neighbouring properties. The application site is within a residential area and the proposed development will not result in any noise, other than that which would be created by activities that are incidental to the enjoyment of the dwelling house.

It is recommended that this application be Refused for the reasons below.

3.4 Conditions/reasons/informatives

Reason for Refusal:-

1. The proposal is contrary to Edinburgh Local Development Plan Policy Des 12 in respect of Alterations and Extensions, and also the non-statutory Guidance for Householders. The proposed development is overly dominant in both scale and footprint; would erode the character of the existing bungalow; and would be detrimental to neighbourhood character.

Risk, Policy, compliance and governance impact

4.1 Provided planning applications are determined in accordance with statutory legislation, the level of risk is low.

Equalities impact

5.1 The equalities impact has been assessed as follows:

The application has been assessed and has no impact in terms of equalities or human rights.

Consultation and engagement

6.1 Pre-Application Process

There is no pre-application process history.

6.2 Publicity summary of representations and Community Council comments

The application attracted four representations, all objecting to the planning application.

A full assessment of the representation can be found in the main report in the Assessment section.

Background reading / external references

- To view details of the application go to
- [Planning and Building Standards online services](#)

**Statutory Development
Plan Provision**

Edinburgh Local Development Plan.

Date registered

21 December 2018

Drawing numbers/Scheme

01, 02, 03, 04, 05A, 06A, 07A, 08A.

Scheme 2

David R. Leslie
Chief Planning Officer
PLACE
The City of Edinburgh Council

Contact: Peter Martin, Planning officer
E-mail:peter.martin@edinburgh.gov.uk Tel:0131 469 3664

Links - Policies

Relevant Policies:

Relevant policies of the Local Development Plan.

LDP Policy Des 12 (Alterations and Extensions) sets criteria for assessing alterations and extensions to existing buildings.

Relevant Non-Statutory Guidelines

Non-statutory guidelines 'GUIDANCE FOR HOUSEHOLDERS' provides guidance for proposals to alter or extend houses or flats.

Appendix 1

Consultations

No Consultations received.

END

Comments for Planning Application 18/10505/FUL

Application Summary

Application Number: 18/10505/FUL

Address: 6 Davidson Park Edinburgh EH4 2PF

Proposal: Alterations to the existing property and a new rear extension.

Case Officer: Peter Martin

Customer Details

Name: Ms Carol Sloman

Address: 7 Davidson Park Edinburgh

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I live at 7 Davidson Park. My comments on the planning application at 6 Davidson Park are as follows:

I am concerned about the size of the proposed extension and the effect it will have on my property. The neighbourhood consists of bungalows, many of which (including mine) have single storey extensions built in the back gardens which are in keeping with the low rise nature of the area. This application however is for a two storey extension which is of a significant size: the scale is such that it looks like a separate house rather than an extension and is possibly larger than the original bungalow.

Looking at the plans, there appears to be a narrow gap between the extension and the boundary between nos 6 and 7, leading to:

Loss of daylight/sunlight - a large two storey building would block out light from most of my garden, particularly in the afternoon as the extension is along the west boundary.

Lack of privacy - the plans of the east facing elevation show windows overlooking my garden on both levels.

The extension would loom over my property quite significantly and would be difficult to ignore.

Overall therefore, the scale of the proposed extension, including the height and the massing effect of such a large building, would I believe substantially overshadow my home, particularly as the extension is so close to the boundary between the two properties.

I would have no objection to a one storey extension - although this would also contribute to loss of daylight and privacy, there are many extensions of a similar nature in the area which do not have such a negative effect on their neighbours as this proposed extension would appear to have.

Comments for Planning Application 18/10505/FUL

Application Summary

Application Number: 18/10505/FUL

Address: 6 Davidson Park Edinburgh EH4 2PF

Proposal: Alterations to the existing property and a new rear extension.

Case Officer: Peter Martin

Customer Details

Name: Mr George Smith

Address: 27 Grigor Avenue Edinburgh

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:(1) - The overall size of the proposed development seems unduly large. It is in effect a completely new house, albeit joined to the existing house.

(2) - The proposed building is, in part, 2 storeys high, with the windows facing West, thereby overlooking our garden thus resulting in a lack of privacy.

(3) - The noise which would be created in the building of, what is essentially, a complete new house at the bottom of our garden.

(4) - The lack of clarity in Diagram 05 which shows two rectangular shapes at the North West corner of the site plan with no legend to explain what these are. A visit to the Planning Department could not throw any light on this either.

Comments for Planning Application 18/10505/FUL

Application Summary

Application Number: 18/10505/FUL

Address: 6 Davidson Park Edinburgh EH4 2PF

Proposal: Alterations to the existing property and a new rear extension.

Case Officer: Peter Martin

Customer Details

Name: Mr John Cannavan

Address: 3 grigor gardens Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I am concerned about the size of the proposed extension which almost amounts to a newbuild house, although ostensibly an attachment to the existing bungalow. It would be close enough to my property and high enough to potentially overlook it and affect the natural light coming in to my property.

Comments for Planning Application 18/10505/FUL

Application Summary

Application Number: 18/10505/FUL

Address: 6 Davidson Park Edinburgh EH4 2PF

Proposal: Alterations to the existing property and a new rear extension.

Case Officer: Peter Martin

Customer Details

Name: Dr Keith Hodgson

Address: 29 Grigor Avenue Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I object to the proposal on the following grounds:

- Overshadowing and loss of privacy

The proposal includes an upstairs bedroom and glass fronted set of stairs. The window for this bedroom will overlook directly into our back garden and our downstairs rooms.

- Noise and disturbance

This is more than an extension to an existing property. From the submitted document detailing the takedowns, it is clear that the entire back garden is going to be re-developed and what amounts to a completely new house is going to be built in its place. This will create a lot of noise and risks disturbing our 7 month old child.

I would also seek clarification on the following:

- White box on 'site plan as proposed (document 5)'

On document 5 (site plan as proposed), there are two white boxes in the top left hand corner of the site. There is, however, no corresponding white box on the legend. I would like to clarify what will be built on these white boxes? Are they further parking spaces or is this going to be a garage? If it is a garage, what sort of structure will this be (flat roofed etc), as this will have a further impact to my objections detailed above. Additionally, if this is a garage, this will have an impact on our property as there will be cars driving along the grasscrete (which backs on to the boundary of our property) to and from the garage.

Overall, It is disingenuous to state that this is an 'extension', when the new property has all the features of a house and no reliance on the current property.

From: [REDACTED]
Sent: 25 Jun 2019 21:36:52 +0100
To: Local Review Body
Subject: Planning application 18/10505/FUL
Importance: Normal

Dear Ms Bellhouse

I would like to make the following observations in response to the report by Stefano Smith.

My overriding impression is that undue weight has been given to personal rather than planning aspects of the appeal.

The length of time the house has been in family ownership , suppositions regarding the mother's health and care requirements

at some indeterminate time in the future , these seem to me to be much less relevant than some of the practical facts.

My wife is registered disabled and having such a large building project 15/20 yards from our home and separated only by a hedge

would be highly stressful for us but I would not for a minute expect that to be a factor in an appeal where planning is the relevant issue.

The revised plans for this development are only marginally reduced from the initial submission. I am at a loss to understand

Stefano Smith's point about the two sections of the proposed building being less than the existing house footprint when , taken as a

whole it is still larger . This seems contradictory . Also , the comparison made with the 'Granny flat' in the House at Grange is not

comparing like with like as it is a single storey , not partly two storey as proposed in this application.

As in my original objection , I will repeat my view that this is not an extension but is virtually an adjoining house and can be made so by

the closing or sealing of a connecting door.

As for the quality of the building materials used and the 'award winning' status of the architect , that is all very well but I fail to see the

relevance when the issue is of a building ,the size ,suitability and positioning of which , will negatively impact neighbours on all sides.

The layout of streets around Davidson Park ,i.e .Grigor Avenue , Grigor Gardens .means that there are several gardens adjoining the

applicant's garden on all sides and any extension should be sympathetic , unobtrusive and genuinely part of the original house in order

that the neighbourhood amenity is not disrupted.

In my view , this proposal would disrupt that amenity , not just for myself but for several householders.

Kind regards

John cannavan

Reference 18/10505/FUL
Address 6 Davidson Park, Edinburgh, EH4 2PF
Proposal Alterations to the existing property and a new rear extension (as amended).

Dear Sir/ Madam,

I am writing to reiterate my objections to the application for planning permission for alterations to the existing property and a new rear extension (as amended) (reference number: 18/10505/FUL) at 6 Davidson Park, Edinburgh, EH4 2PF.

This is in response to the lodging of an appeal by Stefano Smith Planning via the LRB form and supporting documents, dated the 13th of June 2019.

Before I list my objections, I must comment on the tone and substance of the appeal in general. As a lay person, I was struck by the emotive tone and, at times, condescending nature of some of the statements contained within the lengthy document.

A number of assertions were made as if they were fact, when they are no more than opinion proffered by a consultancy firm with very marked interests. I do, however, trust that the findings of the appeal will be based on the facts as they relate to current planning legislation and it is on this basis that I make my objections.

Dr Keith Hodgson & Mrs Riona Ní Bhrolcháin
29 Grigor Avenue, Edinburgh, EH4 2PQ

Acceptability in terms of scale, form and design

A number of issues were raised under this broad umbrella, a number of which I would like to specifically object to:

'The footprint of the proposed extension albeit larger than the original dwelling, when broken down into its two constituent elements, that is, the single storey link and the one and a half storey extension, are each less than the original property.'

It should not be possible to separate the proposed extension into multiple parts in order to falsely claim the size of the extension will not make it the dominant feature of the dwelling. The extension is one single extension and should be considered as a whole. When viewed this way, the proposed dwelling would be a large extension with a bungalow attached.

Furthermore, as I stated in my original objection, it is disingenuous to call the proposed alteration an extension, as it has all the amenities of a house in its own right. In the future, it might be possible to turn the property into two separate dwellings.

'It is recognised in the Council's non-statutory guidance that high-quality innovative design, as is the case with this proposed extension, can complement the existing property, leaving it as the dominant element, as well as maintaining the quality and character of the surrounding area [underlining my own]'

The underlined portion of the statement is just one of many opinions offered throughout the document. It is not clear to me that there is anything particularly innovative about the plans, other than building a large house and claiming it is an extension.

'The proposed extension would occupy approximately 15% of the garden area, retaining approximately 60% as useable garden space which complies to the non- statutory guidance'.

I could not find enough evidence within this document to support this claim. In addition, in the original documents submitted, there were a number of other structures labelled within the plan that do not require one to go through the planning process (a garage, an area of 'grasscrete' and parking for at least two cars). When these are accounted for, it is not clear to me whether the proposed extension will still be compliant to the non-statutory guidance (although this may be the case).

'The scale and layout of the proposed development is in keeping with the overall spatial pattern of the area which is characterised by bungalows with alterations and extensions, several of which are large and have been subsequently approved following appeal or review by LRB'

This statement, although not false, does not accurately represent the situation within the local area. Having walked around where I live, the following properties are all bungalows, but they only consist of **single level extensions**:

- 3 Grigor Avenue
- 9 Grigor Avenue
- 13 Grigor Avenue
- 15 Grigor Avenue
- 17 Grigor Avenue
- 45 Grigor Avenue
- 58 Grigor Avenue
- 60 Grigor Avenue
- 4 Davidson Road
- 8 Davidson Road
- 10 Davidson Road
- 9 Davidson Park (planning permission recently granted)
- 11 Davidson Park

None of the properties listed have a one and a half story extension and therefore the addition of this aspect of the extension would *not* be in keeping with the 'overall spatial pattern' of the area.

Furthermore, the permission that was granted on appeal at 11 Davidson Road was a single level extension that enlarged the footprint of the dwelling and extended the living space that was already present. The application in this case is adding three bedrooms, a kitchen/living room and multiple bathrooms and is, therefore, not comparable.

'The proposal is of an acceptable scale, form and design and will not be detrimental to the neighbourhood character'

See point above. The proposal is not in keeping with other properties of the same style that have had extensions.

Section 2: Context for the proposal

Section 2 of the statement details the context for the current application. Within this section, there are a number of statements that I take issue with. In reference to the family situation of the applicant, the following is stated:

'The planning case officer for this application appeared unsympathetic to any of these points. We know however, that such issues have been important in previous decisions taken by the Local Review Body. For example, the recent decision of the Local Review Body (LRB) on 29th May to grant planning permission for the erection of a single storey extension to form a fully accessible dwelling house at 42 Grange Road, Edinburgh. See this Planning Statement Section 3.3.7 Appeal and Local Review Body Decisions.'

On closer review of this decision, it is clear that the dwelling in question is markedly different from 6 Davidson Park. 42 Grange Road is a large semi-detached two story house in the south of Edinburgh and the extension that was approved was a single story extension. In this case, the original property remained the dominant feature and the extension built was, in-fact, smaller than the proposed extension in this case. Although the family situation may have been similar (again, this is difficult to confirm), there are multiple other issues that are clearly different and therefore this case should not be used to justify this appeal.

'They also wished to ensure that the extension was an integral part of the existing property and that the living arrangements operated as a single home rather than two separate units, truly reflecting the ethos of 'multi-generational' living.'

I disagree with this statement as both the existing property and extension will be able to function as independent households. This is highlighted by the fact that the two parts of the property will have separate entrances.

Section 3: Development plan and material considerations:

The 'Non-statutory guidance for householders' details that:

'Rear extensions to bungalows should be in keeping with the existing property roof design and its ridge line should be below the ridge of the existing property.'

Due to the design feature of the single story link room, the roof of the one and a half storey extension is not in-keeping with the existing property roof design as, although lower than the current height of the roofline, is not continuous with it. This is particularly apparent from our vantage point at 29 Grigor Avenue and this is likely why we have the strongest objection to this particular aspect. From our point of view it will appear to be a totally distinct dwelling.

Section 4: Determining issues

The effect of the proposed extension in terms of over dominance in both scale and footprint on the character of the existing bungalow.

It is noted in this section that the property occupies a large key-stone plot. This is clearly the case, however, should it not be the size of the original dwelling that determines when the size of the extension becomes the dominant feature, not the size of the plot the building is on? In this case, the proposed extension, with twice the footprint and the one and a half storey component of the extension, will clearly be the dominant feature, especially from our vantage point.

Conclusion

In conclusion, there are a number of different aspects of the application that I object to. The aims of the extension are commendable, but these could be achieved without the imposition of such a dominant structure. Thank you for your consideration of these objections.

Dr Keith Hodgson & Mrs Riona Ní Bhrolcháin
29 Grigor Avenue,
Edinburgh,
EH4 2PQ

From: [REDACTED]
Sent: 9 Jul 2019 19:33:52 +0100
To: Alison Kirkwood
Cc: Local Review Body
Subject: Fw: Review of Planning Application decision for 6 Davidson Park
Edinburgh
Importance: Normal

Thank you so much for calling me back. I am forwarding my original submission, copying in the Local Review Body as you suggested. When I got home this afternoon, there was a reply to my enquiry email from Aidan McMillan so I am forwarding the email to him as well. I would say this is what happens when someone who is not in the habit of using the computer has to do something on-line, but, I still cannot see where I have gone wrong, as I have the correct e-mail address on my original submission.

Kind Regards
Pamela Smith (Mrs)
----- Original Message -----

From: [REDACTED]
To: localreviewbody@edinburgh.gov.uk
Cc: planning@edinburgh.gov.uk
Sent: Tuesday, June 25, 2019 5:54 PM
Subject: Review of Planning Application decision for 6 Davidson Park Edinburgh

Planning Application 18/10505/FUL
Your reference 19/00075/REVREF

My husband and I submitted an objection to the above Planning Application under my husband's name. My husband died last month but I would wish the objection to stand in my name:-
Mrs Pamela A R Smith
27 Grigor Avenue
Edinburgh EH4 2PQ

However in response to your e-mail of 13 June regarding Notice of Local Review and Supporting Documents, I have the following comments to make:-

(a) Executive Summary and Sec 2.1

As you only consider objections which are relevant to planning issues, I assume the reverse is true and that the emotive statement set out in the above will have no bearing on the planning application. Indeed I could say that my house is my children's inheritance and that, having lived here for nearly 40 years, I have no wish to see that devalued by the suggested development OR that having lost my husband last month, the peace and solace I gain from my garden will be destroyed, pushing me to my endurance limit. I am sure other objectors could make similar claims but we choose not to do so as it is not relevant to the planning issue in hand. Mrs Hughes and indeed myself are fit and active but no-one can tell us what will happen in the future.

(b) Executive Summary

I find it quite unprofessional that the company, Stefano Smith, makes judgements based on their opinions. Their statement that the proposed design meets 3 key requirements-

"to compliment the existing house leaving it as the dominant element

to maintain the quality and character of the surrounding area and :-

to respect the amenity of adjacent neighbours"

is purely subjective and one with which I totally disagree.

(c) Executive Summary

It is also a nonsense to suggest that by splitting the proposed extension into 2 constituent elements, neither will have a larger footprint than the original dwelling. The 2 elements make up the proposed extension and have to be considered as such.

(d) Executive Summary and photos at 2,3and 4.

I accept that it is a large plot but the photographs attached to the Statement give, in my opinion, a distorted view of the scale of the garden. I am not sure how the % of ground being occupied by the proposed development is calculated but the % of useable garden space doesn't take account of any planned future permitted development ie garages and access road shown on the drawings included in the supporting documents.

(e) Sec 2.3.6

I know my husband and I were aware of the changes to the original plans but considered the amendments inconsequential.

(f) Secs 3.3.7-3.3.16

As regards the development at 9 Davidson Park - this is a single storey extension to the existing bungalow, increasing the overall footprint, but in keeping with the area - not a completely self contained house and as such I do not really see any comparison.

(g) As regards the revised plans for 6 Davidson Park, it is still the case that this is not an extension to the existing bungalow but rather a completely self contained house being built, albeit with a connecting door. Both homes will have their own front door,living areas,sleeping areas, kitchen and bathrooms. The tweaks that have been made to the original plans do nothing to take away from this fact. The effect of the proposed "extension" in terms of scale and footprint of the existing bungalow is, in my opinion,out of keeping with the area and over dominant. Precedence seems to indicate that only single storey extensions proper have been approved in the area.

Pamela A R Smith (Mrs)



STEFANO SMITH PLANNING
CREATIVE | COLLABORATIVE | COMMITTED

Our Ref: SSP/Scott_Hughes/NoR/SSP006 Stefano Smith Planning
[REDACTED]

City of Edinburgh Council
Local Review Body

via email: LocalReviewBody@edinburgh.gov.uk

17th July 2019

Dear Sir/Madam

**6 DAVIDSON PARK, EDINBURGH NOTICE OF REVIEW (19/00075/REVREF) –
APPELLANT RESPONSE TO OBJECTION COMMENTS**

We write on behalf of the appellant Mr Scott Hughes in response to the objections received to the above . The Notice of Review was received by the City of Edinburgh Council ('the Council') on the 13th June 2019. The Council informed interested parties that they had 14 days to make further representations, that is, by the 27th June 2019.

Three objections were subsequently received from the previous four objectors to the planning application, namely:

- John Cannavan (3 Grigor Gardens) (25th June 2019)*;
- Dr Keith Hodgson & Mrs Ríona Ní Bhrolcháin (29 Grigor Avenue) (undated)*; and
- Pamela Smith (27 Grigor Avenue) (25th June 2019)**

We received these objections via email from Aidan McMillan (Transactions Officer, City of Edinburgh Council) on the 3rd (*) and 10th (**) July 2019.

General Comments in Response to Objections

Several of the comments submitted are a reiteration of previous comments made at the planning application stage. As stated in the 9th April 2019 Development Management Report of Handling (Section 3.3 Assessment (d) Public Comments) (see attached) several of these comments are **non-material representations**. In responding to the specific objections below, I have identified those that are non-material representations.

A common theme in the objections is that elements of the argument put forward in the appeal are 'opinion' and not 'fact'. Where specific quantitative thresholds are set out in the development plan or non-statutory guidance, such as, useable private garden space (normally at least 30 sqm depending on the spatial pattern of neighbourhood to avoid over-development), rear extensions (should not occupy more than one third of the applicant's original rear garden area), ridge line should be below the ridge of the existing property, and distances between side windows and rooflights to boundaries (see Planning Appeal Statement para.3.3.4) these are responded to by the appellant in the Planning Appeal Statement with **quantitative, factual evidence**.

Where development plan policy and non-statutory guidance refers to for example, alterations and extensions that complement the existing house leaving it as the dominant element, and maintaining the quality and character of the surrounding area, these are matters of **planning judgement**. As the appellant's planning consultant, I have over 30 years experience to draw upon in providing informed planning judgement within the framework of the relevant development plan and material considerations. The conclusions made by way of planning judgement in the Planning Appeal Statement are considered cogent, with clear reasoning. It is not considered in any way irrational or perverse. It is composed of perfectly rational planning judgments.

Specific Comments in Response to Objections

The appellant's specific response to these objections are detailed below.

John Cannavan - 3 Grigor Gardens

We respond to each of the six points raised by Mr Cannavan as follows.

1. The **personal situation of an applicant** has been taken into consideration in previous LRB decisions (e.g. 42 Grange Road) (see attached Minute from LRB 29th May 2019). Particularly 'that it was important that the applicant was able to stay within their community.'
2. The **size of the proposed footprint of the extension** compared with the footprint of the existing bungalow is not the sole measure when considering the effect of the proposed extension on the character and appearance of the existing property. The footprint should not be the only measure in determining the degree of dominance of an extension upon the existing property. Other equally important factors for rear extensions to bungalows, as stated in the Council's non-statutory Guidance for Householders (March 2018) (p.11), includes its relationship with the existing property's roof design and ridge line.

Bungalow extensions should be designed in a way that retains the character of the original property and is subservient in appearance. Extensions must not imbalance the principal elevation of the property. '...the principal elevation (usually the front)...' (p.6). The proposed extension has minimal impact upon the principal elevation (front) of the existing property when viewed from Davidson Park. Rear extensions to bungalows should be in keeping with the existing property roof design and its ridge line should be below the ridge of the existing property. In the case of this appeal, the ridge of the proposed extension is below the ridge of the existing property, and the roof pitch of the extension reflects that of the existing property.

3. The proposed extension is **not 'partly two storey'** as stated by Mr Cannavan. The proposed extension comprises a single storey link connecting the existing bungalow

to a one and a half storey extension. The comparison to the recently approved extension at 42 Grange Road is relevant, particularly with regard the need for the applicant to remain within their community.

4. **The proposed development appears to be a separate dwellinghouse and not an extension.** This is a non-material representation. This is a householder planning application, and does not propose any material change of use or the formation of a new planning unit. The extension under assessment would be for ancillary accommodation to the existing dwellinghouse. The assessment of this application relates to the operational development only.
5. The **quality of the building material** used is relevant. The Guidance outlines the design matters to be considered when designing extensions and alterations. The materials used to construct a building are one of the most important elements in helping a new extension to sit harmoniously with the original building. The materials to be used on an extension should normally match those of the existing building. The palette of materials for the proposed extension reflect the materials of the existing property; rendered wall finish to match existing, slate, tiled roof and aluminium clad composite windows and doors. This will create a harmonious appearance between the existing property and proposed extension.

The external appearance of the existing property will be 'refreshed' at a similar time to the construction of the proposed extension, reinforcing the continuity and harmony between old and new and consolidating the appearance of the single property. The single storey link connecting the existing property to the one and a half storey extension will have a flat, green roof and comprise lead cladding panels and glazing. The materials will be of the highest quality. This link has been designed as an innovative solution in connecting the old and new elements of the property; an approach which is considered acceptable in the non-statutory Guidance for Householders (Step 3: Design Matters – Materials p.16).

6. The **amenity of neighbouring properties** will not be detrimentally affected. The proposed extension will respect the amenity of adjacent neighbours as agreed by the Council's planning case officer in the Report of Handling (Section 3.3 (b)):
 - a) Daylight and sunlight - the proposed development fully complies with the 45-degree criterion set out in the non-statutory Guidance for Householders and will not result in an unreasonable loss of daylight or sunlight for neighbouring properties; and
 - b) Privacy - the north east (side) elevation includes two rooflights at first floor level. The rooflights due to their positioning and angle within the roof will not provide unrestrained opportunities to overlook the neighbouring properties and are therefore acceptable. All other proposed windows are in full compliance with the privacy requirements set out in the non-statutory Guidance for Householders. The proposal would therefore not result in an unreasonable loss of neighbouring privacy.

Dr Keith Hodgson & Mrs Ríona Ní Bhrolcháin - 29 Grigor Avenue

We respond to each of the four points raised by Dr Keith Hodgson & Mrs Ríona Ní Bhrolcháin as follows.

1. **Acceptability in scale, form and design** - see response to John Cannavan [pts 2) and 4)]. Also the link element of the extension is an innovative response to the specific characteristics of the site to enable the efficient orientation and siting of the one and a half storey element. The proposed extension would also still be compliant with non-statutory guidance in terms of remaining useable garden space even when including those elements not requiring planning permission (i.e. garage, grasscrete and parking for at least two cars). Also, the examples provided by Dr.Hodgson in response to the spatial pattern of the neighbourhood demonstrates that this is characterised by bungalows that have been extended. The size of the appeal plot, the high quality design and responsiveness of the proposed extension to the existing property and spatial pattern of the area demonstrates the suitability and compliance of the extension with the development plan and relevant guidance.
2. **Context of the proposal** - 42 Grange Road is comparable to this appeal in terms of the development plan policies it had to respond to (Des 12 Alterations and Extensions), as well as the requirements of the applicant to remain within their community.
3. **Development Plan and Material Considerations** - see response to John Cannavan pt.2.
4. **Determining issues** - see response to John Cannavan pt.2.

Pamela Smith - 27 Grigor Avenue

We respond to each of the seven points raised by Mrs Smith as follows.

1. **Need for alterations and extension** – the Planning Statement in Support of NoR Section 2.1 outlines the context of the proposal. The proposed extension enables **‘multi-generational’ living** within the property, and allows the Hughes family to remain in the family home and neighbourhood that they have lived in for over 45 years. Multi-generational living is defined as more than two generations living under the same roof. Many researchers also include households with a grandparent and at least one other generation, as is the case with the Hughes family. Multi-generational living arrangements can increase psychological, social, and financial capital—factors associated with improvements in health and longevity. There are many recognised benefits of multi-generational living, including:
 - Reducing the impact on national and local social care services;
 - Sharing expenses – by bringing family members and resources together under one roof, families can collectively address their expenses and allocate finances accordingly;
 - Shared responsibilities - distributing chores and age-appropriate responsibilities amongst family members is a tremendous way of ensuring that everyone does their part;

- Strengthened family bond - while most families come together on special occasions, multigenerational families have the luxury of seeing each other every day. By living under one roof, these families develop a high level of attachment and closeness. Here's how:
 - Grandparents serve as role models for their grandchildren through daily interactions, while grandchildren learn to respect and connect with their elders;
 - Grandparents feel more engaged and useful when they can provide help to their children and grandchildren, whether that's through giving life advice or merely helping a grandchild with homework;
 - Many studies have supported the notion that grandparents regularly have a profound influence on their grandchildren by ushering in a loving atmosphere and healthy relationship; and
 - Loneliness is a common social problem for the elderly. The emptiness of their home weighs heavily on them, making them feel disconnected from the rest of their family and community. Through daily activities with family members in a multigenerational home, grandparents experience a better quality of life.
- Ensured family safety - home security is a terrific benefit of multigenerational living. With multiple generations under one roof, a home is rarely ever left unoccupied for long, and living with other family members increases the chances that someone is present to assist elderly family members should they have an accident.
- Privacy – one of the primary trepidations families face when shifting their lifestyle is the fear of losing privacy. With so many heads under one roof, it can feel like there's no place to turn for solitude. Yet, the proposed extension is designed to ensure that every family member can have quiet time, allowing for complete separation between the generations within the household.

In addition, the point raised with regard the peace and solace gained from the garden at 27 Grigor Avenue is a non-material representation. The application site is within a residential area and the proposed development will not result in any noise, other than that which would be created by activities that are incidental to the enjoyment of the dwelling house.

2. ***Compliance with the Edinburgh Local Development Plan Policy Des 12 Alterations and Extensions and the non-statutory Guidance for Householders*** – the Appeal Statement in support of the NoR demonstrates that the design of the proposed extension is compatible with, and complements the existing property leaving it as the dominant element, and maintains the quality and character of the surrounding area.
3. ***Component parts of the proposed extension*** – the single storey link provides an innovative connection between the existing bungalow and the main one and a half storey extension.
4. ***Substantial plot*** – due to the substantial plot the percentage of remaining useable garden space following the proposed extension still meets the non-statutory guidance.

This includes future permitted development shown on the drawings in the supporting documents (i.e. garage and parking spaces).

5. **Proposed changes to the original application drawings** - albeit the residents of 27 Grigor Avenue may have been aware of the proposed changes, we understand that they were not formally consulted on the amendments.
6. **Extension at 9 Davidson Park** – the relevance of this extension is that the Council refused the application on the grounds that it did not comply with Policy Des 12 Alterations and Extensions as it undermined the character of the existing bungalow and neighbourhood. The decision was subsequently allowed on appeal by the DPEA Reporter.
7. **Nature of the proposed extension** – the proposed extension is an integral part of the existing bungalow and not a self-contained house. This is a non-material representation. See response to John Cannavan (pt.4). The proposed extension is in keeping with extensions in the area and does not detrimentally impact upon the character of the neighbourhood.

In addition, I attach the Minute of the LRB on the 29th May 2019 which approved the proposed extension at 42 Grange Road, Edinburgh. This should be added as Appendix 9 to the Planning Statement in support of the NoR.

In summary, we have critically reviewed the objections and consider that there are no substantive, material representations that have not already been addressed in our Planning Appeal Statement in support of the NoR. We consider that there is a convincing case by which planning permission is justified. For the reasons detailed in this letter and our Appeal Statement, we consider that the proposed extension complies with the Edinburgh Local Development Plan Policy Des 12 Alterations and Extensions and the non-statutory Guidance for Householders. The design of the proposed extension is compatible with, and complements the existing property leaving it as the dominant element and maintains the quality and character of the surrounding area.

We therefore respectfully request that the Local Review Body do not uphold the decision by the Chief Planning Officer and grant planning permission for alterations to the existing property and a new rear extension (as amended) at 6 Davidson Park, Edinburgh.

Kind regards,

Stefano Smith FRTPI
Director, Stefano Smith Planning

Encl. Development Management Report of Handling (9th April 2019) and Appendix 9 (Minute of LRB 29th May 2019 – 42 Grange Road Decision).

Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Tel: 0131 529 3550 Fax: 0131 529 6206 Email: planning.systems@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100168540-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation: Stefano Smith Planning

Ref. Number:

You must enter a Building Name or Number, or both: *

First Name: *

Building Name:

Last Name: *

Building Number:

Telephone Number: *

Address 1 (Street): *

Extension Number:

Address 2:

Mobile Number:

Town/City: *

Fax Number:

Country: *

Postcode: *

Email Address: *

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="Scott"/>	Building Number:	<input type="text" value="8"/>
Last Name: *	<input type="text" value="Hughes"/>	Address 1 (Street): *	<input type="text" value="Boat Green"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Edinburgh"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="EH3 5LW"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text"/>		

Site Address Details

Planning Authority:	<input type="text" value="City of Edinburgh Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="6 DAVIDSON PARK"/>
Address 2:	<input type="text"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="EDINBURGH"/>
Post Code:	<input type="text" value="EH4 2PF"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="675372"/>	Easting	<input type="text" value="322987"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Alterations to the existing property and a new rear extension (as amended) at 6 Davidson Park Edinburgh EH4 2PF.

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

See separate Planning Statement provided.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Additional drawings and area plans are being submitted, as well as previous LRB and appeal decisions, in response to matters raised in the reason for refusal and Report of Handling which are disputed by the applicant.

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

1. Planning Statement to include the following appendices: 1 Application 18/10505/FUL (Original Scheme) 2 Application 18/10505/FUL (Amended Scheme) 3 Report of Handling 4 Decision Notice 5 Planning feedback on Original Scheme 6 Planning Appeal Decision: 9 Davidson Park, Edinburgh 7 Views from Davidson Park 8 Aerial view of 9 and 6 Davidson Park 9 Local Review Body Decision (29/05/2019) – 42 Grange Road 10 Density Site Plan & Sun Study 11 Elevations As Proposed

Application Details

Please provide details of the application and decision.

What is the application reference number? *

18/10505/FUL

What date was the application submitted to the planning authority? *

21/12/2018

What date was the decision issued by the planning authority? *

09/04/2019

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may select more than one option if you wish the review to be a combination of procedures.

Please select a further procedure *

By means of inspection of the land to which the review relates

Please explain in detail in your own words why this further procedure is required and the matters set out in your statement of appeal it will deal with? (Max 500 characters)

The property occupies a large 'keystone' plot on the curve of the cul-de-sac at Davidson Park. It is one of the largest plots in the local area. Due to the site's substantial nature and unique characteristics, we strongly recommend an accompanied site visit to allow the LRB to fully appreciate the site issues and how the architecturally designed rear extension has responded to its context. Also there is the opportunity to see the nearby extension at 9 Davidson Park that was allowed on appeal.

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

If there are reasons why you think the local Review Body would be unable to undertake an unaccompanied site inspection, please explain here. (Max 500 characters)

The site cannot be clearly seen from a road or public land. Access is required through the applicant's private land. The applicant/agent would be pleased to accompany the LRB on the site inspection.

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Stefano Smith

Declaration Date: 11/06/2019

Proposal Details

Proposal Name	100168540
Proposal Description	Alterations to the existing property and a new rear extension at 6 Davidson Park, Edinburgh EH4 2PF.
Address	6 DAVIDSON PARK, EDINBURGH, EH4 2PF
Local Authority	City of Edinburgh Council
Application Online Reference	100168540-001

Application Status

Form	complete
Main Details	complete
Checklist	complete
Declaration	complete
Supporting Documentation	complete
Email Notification	complete

Attachment Details

Notice of Review	System	A4
Planning Statement in Support of Notice of Review June 2019	Attached	A4
Appendix 5 Planning feedback on the original scheme	Attached	A4
Appendix 6 Planning appeal decision at 9 Davidson Park Edinburgh	Attached	A4
Appendix 7 General Arrangement Views from Davidson Park	Attached	A1
Appendix 8 Aerial view of 9 and 6 Davidson Park Edinburgh	Attached	A4
Appendix 10 General Arrangement Density Site Plan and Sun Study	Attached	A1
Appendix 11 General Arrangement Elevations as Proposed	Attached	A1
Notice_of_Review-2.pdf	Attached	A0
Application_Summary.pdf	Attached	A0
Notice of Review-001.xml	Attached	A0



STEFANO SMITH PLANNING

CREATIVE | COLLABORATIVE | COMMITTED

Planning Statement in Support of Notice of Review

**Alterations to the existing property and a new rear
extension (as amended) at**

6 Davidson Park, Edinburgh, EH4 2PF

On behalf of

Mr Scott Hughes

Application No.18/10505/FUL

June 2019



STEFANO SMITH PLANNING

CREATIVE | COLLABORATIVE | COMMITTED

Prepared by **Stefano Smith Planning**

Document Control Sheet

Project Name: 6 Davidson Park, Edinburgh, EH4 2PF

Project Ref: 003/001

Report Title: Planning Statement in Support of Notice of Review

Doc Ref: 003/001

Date: 10th June 2019

	Name	Position	Signature	Date
Prepared by:	Stefano Smith	Director		20/05/2019
Reviewed by:	Stefano Smith	Director		04/06/2019
Approved by:	Stefano Smith	Director		05/06/2019
For and on behalf of Stefano Smith Planning				

Revision	Date	Description	Prepared	Reviewed	Approved
A	10/06/2019	Final	SS	SS	SS

Stefano Smith Planning disclaims any responsibility to the Client and others in respect of any matters outside the scope of this report. This report has been prepared with reasonable skill, care and diligence within the terms of the Contract with the Client and generally in accordance with the appropriate ACE Agreement and taking account of the manpower, resources, investigations and testing devoted to it by agreement with the Client. This report is confidential to the Client and Stefano Smith Planning accepts no responsibility of whatsoever nature to third parties to whom this report or any part thereof is made known. Any such party relies upon the report at their own risk.

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- Appendix 2** Documents submitted with Application 18/10505/FUL (Amended Scheme)
- Appendix 3** Report of Handling
- Appendix 4** Decision Notice
- Appendix 5** Planning feedback on the original scheme (email dated 13th February 2019)
- Appendix 6** Planning Appeal Decision: 9 Davidson Park, Edinburgh (Appeal Ref.P/PPA/230/996)
- Appendix 7** General Arrangement – Views from Davidson Park
- Appendix 8** Aerial view of 9 and 6 Davidson Park, Edinburgh
- Appendix 9** Local Review Body Decision (29th May 2019) – 42 Grange Road, Edinburgh
- Appendix 10** General Arrangement Density Site Plan & Sun Study
- Appendix 11** General Arrangement Elevations As Proposed

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Executive Summary

This Planning Statement is in support of a Notice of Review submitted to City of Edinburgh Council ('the Council') on 11th June 2019 under Section 43A of the Town and Country Planning (Scotland) Act 1997, as amended ('the Planning Act').

We have critically reviewed the proposal and consider that there is a convincing case by which planning permission is justified. This is based on the merits of the proposed development, the stated single reason for refusal, the commentary provided in the planning official's Report of Handling, and analysis of development plan policy, non-statutory Guidance for Householders and other material considerations.

It demonstrates that the proposal by Mr Scott Hughes ('the applicant') for alterations to the existing dwelling house and a new rear extension (as amended) at 6 Davidson Park, Edinburgh ('the property') complies with the adopted Edinburgh Local Development Plan (2017) and the non-statutory Guidance for Householders (March 2018), and that there are material considerations upon which to justify approval.

The application property is a detached bungalow located in a substantial plot on the north side of Davidson Park which is a cul-de-sac. There is an existing detached garage positioned to the side and rear of the main dwelling house. The property is not listed nor located in a conservation area. The property has not been previously altered or extended. There is no relevant planning history for this site. The local area is characterised by a range of types of properties, predominantly bungalows that have been altered and extended.

The current occupier of the property, Mrs Hughes is the mother of the applicant, Mr Scott Hughes. Mrs Hughes has lived alone in the property since her husband died. The property has been within the Hughes family for over 70 years going back to Mr Hughes' grandparents, that is, three generations since 1948. The current generation, that is, Mr Scott Hughes and his young family comprising his wife and eight-month old daughter, now wish to live in the house to provide care and support to his mother during her retirement, enabling her to remain in the family home and local neighbourhood where she has lived for over 45 years.

It is so important that people are not uprooted as a result of old age or health conditions, particularly where there is the opportunity and willingness of the immediate family to provide the necessary support, as is the case here.

The application for Planning Permission is for alterations to the existing property and a new rear extension (as amended). The proposed rear extension comprises two main elements; a single storey link providing a physical connection between the main property and a one-and-half storey extension. This is an architecturally designed extension which responds innovatively to the specific site characteristics resulting in a scheme which sits sensitively within the substantial plot and relates well to the existing property.

The application for Planning permission was refused on the 9th April 2019 by Local Delegated Decision. The reason for refusal was:

1. The proposal is contrary to Edinburgh Local Development Plan Policy Des 12 in respect of Alterations and Extensions, and also the non-statutory Guidance for Householders. The proposed development is overly dominant in both scale and footprint; would erode the character of the existing bungalow; and would be detrimental to neighbourhood character.

We do not consider that the planning officials gave adequate regard to the merits of the proposed development in deciding to refuse planning permission. In addition, the Report of Handling includes several important factual errors and procedural irregularities which we consider has unnecessarily and detrimentally influenced the outcome of this decision.

Having regard to the provisions of the development plan and other material considerations where appropriate, the determining issues in this Local Review are:

- a) The effect of the proposed extension on the character and appearance of the existing property.
- b) The effect of the proposed extension on the character of the surrounding residential area.

The creative design solution for the rear extension, developed by award winning architects Aitken Turnbull, responds to the specific site characteristics of the substantial plot and meets the three key requirements:

- To complement the existing house, leaving it as the dominant element;
- To maintain the quality and character of the surrounding area; and
- To respect the amenity of adjacent neighbours.

The proposed extension is considered acceptable in terms of scale, form and design for the following reasons:

- The footprint of the proposed extension albeit larger than the original dwelling, when broken down into its two constituent elements, that is, the single storey link and the one and a half storey extension, are each less than the original property;
- The footprint should not be the only measure in determining the degree of dominance of an extension upon the existing property. Other equally important factors for rear extensions to bungalows, as stated in the Council's non-statutory Guidance for Householders (March 2018) (p.11), includes its relationship with the existing property's roof design and ridge line;
- It is recognised in the Council's non-statutory guidance that high-quality innovative design, as is the case with this proposed extension, can complement the existing property, leaving it as the dominant element, as well as maintaining the quality and character of the surrounding area;
- The proposed extension will create a sympathetic and harmonious addition which respects and responds to the character of the existing property. The proposed extension would appear subservient in appearance to the original property, particularly when viewed from Davidson Park which is the only public viewpoint;
- The proposals will retain a significant private garden space to the rear of the property that is well proportioned to optimise the practical use and enjoyment of the garden for the extended family. The garden will be well-suited to providing high quality amenity space. It will remain as one of the more substantial rear garden spaces in the neighbourhood. The proposal represents a well-balanced and proportionate size of development that fits sensitively within a large, substantial plot;
- The proposed extension would occupy approximately 15% of the garden area, retaining approximately 60% as useable garden space which complies to the non-statutory guidance;
- The scale and layout of the proposed development is in keeping with the overall spatial pattern of the area which is characterised by bungalows with alterations and extensions, several of which are large and have been subsequently approved following appeal or review by LRB; and

Planning Statement in Support of Notice of Review – 6 Davidson Park, Edinburgh, EH4 2PF

- The proposal is of an acceptable scale, form and design and will not be detrimental to the neighbourhood character.

The proposed extension, as accepted by the planning case officer, will respect the amenity of adjacent neighbours with regard:

- To daylight and sunlight, the proposed development fully complies with the 45-degree criterion set out in the non-statutory Guidance for Householders and will not result in an unreasonable loss of daylight or sunlight for neighbouring properties; and
- To privacy, the north east (side) elevation includes two rooflights at first floor level. The rooflights due to their positioning and angle within the roof will not provide unrestrained opportunities to overlook the neighbouring properties and are therefore acceptable. All other proposed windows are in full compliance with the privacy requirements set out in the non-statutory Guidance for Householders. The proposal would therefore not result in an unreasonable loss of neighbouring privacy.

For the reasons detailed in this Appeal Statement we consider that the proposed extension complies with the Edinburgh Local Development Plan Policy Des 12 Alterations and Extensions and the non-statutory Guidance for Householders. The design of the proposed extension is compatible with, and complements the existing property leaving it as the dominant element and maintains the quality and character of the surrounding area.

We therefore respectfully request that the Local Review Body do not uphold the decision by the Chief Planning Officer and grant planning permission for alterations to the existing property and a new rear extension (as amended) at 6 Davidson Park, Edinburgh.

1 Introduction

1.1 Background

- 1.1.1 This Planning Statement is in support of a Notice of Review submitted to City of Edinburgh Council ('the Council') on the 11th June 2019 under Section 43A of the Town and Country Planning (Scotland) Act 1997, as amended ('the Planning Act').
- 1.1.2 It demonstrates that the proposal by Mr Scott Hughes ('the applicant') for alterations to the existing dwelling house and a new rear extension (as amended) at 6 Davidson Park, Edinburgh ('the property') complies with the adopted Edinburgh Local Development Plan (2017) and the non-statutory Guidance for Householders (March 2018), and that there are material considerations upon which to justify approval. See Figure 1.

Figure 1 View of the property at No.6 Davidson Park, Edinburgh from the cul-de-sac



- 1.1.3 The property is located in the Inverleith ward within the Craigleith area to the west of the city centre. The local area is characterised by a range of types of properties, predominantly bungalows that have been altered and extended. The property is not listed nor within a conservation area. The property is a one and a half story detached bungalow with an existing detached garage positioned to the side and rear of the main dwelling house. It is located at the end of a cul-de-sac on the north side of Davidson Park. The property has a single access driveway to Davidson Park. The property occupies a large 'keystone' plot on the curve of the cul-de-sac measuring some 976 sqm with a large private garden (predominantly to the rear) of some 782 sqm (excluding private driveway of some 78 sqm). It is one of the more substantial plots in the local area.
- 1.1.4 The application for Planning Permission is for alterations to the existing property and a new rear extension (as amended) (App.No.18/10505/FUL). See Appendices 1 and 2. The proposed rear extension comprises two main elements; a single storey link providing a physical connection between the main property and a one-and-half storey extension. This is an architecturally designed extension which responds innovatively to the specific site characteristics, resulting in a scheme which sits sensitively within the substantial plot and relates well to the existing property.
- 1.1.5 The proposal includes the reconfiguration of hard and soft landscaping to the front, side and rear of the existing property, including areas of concrete slabbing and grasscrete. This work is permitted development under Class 3C of the Town and Country Planning (General Permitted Development) (Scotland) order 1992 (as amended). The proposal also includes the demolition and reconstruction of the existing detached garage to the rear of the existing dwelling house to

the north west corner of the curtilage of the property. This element of work is also permitted development.

- 1.1.6 Planning permission for this proposal was refused on the 9th April 2019 by the Council's planning officials under Local Delegated authority (Application No. 18/10505/FUL). See Appendices 3 and 4.
- 1.1.7 The Council's Planning Local Review Body (LRB) is therefore requested to overturn this decision based on written submissions and an accompanied site visit. Due to the substantial nature of the plot and unique characteristics of the site, we strongly recommend an accompanied site visit to enable the Local Review Body to get a real appreciation of the site issues and how the architecturally designed proposed rear extension has responded to its context.
- 1.1.8 Regulations under the Planning Act give allowance to seek a review of the decision within three months, that is, by the 9th July 2019, and the Notice of Review has been duly submitted within that period, that is, on the 10th June 2019.

1.2 Structure of Planning Statement

- 1.2.1 This Planning Statement in support of the Notice of Review is structured as follows:

Section 1 – Introduction

Section 2 – Context of Proposal

Section 3 – Development Plan and Material Considerations

Section 4 – Determining Issues and Assessment

Section 5 – Summary and Conclusion

2 Context of Proposal

2.1 Need for Alterations and Extension

- 2.1.1 The current occupier of the property at 6 Davidson Park, Mrs Hughes is the mother of the applicant, Mr Scott Hughes. Mrs Hughes has lived alone in the property since her husband died. The property has been within the Hughes family for over 70 years going back to Mr Hughes' grandparents, that is, three generations since 1948.
- 2.1.2 The current generation, that is, Mr Scott Hughes and his young family comprising his wife and eight-month old daughter, now wish to live in the house to provide care and support to his mother during her retirement, enabling her to remain in the family home and local neighbourhood where she has lived for over 45 years.
- 2.1.3 Mrs Hughes has been an integral part of the community, having worked at the local primary school Flora Stevenson for many years and is an active member of the local church. She wishes to continue to stay in the family home, in an area she knows and loves, which is close to friends and support services.
- 2.1.4 It is so important that people are not uprooted as a result of old age or health conditions, particularly where there is the opportunity and willingness of the extended family to provide the necessary support, as is the case here. We know all too well the impact that this can have on a person in our society.
- 2.1.5 The planning case officer for this application appeared unsympathetic to any of these points. We know however, that such issues have been important in previous decisions taken by the Local Review Body. For example, the recent decision of the Local Review Body (LRB) on 29th May to grant planning permission for the erection of a single storey extension to form a fully accessible dwelling house at 42 Grange Road, Edinburgh. See this Planning Statement Section 3.3.7 Appeal and Local Review Body Decisions.
- 2.1.6 The existing bungalow is limited in size for modern purposes and unable to accommodate both Mrs Hughes and her son's young and growing family. The Hughes family therefore wish to enlarge the existing property to respond to their current and future needs and enable the existing and extended family to support each other and remain together in the neighbourhood they love and know so well.

2.2 Design Concept

- 2.2.1 An award-winning architect was subsequently appointed, Aitken Turnbull Architects ('the Architects'), to design the proposed alterations and extension to the property, as '*strongly encouraged*' in the Council's non-statutory Guidance for Householders (March 2018). The client brief was to enable 'multi-generational living' at the property, and to design an extension that fits sensitively within the substantial plot complementing the existing bungalow, maintain the quality and character of the surrounding area and respecting the amenity of the adjacent neighbours.
- 2.2.2 In developing the design concept various options were considered, including demolishing the existing bungalow and replacing it with a substantial new-build property within the existing large plot. The family however, wished to retain the family home, building upon the character of the property and maintaining the character and quality of the surrounding area. They also wished to ensure that the extension was an integral part of the existing property and that the living arrangements operated as a single home rather than two separate units, truly reflecting the ethos of 'multi-generational' living.
- 2.2.3 The Architects carefully considered the site characteristics in terms of the substantial size of the plot in the context of the existing property, as well as the orientation of the property on the

site. The design concept is to create a well-designed, innovative and quality extension complementing the existing property, maintaining the quality and character of the surrounding area and respecting the amenity of the adjacent neighbours.

- 2.2.4 The proposed rear extension responds to this design concept by comprising two main elements; a single storey link providing a physical connection between the main property and a one and half storey extension, resulting in a scheme which sits sensitively within the substantial plot and relates well to the existing property. The existing property and single storey link extension would provide shared living/dining/kitchen accommodation and formal dining room, as well as the dedicated 'granny annex'; the one and half storey rear extension element would provide the new family bedrooms and garden room. A true interpretation of 'multi-generational' living.

2.3 Planning Application Process

- 2.3.1 The full detailed planning application for Planning Permission was registered by the Council on the 21st December 2018 (App.No.18/10505/FUL). The documents submitted with the application in support of the original scheme comprised the following:

- Completed application form
- Drawings
 - Location Plan
 - General Arrangement Site Plan As Existing (Dwg.No.L(-1)001 Rev.A)
 - General Arrangement Site Plan As Proposed (Dwg.No.L(-1)001 Rev.B)
 - General Arrangement Site Plan Down Takings As Proposed (Dwg.No.L(-1)002 Rev.A)
 - General Arrangement Site Floor Plans and Elevations As Existing (Dwg.No.L(-2)001 Rev.A)
 - General Arrangement Floor Plans As Proposed (Dwg.No.L(-2)101 Rev.C)
 - General Arrangement Sections As Proposed (Dwg.No.L(-3)101 Rev.B)
 - General Arrangements Elevations As Proposed (Dwg.No.L(-4)101 Rev.B)
- Supporting Statement

See Appendix 1.

- 2.3.2 The original application was publicised by the Council. The neighbour consultation period ended on the 12 February 2019. The application attracted four representations of objection from neighbours. No comments were received from Craighleith and Blackhall Community Council.

- 2.3.3 The material representations of objection related to:

- The scale of the extension;
- Not in keeping with the area; and
- The proposed development will result in an unreasonable loss of daylight, sunlight and privacy for neighbouring properties;

- 2.3.4 Following feedback from the planning case officer on the original scheme (email dated 13 February 2019) (Appendix 5), which also addressed the material representations received

from the neighbours, the scheme was amended reducing both the footprint of the proposed extension, as well as reducing the ridge height. The documents submitted in support of the amended scheme comprised the following:

- Amended Drawings
 - General Arrangement Site Plan As Proposed (Dwg.No.L(-1)001 Rev.C)
 - General Arrangement Floor Plans As Proposed (Dwg.No.L(-2)101 Rev.D)
 - General Arrangement Sections As Proposed (Dwg.No.L(-3)101 Rev.C)
 - General Arrangements Elevations As Proposed (Dwg.No.L(-4)101 Rev.C)
- Supporting Narrative of Changes

See Appendix 2.

2.3.5 The Council's Decision Notice was decided by Local Delegated Decision and issued on the 9th April 2019. See Appendix 4. The application was Refused for the following single reason:

1.Proposal is contrary to Edinburgh Local Development Plan Policy Des 12 in respect of Alterations and Extensions, and also the non-statutory Guidance for Householders. The proposed development is overly dominant in both scale and footprint; would erode the character of the existing bungalow; and would be detrimental to neighbourhood character.'

2.3.6 The Report of Handling however (see Appendix 3), which informed the decision, includes several important factual errors and procedural irregularities:

1. The amended scheme was not subsequently re-consulted upon, and therefore the objectors did not have the opportunity to reconsider their original objections in the light of the revised proposals.
2. The proposed extension is referred to as 'a two storey extension [our underlining]...with a single storey link element providing a physical connection to the main building.' (Report of Handling Section 3.1 para.1). The proposed extension actually comprises two elements, a single storey link and a one and half storey extension not two storey.
3. The measurements specified in Section 3.1 Description of the Proposal para.2 of the Report of Handling are incorrect:

Proposed Extension	Report of Handling	Actual	Difference in Measurement between Actual and Report of Handling
Height to ridge (Existing property)	6.10m Not specified	5.65m 6.28m	Actual maximum ridge height is 0.45m <u>lower</u> than specified in the Report of Handling Maximum height to ridge of existing property is not specified in the Report of Handling. Therefore, the Report does not explain that the amended extension ridge is <u>below</u> the existing property's ridge and therefore in compliance with Guidance for Householders

Maximum length	18.00m	18.00m	No change
Maximum width	9.70m	8.90m	Actual maximum width of the proposed extension is 0.80m <u>less</u> than recorded in the Report of Handling and therefore subservient to the original property
Total Footprint comprising:	155sqm	148sqm	Actual total footprint of the proposed extension is 7sqm <u>less</u> than recorded in the Report of Handling and therefore lesser impact on the existing property
-single storey link	Not specified	42.88sqm	Actual single storey link element of the extension is approximately one-third the footprint of the existing property (approximately 37%)
-one and a half storey extension	Not specified	105.12sqm	Actual one and a half storey element of the extension is less than the footprint of the existing property (approximately 91%).
(Existing property)	118sqm	116sqm	Actual total footprint of the existing property is 2sqm which is marginally <u>less</u> than recorded in the Report of Handling

4. The Report of Handling in Section 3.1 Description of the Proposal states that ‘*The application has been amended to reduce the size of the extension.*’ However, it does not explain how the application has been amended in response to feedback from the planning officer, and that the amended application includes a supporting statement outlining the ‘Narrative of Changes’. The amended scheme reduces both the overall footprint of the extension and the ridge height.
5. The Report of Handling acknowledges that ‘*the application property occupies a relatively large plot*’, but then does not consider the implications of this large plot in terms of its scope for accommodating a commensurate extension without compromising the dominance of the existing property and character of the surrounding area.

2.3.7 We consider that these factual errors and irregularities have unnecessarily and detrimentally influenced the outcome of this decision.

2.4 Key Assessment Issues

2.4.1 Having regard to the provisions of the development plan and other material considerations where appropriate, the determining issues in this Local Review are considered to be:

- Do the proposals comply with the development plan, including relevant policies of the Edinburgh Local Development Plan – particularly Edinburgh Local Development Plan Policy Des 12 in respect of Alterations and Extensions which was specifically referred to in the single reason for refusal;
- Are there any compelling reasons/material considerations that weigh in favour of the proposals, such as relevant Non-Statutory Guidelines (particularly the non-statutory Guidance for Householders, which although referred to in the single reason for

refusal, does not specify any particular section of the guidance), previous Local Review Body decisions, appeal decisions etc; and

- Has the procedure used to determine the application unfairly influenced the decision (see previous section on factual errors in the Report of Handling and procedural irregularities).

2.4.2 To address these determining issues, the following needs to be considered:

- The effect of the proposed extension on the character and appearance of the existing property in terms of the proposed scale, form and design so that it is acceptable and not detrimental; and
- The effect of the proposed extension on the character of the surrounding residential area and neighbourhood.

2.4.3 We have carefully reviewed the planning application and supporting material in the context of the Development Plan and other material considerations, as well as the Council's Report of Handling and correspondence between the applicant's agent and the Council's officers during the consideration of this planning application. We have also identified several errors and inaccuracies in the Report of Handling which seeks to justify the decision to refuse consent.

2.4.4 In this context, we consider that there are strong planning grounds for the Local Review Body (LRB) to overturn this decision and grant planning permission.

3 Development Plan and Material Considerations

3.1 Introduction

- 3.1.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 (as amended) directs that planning applications should be determined *'in accordance with the Development Plan unless material considerations indicate otherwise'*.
- 3.1.2 The development plan in this instance comprises the adopted Edinburgh Local Development Plan 2016. Material considerations include the non-statutory Guidance for Householders (March 2018).

3.2 Development Plan

The single reason for refusal refers only to Policy Des 12 in respect of Alterations and Extensions of the Edinburgh Local Development Plan (ELDP).

Policy Des 12 - Alterations and Extensions

'Planning permission will be granted for alterations and extensions to existing buildings which:

- a) in their design and form, choice of materials and positioning are compatible (our underlining) with the character of the existing building*
- b) will not result in an unreasonable loss of privacy or natural light to neighbouring properties*
- c) will not be detrimental to neighbourhood amenity and character'*

- 3.2.1 The supporting text at para 168 states that:

'Every change to a building, street or space has the potential to enrich or, if poorly designed, impoverish a part of the public realm. The impact of a proposal on the appearance and character of the existing building and street scene generally must be satisfactory (our underlining) and there should be no unreasonable loss (our underlining) of amenity and privacy for immediate neighbours.'

- 3.2.2 The criteria in Policy Des12 are given greater detail in the Council's non-statutory Guidance to Householders (March 2018).
- 3.2.3 On the basis that the reason for refusal only identifies that the proposal is contrary to ELDP Policy Des 12, by inference the proposed development complies with all other relevant development plan policies within the ELDP.
- 3.2.4 Policy Des 1 Design Quality and Context *'applies to all new development, including (our underlining) alterations and extensions.'*

Policy Des 1 Design Quality and Context

Planning permission will not be granted for development where it is demonstrated that the proposal will create or contribute towards a sense of place. Design should be based on an overall design concept that draws upon positive characteristics of the surrounding area. Planning permission will not be granted for poor quality or inappropriate design or for proposals that would be damaging to the character or appearance of the area around it, particularly where this has a special importance.

- 3.2.5 The proposed alterations to the existing property and a new rear extension (as amended) at 6 Davidson Park, Edinburgh complies with Policy Des 1 Design Quality and Context. The overall design concept and architecturally designed, innovative extension responds sensitively to the site characteristics, and respects the existing property and character of the local neighbourhood.

3.3 Material Considerations

Non-statutory Guidance for Householders (March 2018)

- 3.3.1 This document sets out guidance for people considering altering or extending their house. The Guidance explains how new development can conform to Policy Des 12 Alterations and Extensions. Developments that follow this Guidance will normally be supported.
- 3.3.2 All house extensions and alterations should be well designed and of high quality. In particular, they must meet three key requirements. They should:
- Complement the existing house, leaving it as the dominant element;
 - Maintain the quality and character of the surrounding area; and
 - Respect the amenity of adjacent neighbours.
- 3.3.3 The appointment of an architect is strongly encouraged in all cases.
- 3.3.4 The Guidance outlines the issues to consider when assessing whether the site is big enough to take the scale of extension sought – ‘Fitting it on the Site’. The proposed site is a very large, substantial plot accommodating a relatively small bungalow. The specific challenges in fitting the proposed rear extension to the existing property was the orientation of the property on the site. The relevant issues which were taken into consideration by the architect when assessing fitting the proposed extension on to the site and developing the design concept for the new rear extension included the following:
- Working out a plan: assessing the effect of the extension on the existing property to allow for harmony in scale and appearance. For example, by matching doors and windows, roof pitch, materials, and importantly how the junction between the old and new building would be handled.
 - Gardens: there should be enough private garden space left after extensions – normally at least 30 sqm depending on the spatial pattern of neighbourhood to avoid over-development. The general density and scale resulting must also be in keeping with the overall spatial pattern of the area. The area is characterised by bungalows with alterations and extensions. The substantial plot of the proposed development allows for flexibility to develop a sensitively designed extension enabling the retention of more than sufficient private garden space, in excess of a large number of properties in the neighbourhood.
 - Principal elevations and building lines: a building line is the line formed by the frontages of the buildings along a street. Generally, developments other than porches etc are not acceptable in front of the building line as they disrupt the character and appearance of the street. Corner plots can present a particular problem where the majority of the house’s garden space is in front of the building lines. The property is not on a corner plot, but rather a ‘keystone’ site on the curve of a cul-de-sac, which has resulted in one of the more substantial plots in the neighbourhood.
 - Rear extensions: rear extensions should not occupy more than one third of the applicant’s original rear garden area. The proposed rear extension takes up approximately 15% of the plot and less than one third of the original rear garden.

- **Bungalow extensions:** Bungalow extensions should be designed in a way that retains the character of the original property and is subservient in appearance. Extensions must not imbalance the principal elevation of the property. '*...the principal elevation (usually the front)...*' (p.6). Rear extensions to bungalows should be in keeping with the existing property roof design and its ridge line should be below the ridge of the existing property. The hipped roof character of the host building should be respected. The ridge of the proposed extension is below the ridge of the existing property, and the roof pitch of the extension reflects that of the existing property.
- **Daylight and sunlight:** all extensions and alterations will be required to ensure adequate daylighting, privacy and sunlight both for themselves and to their neighbours. Reasonable levels of daylight to existing buildings will be maintained where the measure of daylight falling on the wall does not fall below 27%. This standard can be achieved where new development is kept below a 25-degree line from the mid-point of an existing window. With regard sunlight to existing development, generally half the area of garden space should be capable of receiving potential sunlight during the spring equinox for more than 3 hours. There are various methods of calculating sunlight, but a simple check is to use the 45-degree method. The planning officer confirms in the Report of Handling that '*the proposed extension fully complies with the 45-degree criterion set out in the non-statutory Guidance for Householders and will not result in an unreasonable loss of daylight or sunlight for neighbouring properties.*'
- **Privacy and outlook:** 18m is the minimum recommended distance between windows, usually equally spread so that each property's windows are 9m from the common boundary.
- **Side windows:** ground floor windows can sometimes be closer than 9m to a boundary if they can be screened in some way. For example, by a fence or hedge, or obscured glazing.
- **Rooflights:** rooflights in new extensions that are within 9m of the boundary may be acceptable so long as they do not have an adverse impact on the existing privacy of neighbouring properties.

The Report of Handling confirms that the proposed extension is '*in full compliance with the privacy requirements set out in the non-statutory Guidance for Householders*', as well as with regard windows and rooflights.

- **Trees:** the retention of trees and landscape can soften the impact of a new building and help to blend in. Mature landscape should therefore be retained where possible, as is the case in this proposed development.
- **Garages and outbuildings:** buildings within the residential curtilage – such as garages, sheds or greenhouses – should be subordinate in scale and floor area to the main house. In many cases, they will be 'permitted development'. The existing garage is proposed to be relocated in the north-west corner of the site, to the rear of the existing property subordinate in scale and floor area.

3.3.5 The Guidance outlines the design matters to be considered when designing extensions and alterations. Such development '*should be architecturally compatible in design, scale and materials with the original house and its surrounding area. This does not preclude high quality innovative modern designs* (our underlining).' Extensions should not overwhelm or dominate the original form or appearance of the house, or detract from the character of the area. A well-designed and attractive extension will enhance the appearance – and value – of a property and of the neighbourhood.

3.3.6 Relevant design matters applicable to the proposed development include the following:

- **Materials:** the materials used to construct a building are one of the most important elements in helping a new extension to sit harmoniously with the original building. The materials to be used on an extension should normally match exactly those of the existing building. The use of traditional materials, but in a modern design can be an effective way of respecting the character of the building or area whilst still encouraging new architectural ideas. Alternatively, a new extension may be designed to contrast with the existing building using a modern design and materials. *'It is better to set the extension slightly back so that there is a visible break between the old and new'* (our underlining). This design approach of setting the proposed main one and a half storey extension slightly back from the existing property, connected by a single storey link, has been adopted for this proposed extension.
- **Roof design:** In general, the pitch and form of an extension roof should match that of the existing roof. *'Flat roofs may be appropriate on modest, single storey extensions where not visible in public views.'* *'New eaves heights should either match or be lower than existing eaves, to avoid extensions being greater in storey height than the original building.'* Development above the existing roof ridge will not be permitted. The roof ridge of the proposed extension is below the existing roof ridge, and the pitch of the extension roof matches that of the existing roof. The flat roof of the single storey, modest, link element is considered appropriate as an innovative way of linking the main one and half storey extension with the existing property. The single storey link element is also not readily visible in public views.

Previous Appeal and Local Review Board Decisions

Planning Appeal: 9 Davidson Park, Edinburgh – Extension of dwelling house including wooden deck

- 3.3.7 This appeal was against the decision by The City of Edinburgh Council to refuse planning permission for an extension of the dwellinghouse including wooden deck at 9 Davidson Park. The appeal was allowed and planning permission granted subject to conditions. See Appendix 6.
- 3.3.8 This appeal decision is particularly pertinent for the proposed extension at 6 Davidson Park as the issues are similar, and both properties are located on Davidson Park at the end of the cul-de-sac essentially opposite each other.
- 3.3.9 The determining issues in this appeal were:
- the effect of the proposed extension on the character and appearance of the existing building; and
 - on the character of the surrounding residential area, having regard to the provisions of the development plan.
- 3.3.10 The relevant development plan at that time was the Central Area Local Plan 1997 (CELP) Policy CD 19. This policy is very similar to Policy Des 12 of the Edinburgh Local Development Plan (ELDP) which indicates that alterations and extensions should be compatible with the character of the original building in design and form, choice of materials and positioning, and should not result in an unreasonable loss of privacy or natural light to neighbouring properties and should not be detrimental to neighbourhood amenity and character.
- 3.3.11 Based on the written submissions and a site inspection (which we strongly recommend in this case), the Reporter concluded with regards the impact on neighbourhood amenity and character, that the proposed extension would not be highly visible from the public road and

views from neighbouring houses would be restricted by intervening hedges and other boundary features.

- 3.3.12 In the case of the proposed extension at 6 Davidson Park, there are no amenity issues; it is fully compliant with the requirements set out in the non-statutory Guidance for Householders. The proposed rear extension is also not highly visible from the public road. See Appendix 7. The street views from Davidson Park demonstrate that there are only glimpsed and partial views of the proposed rear extension, with the main one and a half storey extension being predominantly hidden behind the existing property, which retains its dominance on the street scene. The glimpsed, partial view of the proposed rear extension from Davidson Park is also seen in the context of existing bungalows, both in the foreground and background, many of which have been subject to alterations and extensions.
- 3.3.13 With respect to the impact of the proposed extension on the character of the existing building at 9 Davidson Park, the Council considered that by extending around three sides of the property the shape and appearance of the traditional pyramidal bungalow would be significantly altered. See Appendix 7 (9 Davidson Park is defined by a broken red line). It was considered that the proposed extension dominated the original dwelling form, and that it was neither compatible with, nor subservient to, the existing property. See Appendix 8. However, although the Reporter acknowledged that the additional floorspace created could be considered substantial, in proportion to the size of the existing dwelling, they were satisfied that the essential character of the bungalow would not be significantly affected by the proposed extension.
- 3.3.14 The design approach for the proposed rear extension at 6 Davidson Park seeks to provide a 'breathing space' between the proposed extension and the existing property in order not to 'swamp' or overpower its character, unlike the approach adopted at 9 Davidson Park. This design approach of setting the proposed main one and a half storey extension slightly back from the existing property, connected by a single storey link, allows for the character of the existing property to be retained and not be subservient to, or dominated by the proposed extension. The substantial size of the plot at 6 Davidson Park also allows for more than sufficient private garden area to be retained providing an appropriate setting for the extended property.
- 3.3.15 The roof design of the 'wrap around' extension at 9 Davidson Park was a mix of pitched roof and flat roof extensions around the pyramidal form of the existing dwelling house. See Appendix 8. The Reporter however, was not persuaded that the proposed extension would dominate the form of the existing dwelling or detract from its character, essentially as views of where there would be the greatest impact on the form of the bungalow would be restricted largely to the rear garden of the property itself. In a similar way for the property at 6 Davidson Park, there are limited views of the impact of the roof design upon the existing property from public viewpoints. Such views would be largely restricted to the rear garden of the property itself.
- 3.3.16 For similar reasons as the Reporter in this appeal, we consider that the proposed extension would not dominate the form of the existing property at 6 Davidson Park or detract from its character. The roof design of the proposed one and a half storey extension responds to the pitch of the existing property, as well as being below the ridge line, in compliance with the non-statutory Guidance for Householders. As a result, the one and a half storey extension is essentially hidden from view behind the existing property when viewed from Davidson Park.

Local Review Body Decision to Grant Planning Permission: 42 Grange Road, Edinburgh – Erection of a single storey extension to form a fully accessible dwelling house

- 3.3.17 Planning permission was previously refused for a single storey, detached, fully wheelchair accessible house on the 22nd March 2018. The request for review was considered at an LRB in May 2018. The LRB were vocal in being highly sympathetic to the circumstances of the case and discussed at length how they could possibly assist in finding a solution.

3.3.18 The proposal was subsequently redesigned in response to the LRB's comments on design and preparing an extension to the existing property and providing a self-contained unit of accommodation for the applicant in the extension. However, the application was refused on 21st March 2019 for five reasons, including being contrary to the ELDP Policy Des 12 Alterations and Extensions, as the proposals in design, form and positioning was not compatible with the character of the existing building.

3.3.19 The LRB reviewed the decision at a meeting on the 29th May 2019. See Appendix 9. The LRB in their further deliberations on the matter considered the following:

- The development plan, including relevant policies of the Edinburgh Local Development Plan, including Policy Des 12 Alterations and Extensions;
- The procedure used to determine the application; and
- The reason for refusal and the arguments put forward in the request for a review.

3.3.20 The LRB carefully considered the arguments put before it in respect of the proposed planning application and discussion took place in relation to the following issues relevant to this proposed extension at 6 Davidson Park:

- They again were sympathetic to the circumstances of the case of enabling the applicant to adapt his home to meet his current needs, and enable him to remain in the family home and the local neighbourhood where he has lived for many years; and
- They considered the impact of the proposed alterations and extension, and its compatibility with the character of the existing building in terms of design, form and positioning, and concluded that the proposal represented a respectful addition to the house for a legitimate purpose.

3.3.21 The LRB subsequently decided not to uphold the decision by the Chief Planning Officer and to grant planning permission.

3.4 Summary

3.4.1 Overall, the proposed development must demonstrate that it is consistent with the development plan, and that there are no material considerations that indicate it should nonetheless be refused. By achieving this, the proposed development should be granted permission.

3.4.2 The next section assesses the proposed development in terms of the key determining issues.

4 Determining Issues and Assessment

4.1 Introduction

- 4.1.1 We have critically reviewed the proposal and consider that there is a convincing case by which planning permission is justified. This is based on the merits of the proposed development, the stated single reason for refusal, the commentary provided in the planning official's Report of Handling, and analysis of development plan policy, non-statutory Guidance for Householders and other material considerations.
- 4.1.2 We do not consider that the planning officials gave adequate regard to the merits of the proposed development in deciding to refuse planning permission. We now request that the Local Review Board consider the following matters in overturning this decision and granting planning permission.

4.2 Determining Issues

- 4.2.1 The determining issues in this appeal are:
- Do the proposals comply with the development plan?
 - If the proposals do comply with the development plan, are there any compelling reasons for not approving them?
 - If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

4.3 Assessment

- 4.3.1 Having regard to the provisions of the development plan and material considerations, the following needs to be assessed:
- a. The effect of the proposed extension in terms of over dominance in both scale and footprint on the character of the existing bungalow.
 - b. The effect of the proposed extension in terms of over dominance in both scale and footprint on the neighbourhood character.
- 4.3.2 The supporting text to Policy Des 12 in the ELDP states that,
- Every change to a building, street or space has the potential to enrich or, if poorly designed, impoverish a part of the public realm. The impact of a proposal on the appearance and character of the existing building and street scene generally must be satisfactory (our underlining) and there should be no unreasonable loss of amenity and privacy for the immediate neighbours.*
- 4.3.3 We demonstrate through evidence in this assessment that the architecturally designed extension will, as a minimum, have a satisfactory impact on the appearance and character of the existing property and street scene. As previously explained, the proposed extension is fully compliant with daylight, sunlight, privacy and amenity criteria as agreed by the Council in their Report of Handling and is not a reason for refusal.

a. The effect of the proposed extension in terms of over dominance in both scale and footprint on the character of the existing bungalow.

- 4.3.4 The key issue is that the proposed extension should be compatible with, and complement the existing property, leaving the existing property as the dominant element. In terms of the effect of the proposed extension on the character of the existing bungalow Policy Des 12 of the Edinburgh Local Development Plan states that,

Planning permission will be granted for alterations and extensions to existing buildings which: a) in their design and form, choice of materials and positioning are compatible (our underlining) with the character of the existing building.

- 4.3.5 The effect of the extension upon the character of the existing bungalow should therefore be considered in terms of 'compatibility', that is, being able to exist together without conflict, across a range of criteria, namely design and form, choice of materials and positioning.

Siting and Positioning

- 4.3.6 Firstly, it should be recognised that the existing bungalow occupies a substantial plot. It is one of the largest plots in the neighbourhood. The existing plot is 976 sqm of which 80% comprises the existing garden, that is, approximately 782 sqm. See Appendix 10. See Figures 2 to 4.

Figure 2 Private rear garden of 6 Davidson Park looking south east



Figure 3 Private rear garden of 6 Davidson Park looking west



Figure 4 Private rear garden of 6 Davidson Park looking east



- 4.3.7 The substantial nature of the existing plot means that the remaining private garden grounds following the extension would be in excess of the Guidance – *‘normally at least 30 sqm depending on the spatial pattern of neighbourhood to avoid over-development’* – and would provide sufficient amenity space for the property. The remaining private garden ground would also be in excess of the surrounding properties in the neighbourhood.

Design and Form

- 4.3.8 The Guidance outlines the design matters to be considered when designing extensions and alterations. Such development *‘should be architecturally compatible in design, scale and materials with the original house and its surrounding area. This does not preclude high quality innovative modern designs (our underlining).’* Extensions should not overwhelm or dominate the original form or appearance of the house or detract from the character of the area. See Figures 5 and 6. A well-designed and attractive extension will enhance the appearance – and value – of a property and of the neighbourhood.

Figure 5 Form, appearance and character of the front of existing property at 6 Davidson Park



Figure 6 Form, appearance and character of the rear of existing property at 6 Davidson Park



- 4.3.9 A new extension may be designed to contrast with the existing building using a modern design and materials. *'It is better to set the extension slightly back so that there is a visible break between the old and new.'*

- 4.3.10 This design approach of setting the proposed main one and a half storey extension slightly back from the existing property, connected by a single storey link, has been adopted for this proposed extension. See Appendices 2 and 7.
- 4.3.11 The link element provides an innovative solution in connecting the old existing property with the new rear extension; touching lightly between the two elements, providing seamless legibility. This allows for the proposed rear extension to provide a 'breathing space' between the proposed extension and the existing property in order not to 'swamp' or overpower its character. This enables the character of the existing property in terms of height, mass and scale to be retained and not be subservient to, or dominated by, the proposed extension. The substantial size of the plot at 6 Davidson Park also allows for more than sufficient private garden area to be retained providing an appropriate setting for the extended property. See Appendix 10.
- 4.3.12 The siting and layout of the extension was carefully planned to minimise the impact on the street view from Davidson Park and the character of the surrounding area, as well as maximising the amount of retained private garden area. The extended house fits neatly on to the site and does not stand out obtrusively due to the substantial area of the original plot and the skill of experienced architects.
- 4.3.13 With regard the pitch and form of an extension roof this should be compatible with that of the existing roof. *'Flat roofs may be appropriate on modest, single storey extensions where not visible in public views.'* *'New eaves heights should either match or be lower than existing eaves, to avoid extensions being greater in storey height than the original building.'* Development above the existing roof ridge will not be permitted.
- 4.3.14 The roof ridge of the proposed extension is below the existing roof ridge, and the pitch of the extension roof matches that of the existing roof. See Appendix 11. The flat roof of the single storey, modest, link element is considered appropriate as an innovative way of linking the main one and half storey extension with the existing property. The single storey link element is also not readily visible in public views from Davidson Park. See Appendix 7.
- 4.3.15 The single dormer and roof materials in the one and half storey rear extension reflects that of the existing property, thereby strengthening the relationship and uniformity between old and new. The roof design of the extension does not seek to mimic, or be a pastiche of the original property, but rather to respond to the parameters of height and pitch of the existing roof, thereby retaining the dominance of the existing property, particularly when seen from public viewpoints.

Materials

- 4.3.16 The materials used to construct a building are one of the most important elements in helping a new extension to sit harmoniously with the original building. The materials to be used on an extension should normally match those of the existing building.
- 4.3.17 The palette of materials for the proposed extension reflect the materials of the existing property; rendered wall finish to match existing, slate, tiled roof and aluminium clad composite windows and doors. See Appendices 2 and 11. This will create a harmonious appearance between the existing property and proposed extension. The external appearance of the existing property will be 'refreshed' at a similar time to the construction of the proposed extension, reinforcing the continuity and harmony between old and new and consolidating the appearance of the single property.
- 4.3.18 The single storey link connecting the existing property to the one and a half storey extension will have a flat, green roof and comprise lead cladding panels and glazing. The materials will be of the highest quality. This link has been designed as an innovative solution in connecting the old and new elements of the property; an approach which is considered acceptable in the non-statutory Guidance for Householders (Step 3: Design Matters – Materials p.16).

4.3.19 The dormer in the proposed extension is compatible to the dormer in the existing property and in character with those in the surrounding area. The glazing proportions match the existing property.

Gardens

4.3.20 There should be enough private garden space left after extensions – normally at least 30 sqm depending on the spatial pattern of neighbourhood to avoid over-development. The general density and scale resulting must also be in keeping with the overall spatial pattern of the area.

4.3.21 The area is characterised by bungalows with alterations and extensions. The substantial plot of the proposed development allows for flexibility to develop a sensitively designed extension enabling the retention of more than sufficient private garden space, in excess of a large number of properties in the neighbourhood.

4.3.22 There will be enough private garden space left after the proposed rear extension, in excess of the normally regarded minimum of at least 30 sqm. The size of the existing plot, and proposed siting and design of the proposed extension, maximises the use of practical garden space, as well as minimising impact on the amenity of neighbouring properties.

b. The effect of the proposed development in terms of over dominance in both scale and footprint on the neighbourhood character.

4.3.23 The neighbourhood is characterised by residential properties, predominantly bungalows the majority of which have been altered and/or extended.

4.3.24 The siting and layout of the extension was carefully planned to minimise the impact on the street view from Davidson Park and the character of the surrounding area. The appearance of the street scene will not change significantly.

4.3.25 The extended house fits in to the character of the neighbourhood and will not stand out obtrusively.

4.3.26 The proposed extension would not be highly visible from the public road and views from neighbouring houses would be restricted by intervening hedges and other boundary features.

4.3.27 The elevation of the proposed extension visible from neighbouring properties is well designed.

5 Summary and Conclusion

5.1 Summary

- 5.1.1 We have critically reviewed the proposal and consider that there is a convincing case by which planning permission is justified. This is based on the merits of the proposed development, the stated single reason for refusal, the commentary provided in the planning official's Report of Handling, and analysis of development plan policy, non-statutory Guidance for Householders and other material considerations.
- 5.1.2 We do not consider that the planning officials gave adequate regard to the merits of the proposed development in deciding to refuse planning permission. In addition, the Report of Handling includes several important factual errors and procedural irregularities which we consider has unnecessarily and detrimentally influenced the outcome of this decision.
- 5.1.3 We now request that the Local Review Board consider the following matters in overturning this decision and granting planning permission:
- The application property is a detached bungalow located in a substantial plot on the north side of Davidson Park which is a cul-de-sac. The property is not listed nor located in a conservation area. The property has not been previously altered or extended. The local area is characterised by a range of types of properties, predominantly bungalows that have been altered and extended;
 - The existing bungalow is limited in size for modern purposes and unable to accommodate both Mrs Hughes and her son's young and growing family. The Hughes family therefore wish to enlarge the existing property to respond to their current and future needs and enable the existing and extended family to support each other and remain together in the neighbourhood they love and know so well. It is so important that people are not uprooted as a result of old age or health conditions, particularly where there is the opportunity and willingness of the extended family to provide the necessary support. We know all too well the impact that this can have on a person in our society.
 - The footprint of the proposed extension albeit larger than the original dwelling, when broken down into its two constituent elements, that is, the single storey link and the one and a half storey extension, are each less than the original property;
 - The footprint should not be the only measure in determining the degree of dominance of an extension upon the existing property. Other equally important factors for rear extensions to bungalows, as stated in the Council's non-statutory Guidance for Householders (March 2018) (p.11), includes its relationship with the existing property's roof design and ridge line;
 - It is recognised in the Council's non-statutory guidance that high-quality innovative design, as is the case with this proposed extension, can complement the existing property, leaving it as the dominant element, as well as maintaining the quality and character of the surrounding area;
 - The proposed rear extension has been designed by award winning architects in a way that retains the character of the original property, as well as its dominance so that it is not subservient in appearance to the proposed extension;

- The proposed rear extension complements the existing property in terms of siting, form, design and materials, leaving it as the dominant element;
- The proposed extension will create a sympathetic and harmonious addition which respects and responds to the character of the existing property. The proposed extension would appear subservient in appearance to the original property, particularly when viewed from Davidson Park which is the only public viewpoint;
- The proposals will retain a significant private garden space to the rear of the property that is well proportioned to optimise the practical use and enjoyment of the garden for the extended family. The garden will be well-suited to providing high quality amenity space. It will remain as one of the more substantial rear garden spaces in the neighbourhood. The proposal represents a well-balanced and proportionate size of development that fits sensitively within a large, substantial plot;
- The proposed extension would occupy approximately 15% of the garden area, retaining approximately 60% as useable garden space which complies to the non-statutory guidance;
- The scale and layout of the proposed development is in keeping with the overall spatial pattern of the area which is characterised by bungalows with alterations and extensions, several of which are large and have been subsequently approved following appeal or review by LRB; and
- The proposal is of an acceptable scale, form and design and will not be detrimental to the neighbourhood character.

5.2 Conclusion

- 5.2.1 For the reasons detailed in this Appeal Statement we consider that the proposed extension complies with the Edinburgh Local Development Plan Policy Des 12 Alterations and Extensions and the non-statutory Guidance for Householders. The design of the proposed extension is compatible with, and complements the existing property leaving it as the dominant element and maintains the quality and character of the surrounding area.
- 5.2.2 We therefore respectfully request that the Local Review Body do not uphold the decision by the Chief Planning Officer and grant planning permission for alterations to the existing property and a new rear extension (as amended) at 6 Davidson Park, Edinburgh.

Appendices

See City of Edinburgh Council's Planning Portal:

<https://citydev-portal.edinburgh.gov.uk/idoxpa-web/simpleSearchResults.do?action=firstPage>

- Appendix 1** Documents submitted with Application 18/10505/FUL (Original Scheme)
- Appendix 2** Documents submitted with Application 18/10505/FUL (Amended Scheme)
- Appendix 3** Report of Handling
- Appendix 4** Decision Notice

Separately attached:

- Appendix 5** Planning feedback on the original scheme (email dated 13th February 2019)
- Appendix 6** Planning Appeal Decision: 9 Davidson Park, Edinburgh (Appeal Ref.P/PPA/230/996)
- Appendix 7** General Arrangement – Views from Davidson Park
- Appendix 8** Aerial view of 9 and 6 Davidson Park, Edinburgh
- Appendix 9** Local Review Body Decision (29th May 2019) – 42 Grange Road, Edinburgh*
- Appendix 10** General Arrangement Density Site Plan & Sun Study
- Appendix 11** General Arrangement Elevations As Proposed

*See Minutes of Meeting (29/05/2019) in LRB 26th June 2019 Papers

From: [REDACTED]
Sent: 13/02/2019 16:34:00
To: [REDACTED]
Cc: [REDACTED]
Subject: RE: Planning application 18/10505/FUL - 6 Davidson Park
Project: AT3202
Description: extension to rear of existing bungalow and reconfiguration to form granny flat in existing house
Location: Edinburgh
Client: Scott & Katie Hughes (nee Lester)

Good afternoon,

Planning application 18/10505/FUL - 6 Davidson Park

I have now had time to consider the above application in closer detail. The proposal that has been submitted does not comply with the local development plan and the Council's non-statutory guidance, for the following reasons:

- The non-statutory Guidance for Householders advises that extensions should complement the existing house, leaving it as the dominant element. The proposed development is overly dominant in both scale and footprint, contrary to the guidance;
- The density and scale of the proposed development is not in keeping with the overall spatial pattern of the area, which is not characterised by similar large extensions. The proposed development would be detrimental to neighbourhood character;
- With regard to sunlight/overshadowing to the neighbouring properties, the proposed development rises above the 45 degree line criterion (as set out in the non-statutory Guidance for Householders) and has the potential to result in an unreasonable loss of sunlight for the neighbouring property to the east.

With regard to the above, I will be recommending that this application is refused. If you wish to withdraw the application please confirm by reply to this email before 9am on Monday 25 February.

Please let me know how you wish to progress the planning application.

Yours sincerely

Peter Martin

Peter Martin | Planning Officer | Planning & Transport | PLACE | The City of Edinburgh
 Court Level G:2 4 East Market Street, Edinburgh, EH8 8BG | [REDACTED]
www.edinburgh.gov.uk

From 14 December 2015, the help desk will be open from 9am to 1pm Monday to Friday. Please check for the information you need online.

From: Euan Miller [REDACTED]
Sent: 31 January 2019 12:07
To: Peter Martin <[REDACTED]>

Directorate for Planning and Environmental Appeals



Telephone: [REDACTED]
E: dpea@scotland.gsi.gov.uk

Mr D Cooper
Appeals Team - Planning and Strategy
City Development Department
City of Edinburgh Council
Waverley Court (G2)
4 East Market Street
EDINBURGH
EH8 8BG

0A/03823/FU

appeal G3

Your Ref: 07/03823/FUL

Our ref: P\PPA\230\996

3 September 2008

Dear Sir

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
PLANNING APPEAL: 9 DAVIDSON PARK, EDINBURGH EH4 2PF

I enclose for your information a copy of the decision letter on this appeal.

The Reporter's decision is final, subject to the right of any aggrieved person to apply to the Court of Session within six weeks from the date of the decision conferred by Sections 237 and 239 of the Town and Country Planning (Scotland) Act 1997; on any such application, the Court may quash the decision if satisfied that it is not within the powers of the Act or that the applicant's interests have been substantially prejudiced by a failure to comply with any requirement of the Act, or of the Tribunals and Inquiries Act 1992, or of any orders, regulations or rules made under these Acts.

Yours faithfully

[REDACTED]

EMMA BUTLER

4 The Courtyard, Callendar Business Park, Falkirk, FK1 1XR
DX 557005 FALKIRK
www.scotland.gov.uk/Topics/Planning/Appeals



Appeal Decision Notice

T: 01324 696 400

F: 01324 696 444

E: dpea@scotland.gsi.gov.uk



Decision by Douglas G Hope, a Reporter appointed by the Scottish Ministers

- Planning appeal reference: P/PPA/230/996
- Site address: 9 Davidson Park, Edinburgh EH4 2PF
- Appeal by Maureen Baillie against the decision by The City of Edinburgh Council
- Application for planning permission ref. no. 07/03823/FUL dated 11 September 2007 refused by notice dated 31 October 2007.
- The development proposed: Extension of dwellinghouse including wooden deck
- Application drawings: see schedule at end of decision notice.
- Date of site visit by Reporter: 12 August 2008

Date of appeal decision: 3 September 2008

Decision

I allow the appeal and grant planning permission subject to the following conditions:

1. The development hereby permitted shall be commenced within five years from the date of this notice.

Reason: To comply with Section 59 of the Act.

2. Before development commences, written approval from the planning authority must be obtained for the details of the materials to be used on the external surfaces of the extension.

Reason: To ensure that the extension maintains the visual quality of the area.

Reasoning

1. The determining issues in this appeal are the effect of the proposed extension on the character and appearance of the existing building and on the character of the surrounding residential area having regard to the provisions of the development plan.
2. In this respect, policy CD 19 of the Central Edinburgh Local Plan 1997 (CELP) indicates that alterations and extensions should be compatible with the character of the original building in design and form, choice of materials and positioning, should not result in



an unreasonable loss of privacy or natural light to neighbouring properties and should not be detrimental to neighbourhood amenity and character. Policy CD 17 of the CELP states that the council will seek a greater use of traditional materials in new developments where appropriate or other high quality building materials.

3. Policy Des 11 of the emerging local plan, the Finalised Edinburgh City Local Plan 2007, states that the design, form and materials of any extension to a building should be compatible with the character of the existing building; it should not result in an unreasonable loss of privacy or natural light to neighbouring properties, and should not be detrimental to neighbourhood amenity and character.

4. In relation to policy CD 19 of the CELP, based on the written submissions and my site inspection, which included a view of the site of the proposal from the rear garden of the adjoining property, 10 Davidson Park, I am satisfied that the proposed extension would not result in an unreasonable loss of privacy or natural light to neighbouring properties. I note the evidence in relation to the external finishes proposed for the north and south (referred to in evidence as east and west) elevations and the difficulties attached to achieving a pebble dash render on these elevations consistent with the external finish of the existing dwellinghouse. I also note the council's preference for pebble dash render rather than the facing brick proposed. I would agree that pebble dash or stone-effect blockwork would be more appropriate and I am satisfied that choice of materials is a matter that could be dealt with by way of condition. As regards the impact on neighbourhood amenity and character, the proposed extension would not be highly visible from the public road and views from neighbouring houses would be restricted by intervening hedges and other boundary features.

5. With respect to the impact of the proposed extension on the character of the existing building, the council considers that, by extending around three sides of the property, the shape and appearance of the traditional pyramidal bungalow is significantly altered. It is considered that the proposed extension dominates the original dwelling form and that it is neither compatible with, nor subservient to, the existing property. However, although the additional floorspace to be created could be considered to be substantial, in proportion to the size of the existing dwelling, I am satisfied that the essential character of the bungalow would not be significantly affected by the proposed extension. The extended roof on the south elevation would not diminish the pyramidal form of the existing dwellinghouse and the small extension on the north side, to the rear of the existing garage, would appear as a traditional pitched roof extension. The flat-roofed extension on the rear elevation of the bungalow would have the greatest impact on the form of the bungalow but views of this elevation are restricted, largely to the rear garden of the property itself. Based on the above considerations, I am not persuaded that the proposed extension would dominate the form of the existing dwelling or detract from its character.

6. In relation to policy CD 17 of the CELP, the external materials to be used on the front elevation match those on the existing building; pebble dash render with concrete "stone" quoins on the corners of the extension. The use of brick on the side elevations is a cause for concern but, as indicated above, I am content that an alternative treatment is possible that would satisfy the requirements of policy CD 17.

7. Section 25 of the Town and Country Planning (Scotland) Act 1997 requires me to determine this appeal in accordance with the development plan unless material considerations indicate otherwise. For the reasons stated in paragraphs 4, 5 & 6 above, I conclude that the proposal complies with the development plan.

8. In relation to other material considerations, policy Des 11 of the emerging local plan re-iterates the requirements of policy CD 19 of the CELP. The council's Development Quality Handbook provides further guidance on the design, form and materials to be used in house extensions and alterations. Based on all the submitted evidence, I am satisfied that the proposed extension accords with the general principles outline in the Handbook in that it does not dominate the original form or appearance of the house or detract from the integrity of the original building or character of the area. I also find that it meets the more specific requirements for side and rear extensions. I can find no justification for a refusal of planning permission in these other material considerations.

9. In relation to the question of precedent, I note the evidence relating to the number of extensions and alterations to neighbouring properties in the surrounding area and in relation to other modern rear extensions on traditional house types in the wider Edinburgh area. For my part, I am satisfied that each application should be considered on its own merits, against the relevant provisions of the development plan and taking account of all other material considerations. That is the approach I have taken in this instance.

10. In conclusion, I am satisfied that a grant of planning permission in this case would not conflict with the relevant provisions of the development plan and that a refusal of planning permission would not be justified by other material considerations.



DOUGLAS STONE
Reporter

Schedule of drawings:

Nos. 90, 91, 92rev A, 93, 94, 95, 96rev A, 97rev A, 98rev A, 101rev F, 102rev C, 103rev C, 104rev C, 105rev C, 106rev D, 107rev C, 108rev C, 110 and 111



View from Davidson Park

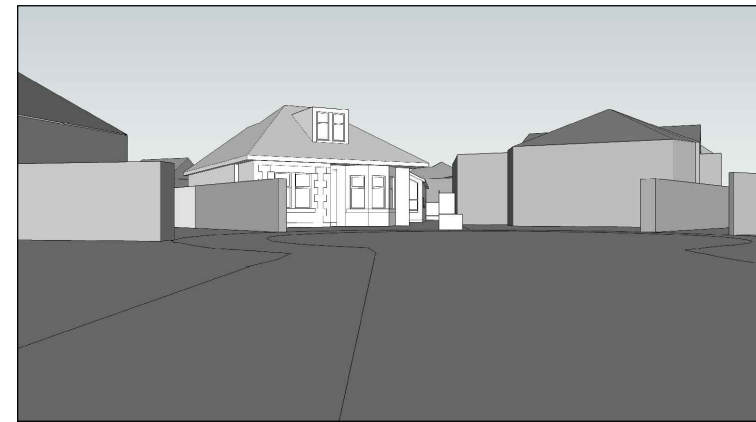
Street view from Davidson Park



Street view from Davidson Park



Street view from Davidson Park

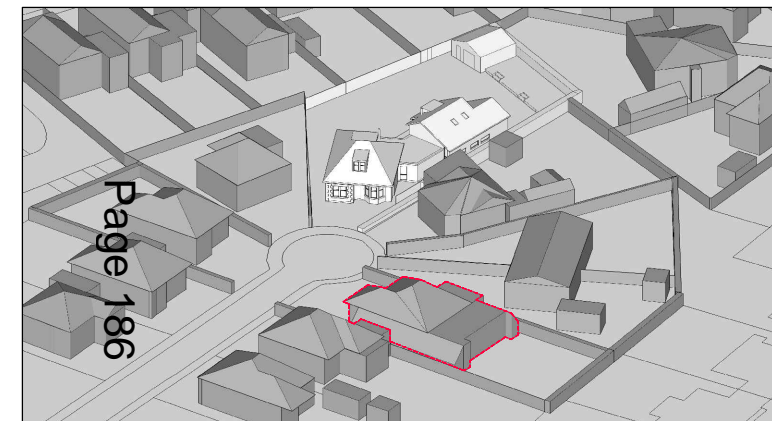


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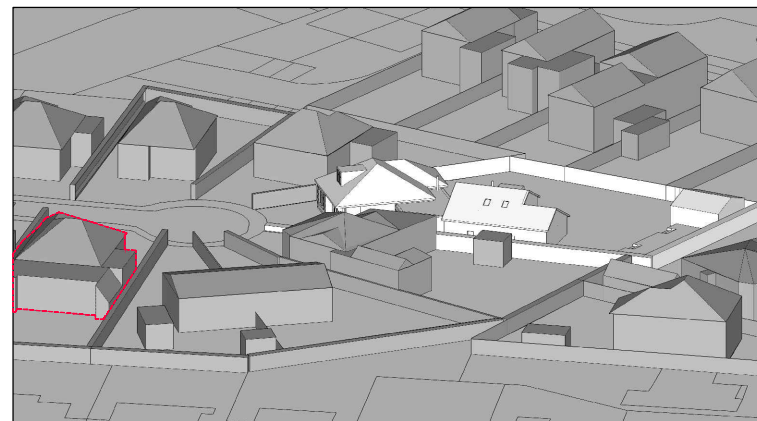
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----- 9 Davidson Park

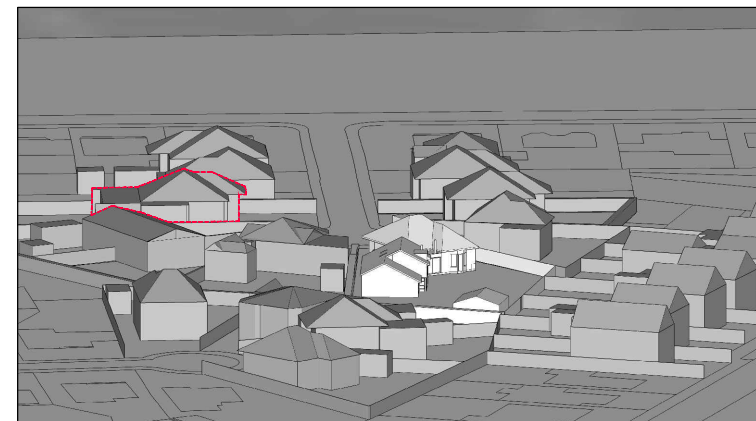
View North West



View West



View South



A	07/06/2019	Updated to planning review	EM	APR
Revision		Description	By	Chk
project				

Scott & Katie Hughes

6 Davidson Park
Edinburgh
EH4 2PF

title
General Arrangement

scale	size	date	drawn	checked
NTS	A3	June 2019	EM	APR
drawing status				

AITKEN TURNBULL ARCHITECTS
5 Castle Terrace
Edinburgh
EH1 2DP

0131 297 2350
enquiries@aitken-turnbull.co.uk
www.aitken-turnbull.co.uk

Also at Galashiels & Dumfries

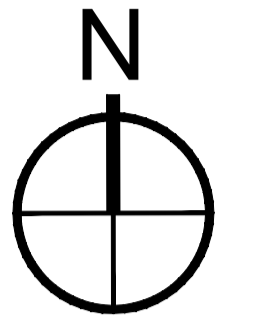


project no.	drawing no.	revision
AT3202	L(-1)005	A





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Existing plot areas

Name	Area	Percentage of plot occupied
Plot	976m ²	
Existing House	116m ²	11.89%
Existing Garden	782.2m ²	80.11%
Existing Drive	78.3m ²	8%

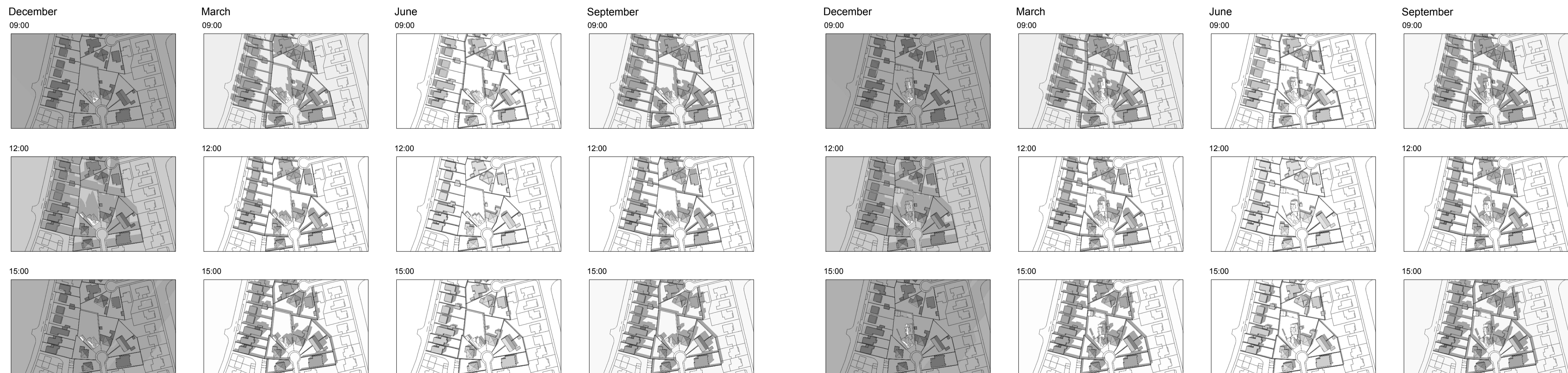
Proposed plot areas

Name	Area	Percentage of plot occupied
Plot	976m ²	
Existing House	116m ²	11.89%
New Extension	148m ²	15.16%
New Garden	589m ²	60.35%
New Drive	123m ²	12.60%

Page 188

01 Existing Site Plan
Scale: 1:500

02 Proposed Site Plan
Scale: 1:500



04 Proposed Sun study

Revision	Description	By	Chk
A	05/06/2019 Updated to planning review	EM	APR

Scott & Katie Hughes
6 Davidson Park
Edinburgh
EH4 2PF

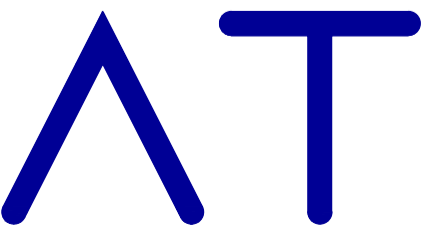
title
General Arrangement
Density Site Plan
Sun Study

scale	size	date	drawn	checked
1:500	A1	May 2019	EM	APR

drawing status
PLANNING

AITKEN TURNBULL ARCHITECTS
5 Castle Terrace
Edinburgh
EH1 2DP

0131 297 2350
enquiries@aitken-turnbull.co.uk
www.aitken-turnbull.co.uk



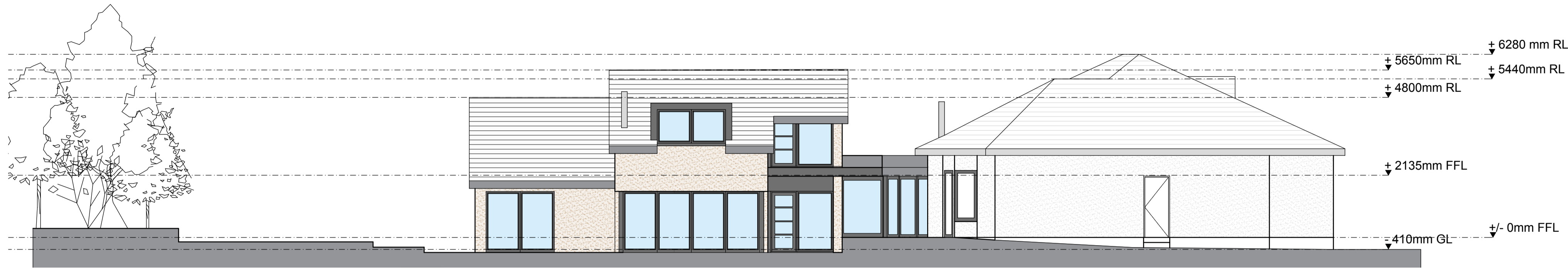
Also at Galashiels & Dumfries

project no.	drawing no.	revision
AT3202	L(-1)004	A

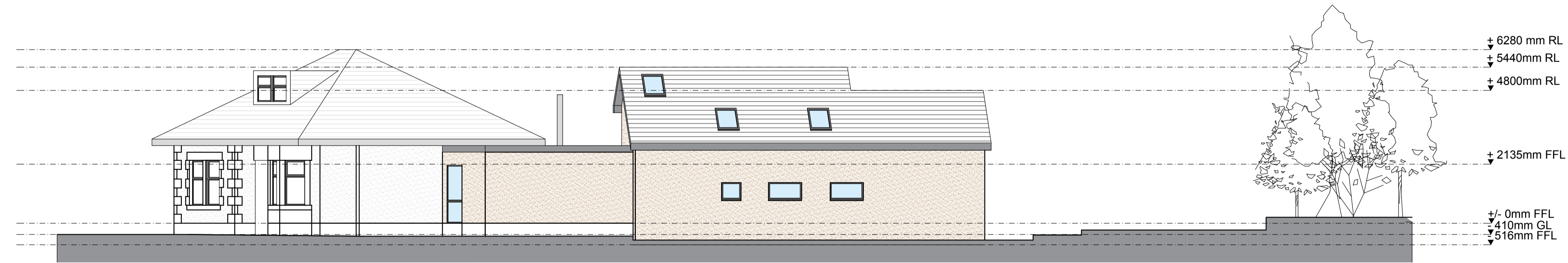
03 Existing Sun Study

notes:

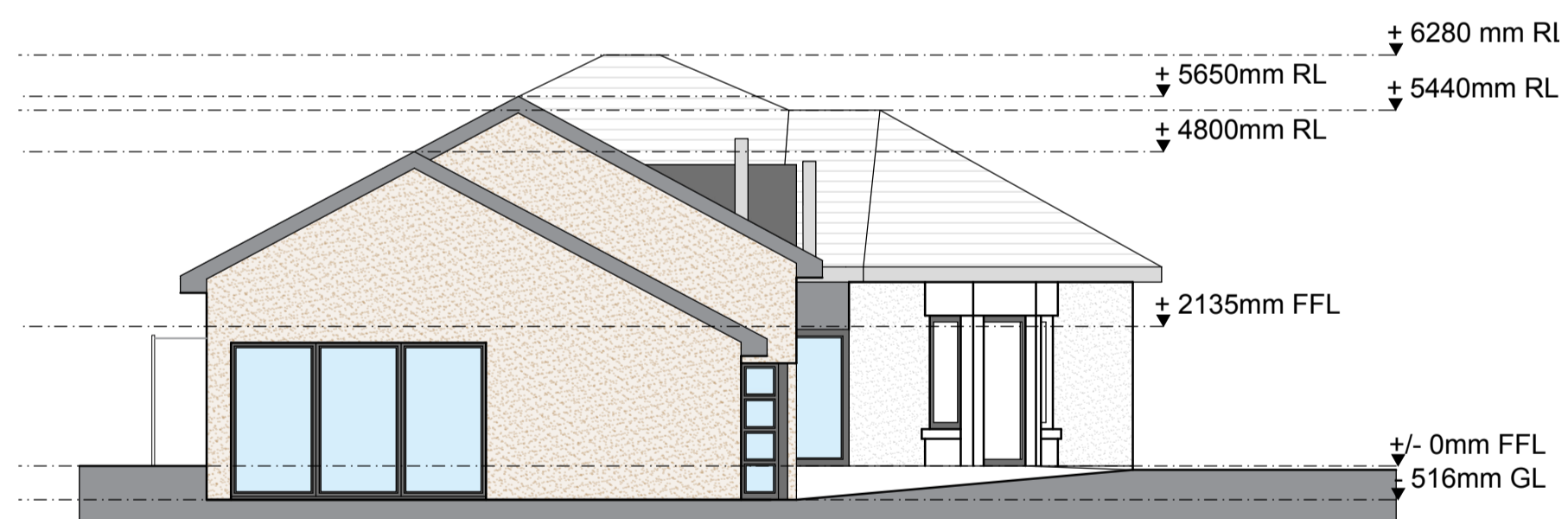
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01 Proposed Elevation South West
Scale: 1:100



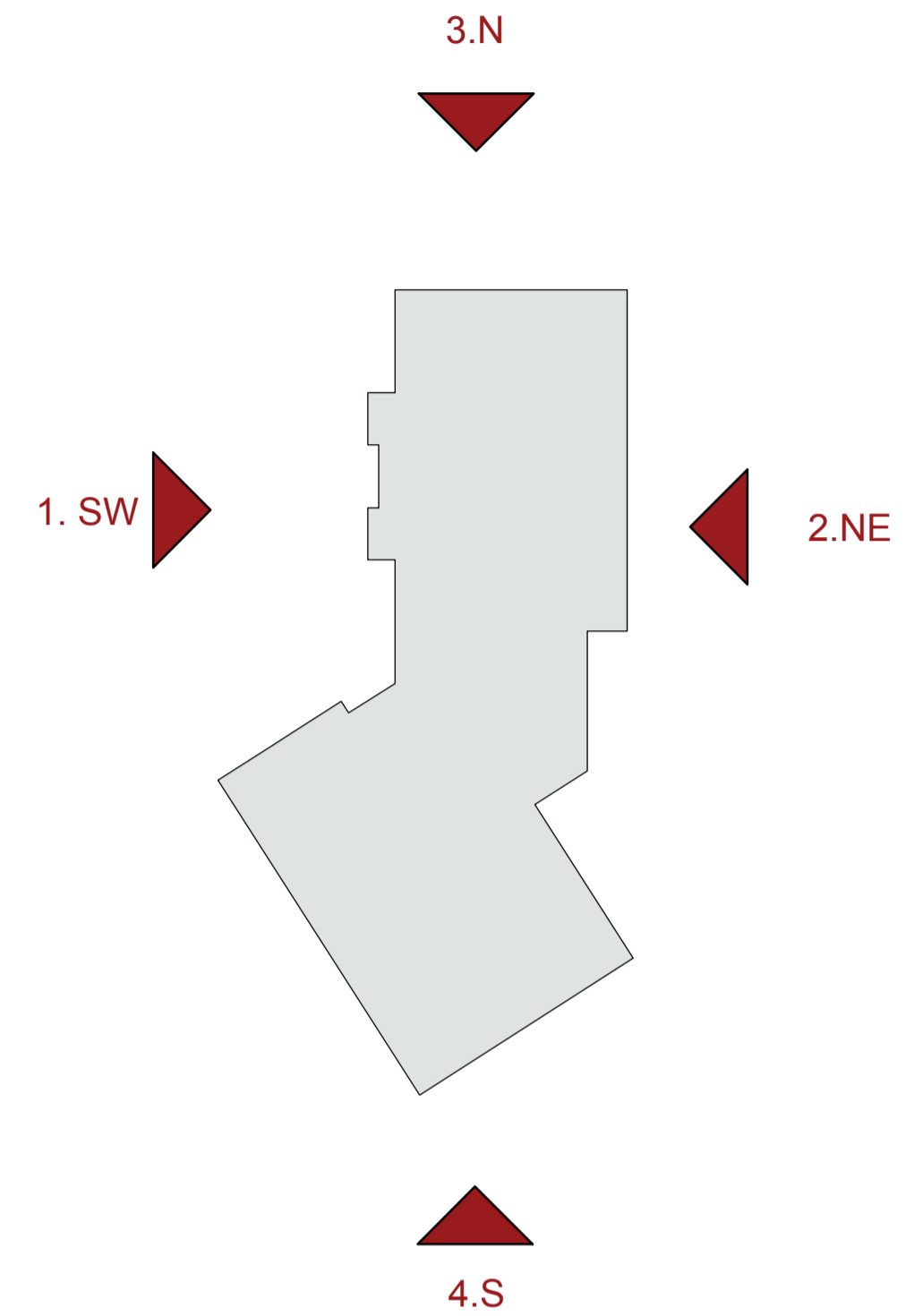
02 Proposed Elevation North East
Scale: 1:100



03 Proposed Elevation North
Scale: 1:100



04 Proposed Elevation South
Scale: 1:100



Legend:

- Aluminum clad composite window and door
- Rendered wall finish to match existing
- Flat Roof
- Tiled Roof
- Lead Cladding Panels
- Slate Roof
- Glazing

Revision	Description	By	Chk
D 05/06/2019	Updated for planning review	EM	APR

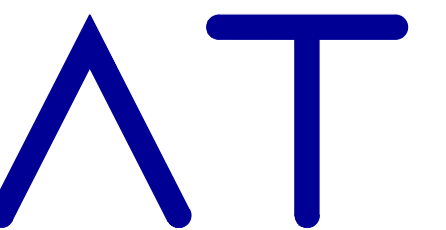
Scott & Katie Hughes
6 Davidson Park
Edinburgh
EH4 2PF

General Arrangement
Elevations
As Proposed

scale	size	date	drawn	checked
1:100	A1	Dec 2018	EM	APR

drawing status
PLANNING

AITKEN TURNBULL ARCHITECTS
5 Castle Terrace
Edinburgh
EH1 2DP
0131 297 2350
enquiries@aitken-turnbull.co.uk
www.aitken-turnbull.co.uk



project no.	drawing no.	revision
AT3202	L(-4)101	D

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DECISION NOTICE AND REPORT OF HANDLING

Application address - 67 Lauriston Farm Road Edinburgh EH4 5EX

Application Ref. No - 18/10471/FUL

Review Ref No - 19/00079/REVREF

Review Lodged Date 03.06.2019

COPY

Mike Clarke
3 Flat 1F2
Inverleith Gardens
Edinburgh
Scotland
EH3 5PU

Development Direct Scotland Ltd.
51 Dalry Road
Edinburgh
United Kingdom
EH11 2BX

Date: **5 March 2019**,

Your ref:

TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS

**DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS
2013**

Erect 2 (two) one and a half storey steading type semi-detached dwelling houses within the grounds of 67 Lauriston Farm Road, Edinburgh.

At 67 Lauriston Farm Road Edinburgh EH4 5EX

Application No: 18/10471/FUL

DECISION NOTICE

With reference to your application for Planning Permission registered on 7 January 2019, this has been decided by **Local Delegated Decision**. The Council in exercise of its powers under the Town and Country Planning (Scotland) Acts and regulations, now determines the application as **Refused** in accordance with the particulars given in the application.

Any condition(s) attached to this consent, with reasons for imposing them, or reasons for refusal, are shown below;

Conditions:-**Reasons:-**

1. The proposal does not involve development for agriculture, woodland and forestry, horticulture or countryside recreation. The proposal does not involve an intensification of the existing use, the replacement of an existing building with a new building in the same use, or a change of use of an existing building. The proposal is contrary to policy Env 10 of the Edinburgh Local Development Plan (LDP) and the Council's Guidance for Development in the Countryside and Green Belt; and is not acceptable in principle.

The proposal would have a significant adverse impact on the special character of the Special Landscape Area and would not have a positive impact on its surroundings, including the character of the wider townscape and landscape and is therefore contrary to policies Env11, Des1 and Des4 of the Edinburgh Local Development Plan.

The proposals would not provide a satisfactory level of amenity for the future occupiers of the dwellings or satisfactorily safeguard the amenity of the occupiers of the dwelling to the north of the site. The proposal is therefore contrary to policy Des5 of the Edinburgh Local Development Plan.

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.

Drawings 01A-05A, represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

The proposal does not involve development for agriculture, woodland and forestry, horticulture or countryside recreation. The proposal does not involve an intensification of the existing use, the replacement of an existing building with a new building in the same use, or a change of use of an existing building. The proposal is contrary to policy Env 10 of the Edinburgh Local Development Plan (LDP) and the Council's Guidance for Development in the Countryside and Green Belt; and is not acceptable in principle.

The proposal would have a significant adverse impact on the special character of the Special Landscape Area and would not have a positive impact on its surroundings, including the character of the wider townscape and landscape and is therefore contrary to policies Env11, Des1 and Des4 of the Edinburgh Local Development Plan.

The proposals would not provide a satisfactory level of amenity for the future occupiers of the dwellings or satisfactorily safeguard the amenity of the occupiers of the dwelling to the north of the site. The proposal is therefore contrary to policy Des5 of the Edinburgh Local Development Plan.

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Astrid Walker directly on 0131 529 3620.

D R Leslie

David R. Leslie
Chief Planning Officer
PLACE
The City of Edinburgh Council

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NOTES

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months beginning with the date of this notice. The Notice of Review can be made online at www.eplanning.scot or forms can be downloaded from that website. Paper forms should be addressed to the City of Edinburgh Planning Local Review Body, G.2, Waverley Court, 4 East Market Street, Edinburgh, EH8 8BG. For enquiries about the Local Review Body, please email localreviewbody@edinburgh.gov.uk.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

Report of Handling

Application for Planning Permission 18/10471/FUL

At 67 Lauriston Farm Road, Edinburgh, EH4 5EX

Erect 2 (two) one and a half storey steading type semi-detached dwelling houses within the grounds of 67 Lauriston Farm Road, Edinburgh.

Item	Local Delegated Decision
Application number	18/10471/FUL
Wards	B01 - Almond

Summary

The proposal does not involve development for agriculture, woodland and forestry, horticulture or countryside recreation. The proposal does not involve an intensification of the existing use, the replacement of an existing building with a new building in the same use, or a change of use of an existing building. The proposal is contrary to policy Env 10 of the Edinburgh Local Development Plan (LDP) and the Council's Guidance for Development in the Countryside and Green Belt; and is not acceptable in principle.

The proposal would have a significant adverse impact on the special character of the Special Landscape Area and would not have a positive impact on its surroundings, including the character of the wider townscape and landscape and is therefore contrary to policies Env11, Des1 and Des4 of the Edinburgh Local Development Plan.

The proposals would not provide a satisfactory level of amenity for the future occupiers of the dwellings or satisfactorily safeguard the amenity of the occupiers of the dwelling to the north of the site. The proposal is therefore contrary to policy Des5 of the Edinburgh Local Development Plan.

Links

Policies and guidance for this application

LDPP, LDES01, LDES04, LDES05, LEN10, LEN11, LEN15, LEN16, LTRA02, LTRA03, NSG, NSGCGB, NSGD02, NSHOU,

COPY

Report of handling

Recommendations

1.1 It is recommended that this application be Refused for the reasons below..

Background

2.1 Site description

The application site historically formed part of a farm complex, which included the farm house, outbuildings, steadings and garden area. The farm use has ceased some time ago and the application site now forms the garden to the farmhouse, located to the north of the site. A restaurant (Class 3) sits to the east of the site and Lauriston Castle to the west.

The application site sits lower than the farmhouse and is largely grassed. There are a number of mature trees to the western and southern boundaries with overgrown bushes between. There is an existing access off Lauriston Farm Road. This adjoins a private access road which is currently being constructed, that runs to the south of the Toby Carvery and leads into the site and will serve the existing farmhouse.

The site falls under the Local Nature Conservation Site, Special Landscape Area: Southern Forth Coast and is within the Green Belt.

2.2 Site History

06.01.2017 - Planning permission granted for Alter, refurbish and extend existing dwelling house and form new access road with associated landscaping works (as amended)-(15/03373/FUL).

Main report

3.1 Description Of The Proposal

Planning permission is sought to erect two, one and a half storey steading type semi-detached dwelling houses within the grounds of 67 Lauriston Farm Road.

3.2 Determining Issues

Section 25 of the Town and Country Planning (Scotland) Act 1997 states - Where, in making any determination under the planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material considerations indicate otherwise.

Do the proposals comply with the development plan?

If the proposals do comply with the development plan, are there any compelling reasons for not approving them?

If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

3.3 Assessment

To address these determining issues, it needs to be considered whether:

- a) The proposal is acceptable in principle
- b) The proposal would have a detrimental impact on the character and appearance of the Special Landscape Area and surrounding area
- c) The proposal would have a detrimental impact on neighbouring amenity and provide suitable amenity for the future occupiers
- d) The proposal raises any issues in respect of highway safety and parking provision
- e) The proposal raises any issues in respect of landscaping and biodiversity
- f) The proposal raises any issues in respect of archaeology

- g) Any issues raised in representations have been addressed, and
- h) The proposal raises any issues in respect of equalities and human rights

a) The proposal is acceptable in principle

The site is designated as being within the Green Belt in the Edinburgh Local Development Plan (LDP). Policy ENV 10 of the LDP states that within the green belt and countryside shown on the proposals map, development will only be permitted where it meets one of the following applicable criteria and would not detract from the landscape quality and/or rural character of the area:

-For the purposes of agriculture, woodland and forestry, horticulture or countryside recreation, or where a countryside location is essential and provided any buildings, structures or hard standing areas are of a scale and quality of design appropriate to the use.

- For the change of use of an existing building, providing the building is of architectural merit or a valuable element in the landscape and is worthy of retention.

- For development relating to an existing use or building (s) such as an extension to a site or building, ancillary development or intensification of the use, provided the proposal is appropriate in type in terms of the existing use, of an appropriate scale, of high quality design and acceptable in terms of traffic impact.

- For the replacement of an existing building with a new building in the same use provided:

- 1) The existing building is not listed or of architectural/historic merit;
- 2) The existing building is of poor quality design and structural condition,
- 3) The existing building is of domestic scale, has a lawful use and is not a temporary structure; and
- 4) The new building is of a similar size to the existing one, lies within the cartilage of the existing building and is of high design quality.

The proposal does not involve development for agriculture, woodland and forestry, horticulture or countryside recreation purposes. It is not for the change of use of an existing building, ancillary development or intensification.

The application site forms part of the garden area to the former Lauriston farmhouse, now a private residential dwelling, located to the north of the site. The earlier planning application on the former farmhouse (reference: 15/03373/FUL) shows the application site as a landscaped private garden. The proposal does not result in an intensification of an existing use. The farm house is not included in the application boundary and is intended as a separate residence. The proposal is to erect two additional dwellings as standalone planning units which would not be ancillary to the dwelling to the north. Notwithstanding this, a dwelling house with no link to a countryside use is not considered acceptable.

In addition to the criteria set out in policy ENV 10 above, the Council's Guidance for Development in the Countryside and Greenbelt outlines that new houses not associated with a countryside use will not be acceptable unless there are exceptional planning reasons for approving them. These reasons include the re-use of brownfield land and gap sites within existing clusters of dwellings.

The LDP glossary provides a definition of brownfield land as:

Land which has previously been developed. The term may cover vacant or derelict land or land occupied by redundant or unused buildings.

There are no unused or redundant buildings on the site. Historically the site formed part of a farm complex and would have been considered agricultural land. It is not therefore considered that the site constitutes brownfield land. The site is set to the north of Silverknowes, separated from the existing housing to the south by Lauriston Farm Road and a substantial triangular piece of land. The prevailing character to each side of the site, with the exception of the Toby Carvery, immediately to the east is large swaths of green open space. To the west is a substantial tree belt and Lauriston Castle and grounds beyond. There is a clear demarcation between the existing housing to the south and the application site. The application site does not constitute a gap site within existing clusters of dwellings.

The proposal is therefore unacceptable in principle as it is contrary to Policy ENV10 of the Edinburgh Local Development Plan and the Council's Guidance for Development in the Countryside and Greenbelt.

b) The proposal would have a detrimental impact on the character of the Special Landscape Area and appearance of the surrounding area

Policy ENV 11 of the LDP states that planning permission will not be granted for development which would have a significant adverse impact on the special character or qualities of the Special Landscape Areas shown on the Proposals Map. The application site is set within large swathes of green open space. With the exception of the existing farm house, the Toby Carvery to the east and Silverknowes golf course much further to the east, there is no development to the north side of this part of Lauriston Farm Road. On the approach to the site from the south west and along Lauriston Farm Road, the view to the north is green and open, with glimpses of the Firth of Forth beyond. The introduction of two houses to the front of the existing farmhouse would form a discordant and incongruous feature at odds with the existing built form and to the detriment of the Special Landscape Area. The proposal is therefore contrary to Policy Env 11 of the Edinburgh Local Plan.

Policy Des1 states that planning permission will not be granted for poor quality or inappropriate design or for proposals that would be damaging to the appearance of the area around it.

Policy Des 4 states that planning permission will be granted where it is demonstrated that it will have a positive impact on its surroundings, including the character of the wider townscape and landscape, and impact on existing views, having regard to:

- a) height and form
- b) scale and proportions, including the spaces between buildings
- c) position of buildings and other features on the site
- d) materials and detailing.

The existing farmhouse is a substantial stone built house sited within a large plot. The property has a large south facing garden that sits to the front of the house between the dwelling and the existing farm track. This forms part of the character of the farmhouse and contributes positively to the green character of the area. The layout and position of the dwellings is awkward and contrived in order to fit two dwellings on the site. The spacing between the existing farm house and proposed

dwelling is insufficient and results in a poor relationship both between each of the proposed dwellings and the farmhouse. The proposal allows for two parking spaces to the front of each dwelling. The Edinburgh Design Guide notes that this is a poor design and results in cars dominating the streetscene or a property's frontage.

The proposal is therefore contrary to policy Des 1 as the introduction of two dwellings to the front of this dwelling would be at odds with the built form and landscape character of the area and would therefore be damaging to the appearance of the area around it. The proposal is also contrary to policy Des4 as the proposal would not have a positive impact on its surroundings, including the character of the wider landscape and would impact negatively on existing views, given the proposed position of the buildings on the site and also the relationship with and spacing between the existing farmhouse.

C) The proposal would have a detrimental impact on neighbouring amenity and provide suitable amenity for the future occupiers

Given the proximity of the proposed to the existing, there are concerns about the loss of amenity by way of mutual overlooking with the buildings being approximately 11.5 metres apart (at their closest).

The proposed private amenity space is linear and angular, wrapping around the side of the house, and does not provide an appropriate area of useable space.

These issues could potentially be resolved through negotiation, but given that the application is unacceptable in principle it is not appropriate to seek these amendments.

d) The proposal raises any issues in respect of highway safety and parking provision

The site will be accessed via an existing access off Lauriston Farm Road, which adjoins a private access road which serves the farm house to the north. The access was approved under application reference: 15/03373/FUL and is currently being constructed.

The site is identified as being within parking standards zone 3 in the Edinburgh Design Guidance (EDG). Two car parking spaces are proposed to serve each dwelling. Whilst not indicated on the submitted drawings it is considered that these spaces could be achieved. Waste proposals are also not indicated, but again it is considered that an appropriate solution could be secured.

Secure cycle parking is not indicated but it is considered that the minimum of 6 secure spaces, as required by policy Tra3 could be secured.

The proposal does not raise any issues in respect of parking provision or road safety and complies with LDP Policy Tra2.

e) The proposal raises any issues in respect of landscaping and biodiversity

The site falls within a Special Landscape Area (Southern Forth Coast). There are a number of mature trees on the site which add to the pleasant green and open character of the area although none are the subject of a Tree Preservation Order (TPO). Three are proposed for removal as part of this application. A tree survey has not however been submitted, and as such the Tree Officer has not been able to assess whether the proposals would have a harmful impact on the landscape character of the area.

A bat survey was carried out as a condition of Planning Permission 15/03373/FUL, for the extension to the farmhouse to the north. This concluded that there were no bats present on the site. However, sufficient time has passed that this survey is now out of date and a new survey is required. This could be addressed but it is not appropriate to seek this information given that the application is not acceptable in principle.

f) The proposal raises any issues in respect of archaeology

The site forms part of the historic Lauriston Estate centre, Lauriston House, the core of which dates to the 16th century. Based on the historical and archaeological evidence the site has been identified as occurring within an area of potential archaeological significance. An AOC has been submitted with the application but relates to the earlier application on the farmhouse (15/03373/FUL) which does not

form part of this application site. As such an updated Written Scheme of Investigation (WSI) is required. This could be addressed but it is not appropriate to seek this information given that the application is not acceptable in principle.

g) Any issues raised in representations have been addressed

No representations have been received.

h) The proposal raises any issues in respect of equalities and human rights

The application has been assessed and has no impact in terms of equalities or human rights.

Conclusion

The proposal does not involve development for agriculture, woodland and forestry, horticulture or countryside recreation. The proposal does not involve an intensification of the existing use, the replacement of an existing building with a new building in the same use, or a change of use of an existing building. The proposal is contrary to policy Env 10 of the Edinburgh Local Development Plan (LDP) and the Council's Guidance for Development in the Countryside and Green Belt; and is not acceptable in principle.

The proposal would have a significant adverse impact on the special character of the Special Landscape Area and would not have a positive impact on its surroundings, including the character of the wider townscape and landscape and is therefore contrary to policies Env11, Des1 and Des4 of the Edinburgh Local Development Plan.

The proposals would not provide a satisfactory level of amenity for the future occupiers of the dwellings or satisfactorily safeguard the amenity of the occupiers of the dwelling to the north of the site. The proposal is therefore contrary to policy Des5 of the Edinburgh Local Development Plan.

It is recommended that this application be Refused for the reasons below.

3.4 Conditions/reasons/informatives

Risk, Policy, compliance and governance impact

4.1 Provided planning applications are determined in accordance with statutory legislation, the level of risk is low.

Equalities impact

5.1 The equalities impact has been assessed as follows:

The application has been assessed and has no impact in terms of equalities or human rights.

Consultation and engagement

6.1 Pre-Application Process

There is no pre-application process history.

6.2 Publicity summary of representations and Community Council comments

No representations have been received.

Background reading / external references

- To view details of the application go to
- [Planning and Building Standards online services](#)

COPY

David R. Leslie

Statutory Development

Plan Provision Edinburgh Local Development Plan and all relevant non statutory guidance.

Date registered 7 January 2019

Drawing numbers/Scheme 01A-05A

Scheme 1

Acting Head of Planning and Building Standards

Contact: Astrid Walker, Planning Officer
E-mail:astrid.walker@edinburgh.gov.uk Tel:0131 529 3620

Links - Policies

Relevant Policies:

Relevant policies of the Local Development Plan.

LDP Policy Des 1 (Design Quality and Context) sets general criteria for assessing design quality and requires an overall design concept to be demonstrated.

LDP Policy Des 4 (Development Design - Impact on Setting) sets criteria for assessing the impact of development design against its setting.

LDP Policy Des 5 (Development Design - Amenity) sets criteria for assessing amenity.

LDP Policy Env 10 (Development in the Green Belt and Countryside) identifies the types of development that will be permitted in the Green Belt and Countryside.

LDP Policy Env 11 (Special Landscape Areas) establishes a presumption against development that would adversely affect Special Landscape Areas.

LDP Policy Env 15 (Sites of Local Importance) identifies the circumstances in which development likely to affect Sites of Local Importance will be permitted.

LDP Policy Env 16 (Species Protection) sets out species protection requirements for new development.

LDP Policy Tra 2 (Private Car Parking) requires private car parking provision to comply with the parking levels set out in Council guidance, and sets criteria for assessing lower provision.

LDP Policy Tra 3 (Private Cycle Parking) requires cycle parking provision in accordance with standards set out in Council guidance.

Relevant Non-Statutory Guidelines

Non-statutory guidelines DEVELOPMENT IN THE COUNTRYSIDE AND GREEN BELT, provide guidance on development in the Green Belt and Countryside in support of relevant local plan policies.

Non-Statutory guidelines Edinburgh Design Guidance supports development of the highest design quality and that integrates well with the existing city. It sets out the Council's expectations for the design of new development, including buildings, parking, streets and landscape, in Edinburgh.

Non-statutory guidelines 'GUIDANCE FOR HOUSEHOLDERS' provides guidance for proposals to alter or extend houses or flats.

Consultations

Natural Heritage

Trees

Our guidance seeks a tree survey and report and tree protection plan to be submitted where trees are lost or affected - the Design Guidance, pg 99 sets this out.

Ecology

Policy Context

Edinburgh City Local Plan

Des 3 Development Design

Env 16 Species Protection

Edinburgh Design Guidance Chapter 3

Edinburgh Biodiversity Action Plan 2016-18

British Standard 42020 Biodiversity - Code of Practice for Planning and Development

Report

Development Direct Ltd, Lauriston Farm House City of Edinburgh, Surveys for use by Bat Species, Alphaecology, Final v1.0, 16th June 2016.

Bats

The bat survey which supports this application is now out of date. An updated survey is required.

Prior to any consent being issued we are required to determine if a European protected species is likely to be affected by the development. Therefore the potential of any trees or buildings, which will be impacted on as a result of development, to support bats should be determined. This is in accordance with policy Env16 Species Protection and Chapter 3 of the Edinburgh Design Guidance.

Surveys should be carried out prior to any consent being issued and in accordance with Bat Conservation Trust, Bat Survey: Good Practice Guidelines, 3rd edition, Collins, J (2016).

Transportation

ROADS AUTHORITY ISSUES

The application should be continued.

Reasons:

1. The applicant should provide layout of the proposed 4 parking spaces and the proposed access.
2. The Council's parking standards requires a minimum of 6 secure cycle parking for the proposed development.
3. Applicant should demonstrate how refuse collection will be done.

Note

The proposed 4 parking spaces complies with the Council's 2017 parking standards which allows a maximum of 4 parking spaces for the proposed development in Zone 3.

Flood Prevention

Whilst the applicant has not provided any specific drainage information Flood Prevention have no concerns about this proposed development due to the scale of the development (two semi-detached dwellings) and as there is no flood risk identified within the property boundary. As a result we are happy for this to proceed to determination with no further comment from flood prevention.

Waste Management Services

Waste and cleansing services takes no stance either for or against the proposed development but as a consultee would make the following comments:

Waste and Fleet Services would expect to be the service provider for the collection of waste as this appears to be a residential development.

It is imperative that adequate provision is made for the storage of waste off street, and that cognisance is taken of the need to provide adequate space for the storage of segregated waste streams in line with the Waste (Scotland) Regulations which require the source separation of dry recyclable materials, glass, food, etc.

Adequate provision should also be made for the effective segregation of materials within the building not just at the point of collection. Adequate access must also be provided to allow uplift of waste safely from the collection point taking into consideration the traffic flows at this busy location and I feel we would require to look at the bin storage areas for this development more closely.

In view of these factors the developer must contact Waste Services on 0131 608 1100 or contact the officer for the area Hema Herkes directly Hema.herkes@edinburgh.gov.uk at the earliest point for advice relating to their options so that all aspects of the waste & recycling service are considered i.e. access for vehicles, health & safety, presentation points for kerbside bins and/or boxes and size of storage areas required in residential gardens for all bins & boxes etc. It would be beneficial to go through the site plans and swept path analysis/vehicle tracking to show how the vehicle will manoeuvre.

Environmental Protection

The applicant proposes erecting a two-dwelling house in the garden area of a residential property which was formerly a farm house. To the west of the site are trees with residential beyond to the west the Toby Carvery restaurant is located. There is open land to the north.

Ground conditions relating to potential contaminants in, on or under the soil as affecting the site will require investigation and evaluation, in line with current technical guidance such that the site is (or can be made) suitable for its intended new use/s. Any remediation requirements require to be approved by the Planning & Building Standards service. The investigation, characterisation and remediation of land can normally be addressed through attachment of appropriate conditions to a planning consent (except where it is inappropriate to do so, for example where remediation of severe contamination might not be achievable).

Due to the proximity of the restaurant and its car park it is recommended that an acoustic barrier is erected between the proposed residential units and the restaurant and car parking area. Environmental Protection recommend that a 2m close boarded timber fence with no gaps below is erected.

Therefore, Environmental Protection offer no objections subject to the following condition being attached. Environmental Protection recommend that an informative is attached to any consent regarding the acoustic barrier.

Condition

i) Prior to the commencement of construction works on site:

a) A site survey (including intrusive investigation where necessary) must be carried out to establish, either that the level of risk posed to human health and the wider environment by contaminants in, on or under the land is acceptable, or that remedial and/or protective measures could be undertaken to bring the risks to an acceptable level in relation to the development; and

b) Where necessary, a detailed schedule of any required remedial and/or protective measures, including their programming, must be submitted to and approved in writing by the Planning Authority.

ii) Any required remedial and/or protective measures shall be implemented in accordance with the approved schedule and documentary evidence to certify those works shall be provided for the approval of the Planning Authority.

Informative

Where close boarded timber fences are used as noise barrier, the facing material should have a minimum surface density of 12 kg/m² and be constructed continuously ensuring there are no air gaps, either between the boards or at the barrier base.

END

COPY

Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Tel: 0131 529 3550 Fax: 0131 529 6206 Email: planning.systems@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100166893-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:

Ref. Number:

You must enter a Building Name or Number, or both: *

First Name: *

Michael

Building Name:

Last Name: *

Clarke

Building Number:

3

Telephone Number: *

Address 1 (Street): *

Flat 1F2

Extension Number:

Address 2:

Inverleith Gardens

Mobile Number:

Town/City: *

Edinburgh

Fax Number:

Country: *

Scotland

Postcode: *

EH3 5PU

Email Address: *

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Other"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text"/>	Building Number:	<input type="text" value="51"/>
Last Name: *	<input type="text"/>	Address 1 (Street): *	<input type="text" value="Dalry Road"/>
Company/Organisation	<input type="text" value="Development Direct (Scotland) Ltd"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text" value="██████████"/>	Town/City: *	<input type="text" value="Edinburgh"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="Midlothian"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="EH11 2BX"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="██"/>		

Site Address Details

Planning Authority:	<input type="text" value="City of Edinburgh Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="67 LAURISTON FARM ROAD"/>
Address 2:	<input type="text"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="EDINBURGH"/>
Post Code:	<input type="text" value="EH4 5EX"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="676109"/>	Easting	<input type="text" value="320473"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

This is an application for a Notice of Review by the City of Edinburgh Council Local Review Body with regard to the refusal decision by the City of Edinburgh Council in respect of Planning Application 18/10471/FUL.

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please refer to the Statement of Appeal which has been appended as a separate document within the 'Supporting Documents' section of this application for Notice of Review.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

All supporting documents will be attached electronically.

Application Details

Please provide details of the application and decision.

What is the application reference number? *

18/10471/FUL

What date was the application submitted to the planning authority? *

07/01/2019

What date was the decision issued by the planning authority? *

05/03/2019

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Michael Clarke

Declaration Date: 03/06/2019

Proposal Details

Proposal Name	100166893
Proposal Description	This application for Notice of Review relates to the refusal of Planning Application 18/10471/FUL by City of Edinburgh Council.
Address	67 LAURISTON FARM ROAD, EDINBURGH, EH4 5EX
Local Authority	City of Edinburgh Council
Application Online Reference	100166893-001

Application Status

Form	complete
Main Details	complete
Checklist	complete
Declaration	complete
Supporting Documentation	complete
Email Notification	complete

Attachment Details

Notice of Review	System	A4
GF and 1F Layouts and Roof Plan	Attached	A1
Drawing No 1		
East and West Elevations Drawing No 2	Attached	A1
North and South Elevations and Sectional Elevations North and South	Attached	A1
Drawing No 3		
1 200 Scale Block Location Plan	Attached	A1
Drawing No 4		
Lauriston Housing Supporting Statement Revised 20 01 19	Attached	A4
Site Location Plan	Attached	A4
Archaeological Report	Attached	A4
Supporting Statement relating to Notice of Review Application	Attached	A4
Notice_of_Review-2.pdf	Attached	A0
Application_Summary.pdf	Attached	A0
Notice of Review-001.xml	Attached	A0

Supporting Statement

To be read in conjunction with

The Notice of Review Application

To

The City of Edinburgh Council Local Review Body

In respect of the Refusal Decision

In terms of

Planning Application 18/10471/FUL

For

The Erection of 2No semi-detached steading style dwellinghouses

At

67 Lauriston Farm Road, Edinburgh, EH4 5EX

By

Development Direct Scotland Ltd.

Prepared by Mr M Clarke
On behalf of
Development Direct Scotland Ltd.

May 2019

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Site Location Plan



Aerial Photograph of Application Site and Environs



Description of Site

The application site is a parcel of land situated to the South of the premises forming the dwellinghouse at 67 Lauriston Farm Road, Edinburgh, EH4 5EX - please refer to the site location plan and aerial photograph above.

The said dwellinghouse was formerly the farmhouse associated with the former Lauriston Mains Farm.

The farm ceased as an agricultural enterprise at an indeterminate point in the distant past with the farmhouse being retained as a dwellinghouse with an ancillary garden area to the south of same being the application site.

The steading buildings, barns and ancillary outhouses associated with the farm operation were incorporated, via demolition or integration within the formation of the Toby Restaurant, being situated to the East of the application site. It is probable that the steading buildings were effectively removed during the formation of the restaurant as the architecture of the said restaurant is not synonymous with that which early 19th c. steading / outbuildings would comprise.

The application site is most likely to have been a garden area associated with the former farmhouse. This assumption is reinforced by reference to an extract from the first edition Ordnance Survey c.1860 being Fig.3 of the accompanying Archaeological Report; forming part of the supporting documents submission to this appeal. The extract indicates the layout of the then Lauriston Mains Farm, the associated Farmhouse including the farm buildings inclusive of steadings, barns etc. and further that portion of land being the application site to the South of the former farmhouse.

It can be determined therefore, that the agricultural use of the site ceased a considerable period of time ago, with the site of the former Lauriston Mains Farm being given over to both residential and commercial usage thereafter. The overall site, it is contended by the applicant, occupies a unique position within the Green Belt designation contained within current Local Development Plan, in that use classes currently present are not attributable to agricultural nor other uses one would associate with a countryside setting.

This unique setting is further illustrated by the juxtaposition of the application site to the adjacent commercial enterprise and to the longstanding adjoining Silverknowes residential estate; both to the East of the application site.

In order to rationalise the access provision to the former farmhouse an Application for Planning Permission was submitted and subsequently approved which included the formation of a 3.5m wide access roadway. The roadway in question transverses the application site on a North-South axis and occupies an East-West position within agricultural land to the East of the application site, entered from Lauriston Farm Road- please refer to Drawing No 4 of the supporting submission documents. The aforementioned access roadway would be utilised in providing vehicular access to the proposed dwellinghouses thereby negating the requirement of the formation of additional roadways.

The application site is currently bounded by stands of mature trees being a mixture of deciduous and coniferous species with banks of overgrown bushes and hedging between same. These are located primarily to the East and Western boundaries of the site with a mature deciduous specimen to the mid Southern boundary. From research it has been established that none of the trees occupying the site are subject of Tree Preservation Orders. It is noted however that the application site does occupy a position within an area of special character within a Special Landscape Area as prescribed within the Local Development Plan.

The application site is not a designated garden area as prescribed within the Gardens and Designated landscapes contained within the Gardens and Designated Landscapes of the Historic Environment Scotland online portal.

Examination of applicable policies determined as Reasons for Refusal

The Planning Application, the subject of this appeal, was assessed and subsequently refused as it was deemed not to satisfy the requirements of the following policies of the Edinburgh Local Development Plan (LDP).

Those applicable policies are:- Env10, Env11, Des1, Des4, Des5 and the Council's Guidance for Development in the countryside and Green Belt.

This section will examine each of the above policies in turn.

Development in the Green Belt and Countryside

Policy Env10

Whilst it is accepted that the application site falls within a designated Green Belt zone as prescribed within the Edinburgh Local Development Plan, it is the contention of the appellant that the proposal site occupies a unique position within the Green Belt.

Unlike the development of the restaurant premises to the East of the application site where little acknowledgement of the semi-rural setting would appear to have been adopted, particularly in the formation of the expansive car parking facility into what was formerly agricultural land; the development proposal, the subject of this appeal will not extend into adjoining agricultural land but rather occupy land which was once a garden area associated with the former Lauriston Mains Farmhouse.

Following the cessation of the agricultural use associated with the demise of the Lauriston Mains Farm the site at no point thereafter was associated with agriculture, woodland, forestry, horticulture nor uses one would associate directly with countryside activities.

Whilst it is firmly acknowledged that the application site is located within the Edinburgh Green Belt as prescribed by the Edinburgh LDP; it does occupy a position on the fringe of the designated area and one which the applicant considers as a unique position and one which is not instantly associated with a countryside setting given the close proximity of the site to a major, long established residential estate of Silverknowes.

Currently and as described above, the overall site of the former Lauriston Mains Farm is now given over to a mixed class use being residential (The former farmhouse) and commercial being the adjacent Toby Carvery Restaurant, whose footprint occupies the site of the former outbuildings, barns etc associated with the former Lauriston Mains Farm.

Further, the application site is transversed by a newly constructed access roadway through what was a garden area associated with the original farmhouse. The site is occupied by various deciduous and coniferous species of trees, being primarily located on the fringes of the Eastern, Western and Southern boundaries of the application site. The majority of the existing trees will not be disturbed by the housing proposal, those that require removal are located on the Western and Southern boundaries. As described within the supporting statement to the Planning Application, the subject of this appeal, a stand of new trees is proposed between the proposed development and the existing dwellinghouse to the proposed Northern boundary line and additionally to the Southern boundary where the new stand of trees will form an effective screen enabling the proposed housing to occupy a congruous position on the site. Such new planting would be to the satisfaction of the Local Planning Authority with cognizance given to the requirements of the Edinburgh Council Arborologist. The footprint of the proposed housing development will occupy approximately one fifth of the current site thereby avoiding a dominant presence on same.

Given that the proposal will not encroach into any part of the adjoining grazing pasture land which envelops the overall site, the edicts of the Special Landscape Area will not be compromised by the proposal. It is envisaged that as an essential part of the husbandry and rationalisation of the site with regard to the overgrown nature of a large percentage of the hedging and tree species thereon, allied with the proposed planting of new species that the Special Landscape Area designation will be enhanced by the said proposals. Please refer to the aerial photograph on Page 4 of this document which illustrates the actual setting of the application site to the surrounding landscape.

Access to the proposed development will be by way of the access road way currently under construction providing alternative access to the dwellinghouse, being the former farmhouse discussed above thereby negating the requirement for additional infrastructure roadway operations which further reduces the impact on the SLA.

It is the appellants contention that the Green Belt designation in terms of Scottish Planning Policy 21 (SPP 21) is a designation which is not rigid, but one, when taking into account the edicts of SPP 15 where a recognition of the lessening of the need for agricultural land is noted, which takes note of changing demands particularly in respect of housing requirements as expressed within SPP 3 where recognition of the Scottish Government's goal of raising the rate of new housebuilding by mid next decade is detailed. The application of the Green Belt designation therefore, it is contended requires to be applied with a degree of flexibility to permit such aspirations to be achieved.

Whilst not being remotely comparable to the scale of developments which SPP 3, 15 and 21 seek to manage the relatively small scale development the subject of this appeal, nevertheless was designed taking note of all applicable Policies of the Edinburgh Local Development Plan. The application site is not within an isolated rural setting as one would associate with a Countryside/Green Belt designation but is one which would provide direct access both to established transport networks, public transport links, footpaths and cycle pathways.

The topography of the existing landscape within the application site will not be adversely affected by the development proposals but rather be enhanced by same as discussed above.

The natural and historical heritage of the site will not be compromised by the proposals due to the planting of new stands of trees which will enhance the Special Landscape Area designation and that the proposed dwellings will form a cohesive grouping in that the architectural style proposed is one which is immediately recognised as being synonymous with an agricultural use thereby creating a complimentary addition to the landscape and its setting and not detracting from it.

The appellant would like to draw the attention of the Local Review Body to the fact that no letters of representation were received from adjoining proprietors against the proposals. This fact is being viewed as a positive, in that the proposal would be welcomed by those in the locale. The Planning Application Supporting Statement examines the recent history of the site and the appearance of the former farmhouse within the Buildings at Risk register in more expanded detail.

Design principles for new development

Policy Des 1

The design principles applied to the one and a half storey steading style development the subject of this appeal drew direct inspiration from the architectural styles found within the immediate locale (outbuildings within the grounds of Lauriston Castle) and from those associated with Scottish Rural Architectural styles associated within historic farm settings.

All materials proposed in the construction of the premises would be traditional in nature ie natural slate roof coverings, natural stone gables, high specification timber window frames and doors, with the front yard to the dwellings being of a material associated with the hardstanding serving farm buildings. The configuration of the development, being semidetached in nature overall alludes to a typical steading building which one would associate with a rural setting.

With those design principles in mind, the dwellinghouses would it is contended, enhance the quality and character of the immediate and wider environment and thereby protect that which the SLA designation seeks to protect.

Policy Des 4

In order that the proposals would have no negative impact upon its surroundings great emphasis was brought to bear on the architectural design principles of the proposal.

The height of the proposed dwellings was , in order to take cognizance of traditional storey heights associated with buildings within rural settings restricted to a one a half storey proposal.

The scale and proportions of the proposal were restricted to that associated with a typical steading building. The development proposal occupies a footprint of approximately 20% (285 sq.m.) of the application site (1380 sq.m.) and as such, it is argued, does not dominate the area in terms of massing or overdevelopment.

In order to retain amenity particularly that enjoyed by the occupants of the former farm house a 2m high boundary ranch style fence is proposed between the property and the northern most of the semi detached dwellinghouse. In addition to the 11.4m distance between the gable of the proposed northernmost dwelling and that of the south façade of the dwelling being the former farmhouse a stand of deciduous tree planting is proposed thereby negating any perceived overlooking issues.

All materials proposed in the construction of the dwellings have been chosen to reflect existing architectural styles and materials found within the immediate and wider locale. The architectural design principles utilised in the design of the proposal were adopted to ensure that the proposal would not be incongruous within the surrounding landscape but that it would be an enhancement of same.

Policy Des 5

In designing the layout of the semi detached dwellinghouse proposal within the application site various orientations were examined. The layout proposed and as submitted was recognised as providing the optimum that the site could provide in terms of daylight provision and in providing as large a garden space as possible attributable to each dwelling.

Allied with the rationalisation of the overgrown nature of the site via the creation of lawned garden spaces and with the planting of new hedging , new stands of deciduous trees and the erection of suitable boundary fencing between the properties all would positively add to the creation of a pleasing outlook and surroundings thereby ensuring amenity and privacy for those residing within the new dwellings and for those residing within the existing dwelling to the North of the site. A well proportioned wrap around garden comprising lawned areas and a natural stone patio to the northernmost boundary of the site will ensure that the level of amenity enjoyed by those residing at the former farmhouse will not be impaired. Whilst access to the proposal site would be by way of a single access roadway this is unavoidable given the constraints imposed by the existing buildings located at the overall site. That said and as discussed above, the utilisation of the existing access roadway serving the former farmhouse entering from Lauriston Farm Road will negate the requirement of any major additional infrastructure provision.

Design principles of Development in the Countryside and Green Belt

In preparing the design of the proposals and as discussed above and previously in the original supporting statement which accompanied the application for Planning Permission ref No 18/10471/FUL respect was given to the rural character of the area with particular regard given to the setting of the proposal to the existing landscape.

The use of hedging is intended to delineate boundary lines between adjoining properties with street lighting for example utilised to an non intrusive extent. Likewise the introduction of new tree planting and landscaping will also have the effect sympathetically blending the proposal harmoniously within its setting.

The choice of traditional building materials synonymous with a rural setting in collaboration with the design principle of the proposal will lead to the construction of premises sympathetic to their surroundings which will occupy an unobtrusive position within the landscape. The layout of the proposal has been so designed and orientated to reflect a steading style building complete with dormer window constructions alluding to loft storage and timber inclusions again being reflective of an agricultural building architecture.

Conclusion

The appellant would respectfully ask those members of the Local Review Body to re-examine the Refusal decision reached in terms of Planning Application Ref No 18/10471/FUL based upon the above observations and supporting documentation to this Notice of Review application.

It is acknowledged that the application site is designated as forming part of the Edinburgh Green Belt and as such proposals relating to developments other than those directly related to agricultural / countryside use will be resisted unless exceptional circumstances are demonstrated.

However, given the unique position of the application site being a) on the fringe of the Edinburgh Green Belt designation zone and b) that no infringement is proposed into existing adjoining agricultural land, that the application site be accepted as a viable compliant location for the proposed housing development.

The appellant is of the considered opinion that the proposals contained within Planning Application Ref No 18/10471/FUL are of merit in that they will not be an incongruous addition to the SLA but provide a coherent addition to the setting of this enclave within the green belt designated zone and would therefore ask that the Refusal decision determined on 5th March 2019 be respectfully rescinded.

Supporting Statement

Relating to

The Application for Planning Permission

for

The erection of 2No semi-detached steading type dwelling houses

at

67 Lauriston Farm Road. Edinburgh. EH4 5EX

by

Development Direct Scotland Ltd.

Prepared by Mr M Clarke
On behalf of
Development Direct Scotland Ltd.

December 2018

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Site Location Plan



Description of Site

The site is located to the south of a detached stone built former farm house in a secluded location to the west of the Toby Carvery restaurant. The site is accessed from an access roadway entered from Lauriston Farm Road.

The development site is determined to be a former garden area which once was ancillary to the former farm house, now a private dwelling. The site is screened from public view from the east and west sides by the Toby Carvery restaurant and Lauriston Castle estate respectively. There are however open views of the site from the south and the corner of the car park of the said restaurant.

The application site is located within the Edinburgh Green Belt.

The Planning Application seeks permission to erect 2 No one and a half storey terraced dwellings in a steading style and be of materials synonymous with those found in the architecture of premises within the immediate locale.

There is no relevant planning history for the site, the subject of this application, however the former farm house was the subject of Planning Permission Ref No 15/03373/FUL for the alteration, refurbishment and extension of the said premises.

The former farm house was initially entered into the Buildings at Risk Register for Scotland on the 19th May 2010 and subsequently noted as, at risk, on the 21st May 2015. The premises following acquisition by the applicant was noted within the Register as being renovation in progress and thereby no longer at risk; primarily due to the approval of Building Warrant Ref No. 17/02946/WARR, on the 8th November 2018.

Description of the Proposal

As noted above the application for Planning Permission seeks to erect 2 No one and a half storey semi detached dwellings in a steading style.

The materials proposed in the construction of the dwellinghouses will be synonymous with those found in the immediate locale taking inspiration from the outbuildings found in the grounds of the neighbouring Lauriston Castle estate, the original former Lauriston Farm House itself and of the architecture associated with buildings associated with a rural farm setting. Original stone, reclaimed from the demolition of derelict, single storey buildings associated with the former farm house will be reused in the proposed construction of the dwellinghouses. This will provide a clearly read continuity with the existing former farm house.

It is proposed that the roof materials will be natural slates with zinc ridge pieces, watergates, valleys, dormer fascias and dormer cheeks, with code 5 lead flashings where required ie at chimney breasts. All rainwater goods will be black painted cast iron.

Conservation model Velux roof window units will be installed within the natural slate roof plane.

The primary external wall constructions will be timber framed with external leafs of natural stone and concrete blockwork finished with a cementitious render. The north and south elevations will be constructed from an external leaf of natural stone, in an ashlar coursing to match that of the former farm house. Additionally, quoin stones will be provided to the corners of the north and south elevations as indicated on the application drawings.

All sash and casement windows and sliding door units will be of high performance specification hardwood construction and be fitted with double glazed units.

A vertical larch cladding will be provided below the line of the window cills to the east, west and as indicated on the north and south sectional elevations. This feature is a design acknowledgement to the former steading buildings, now presumably demolished and in whose place the Tobey Carvery now stands. Additionally this feature also alludes to the larch cladding of the first floor extension at the adjoining former farm house to the north. The proposal to erect a steading style development has been arrived at as this form will sit comfortably with the adjacent existing former farm house and in no small way redresses the architectural and historical balance lost during the construction of the Toby Carvery restaurant whose footprint occupies the site of the former steading and outbuilding complex once associated with the farm house.

Access to the site will be by way of a 3.5m wide private access roadway from the Toby Carvery access road from Lauriston Farm Road to the east, which will run to the south of the Toby Carvery Restaurant and will then follow an approximate north to south orientation when entering the application site. The said access road was subject of Planning Permission Ref No 15/03373/FUL and Building Warrant approval and is in the process, at the date of writing this document, of being constructed.

A 3.5m wide junction will be formed from the private access road described above which will permit access to the dwellings the subject of this supporting statement. It is proposed that two car parking spaces serving each dwelling will be provided with each facility served by a car turning facility. The access roadway serving the proposed dwellings will be of the same construction of that serving the former farm house.

In order to retain views of the former farm house from the south the proposal has been orientated on a north south axis adjacent to the western boundary of the site. Additionally the former farm house occupies an elevated position to that of the application site. The land upon which it sits is approximately 1200mm above the level of the application site.

Currently the site is occupied by stands of mature trees being a mixture of deciduous and coniferous species with banks of overgrown bushes between same. These are found primarily to the east and western boundaries with a deciduous tree to the mid southern boundary. From research it was established that none of the mature trees on site are subject of Tree Preservation Orders. It is noted however that the application site does occupy a position within an area of special character within the Special Landscape Area as prescribed within the Local Development Plan.

The application site is not a designated garden area as prescribed in the Gardens and Designed Landscapes contained within the Gardens and Designed Landscapes of the Historic Environment Scotland on-line portal.

In order to facilitate the positioning of the proposed dwellings certain trees within the application site will require to be removed, those being; two coniferous trees to the western boundary and a deciduous tree to the mid southern boundary. As a counteraction to the removal of the said trees and as part of the Application for Planning Permission it is proposed to plant a stand of trees adjacent to both the northern and southern boundaries and as indicated on the 1:200 scale site layout plan forming part of the Planning Permission application drawing package i.e. DRG No 4. The said trees and particular species of same will be to the satisfaction of the City of Edinburgh Council Tree Officer and Planning Department Case Officer. It is anticipated that the trees will provide habitat for various wildlife species, add to the Special Landscape quality of the area and with the edicts of The Local Nature Conservation Site within which the application site is situated and additionally provide a degree of natural screening between the existing and proposed properties, thereby retaining neighbouring residential amenity.

A programme of shrub planting and landscaping is also proposed to the garden areas of the dwelling houses particularly in the planting of shrubbery to the western boundary and to the line of boundary between the properties. These operations will also be to the satisfaction of the Planning Department Case Officer. The landscaping will include the creation of lawn areas to the front, rear and side garden areas of the dwellings with natural stone access pathways to the side of the dwellings and patio areas of natural stone paviors being created to the rear of the properties as part of the overall scheme.

Given that access to the dwelling houses will be by way of a private access road which in turn is taken from an existing internal road it is anticipated that there will be no road safety implications by way of the proposal as access to the public highway will remain unaltered.

Prior to the redevelopment of the former farm house property and as it lay in a derelict condition a bat survey was requested to be carried out as a condition of Planning Permission Ref No 15/03373/FUL.

A bat survey was duly carried out which determined that there was no presence of bats. . A copy of the said bat survey will form part of the Planning Application documentation relating to this application.

As the site had been identified as an area of archaeological interest a condition was attached to Planning Permission Ref No 15/03373/FUL, relating to the refurbishment of the existing farmhouse, wherein a Historic Building Survey & Archaeological Evaluation Written Scheme of Investigation was requested and duly conducted by AOC Archaeology Group being published on the 4th October 2017. The said analysis included three substantial trenches being dug diagonally across the application site, the subject of this Supporting Statement, in a SE to NW orientation. Therefore, it is anticipated that by including the application site within the said AOC report that the Archaeological interest in the site may be satisfactorily addressed. A copy of the said AOC document will form part of the Planning Application documentation relating to this application.

Examination of Policies contained within the Local Development Plan

In the compilation of the Application for Planning Permission examination of the City of Edinburgh Local Development Plan (LDP) was undertaken.

The process of examination identified the following policies contained within the LDP which are pertinent to the application site;-

Des 1-13, Env 7-9, Env 10, Env 11, Env 12, Env 16, Env 18, Rs 6.

Each of these policies will be expanded upon individually as they effect the proposals contained within the Application for Planning Permission.

Des 1-13

The proposal seeks to erect 2No dwelling houses of one and a half storey design in a steading type configuration.

The overarching design principle of the proposed dwelling houses took inspiration from the architecture of buildings existent within the locale. Particular reference was given to the existing former farm house adjacent to the site where the ashlar stone coursing of the external wall construction was taken as a primary driver for the construction of the external walls of the north and south elevations of the proposals. It is proposed that the external leaf of these elevations will be constructed from ashlar stone coursing with quoin stones to the east and west corners of the elevations. Therefore, the view from the south will primarily be of a traditional stone façade which will blend with collection of traditionally constructed buildings currently adjacent to the application site

Design inspiration was further derived from the outbuildings located within the grounds of Lauriston Castle to the west of the application site.

The facades of the east and west elevations and those of the internal faces of the proposed kitchen/utility outshoots are proposed to be of a more contemporary design. It is proposed that the said facades be of a cementitious render applied to an external leaf of blockwork forming the outer leaf of a timber framed construction.

The roof plane covering of all proposed pitched roofs forming the proposals will be natural slates. All ridge coverings, valleys and Watergates will be of zinc construction. The 4No dormers will be of single ply sarnafil roof membrane, the dormer cheeks and fascias to the dormers will also be of zinc.

All rainwater goods ie gutters and downpipes will be black painted cast iron with all flashings to chimneys being of code 5 lead.

All windows and doors will be of high performance hardwood framed triple glazed construction and painted grey on their external surfaces. It is proposed to introduce vertical larch cladding below the cill level of the windows to the east and west elevations which alludes to the larch cladding found on the external face of the first storey extension of the former farm house adjacent to the application site. This feature is also an acknowledgement of the stabling of horses one would associate with a traditional steading building which alludes to the history of the site. Heritage model conservation style roof windows will be introduced to the roof plane.

The juxtaposition of traditional and contemporary materials forming the proposals will it is anticipated create a pleasing blend which takes note of the existing architectural styles found within the immediate locale and allude to a style of building synonymous with the previous farm use of the site as a whole.

The scale of the proposals is such that it will occupy a third of the application site with open spaces retained albeit in the creation of access roadways and garden areas. Views from the south to the former farm house will not be detrimentally obscured by the proposals. The planting of trees to replace those removed by the proposals will retain the quality of the Special Landscape Area.

The design of the proposal has taken serious inspiration of the architecture and use of buildings found within the locale which is very much at variance to that of the adjacent restaurant premises. There is little if any recognition of the historical or architectural heritage of the area displayed within the design and scale of the said premises. The proposals the subject of this supporting statement will, it is envisaged, be a compliment not a detriment to the Special Landscape Area within which the application site is situated.

Env 7-9

As the site had been identified as an area of archaeological interest a condition was attached to Planning Permission Ref No 15/03373/FUL, relating to the refurbishment of the existing farmhouse, wherein a Historic Building Survey & Archaeological Evaluation Written Scheme of Investigation was requested and duly conducted by AOC Archaeology Group and published on the 4th October 2017.

The said analysis included three substantial exploratory trenches being dug diagonally across the application site in a SE to NW orientation. Therefore, it is anticipated that by including the application site within the said report that the Archaeological interest in the site may be satisfactorily addressed. A copy of the said AOC document will form part of the Planning Permission Application documentation relating to this application.

Env 10

The application site is designated as being within the Edinburgh Green Belt as prescribed in the Edinburgh Local Development Plan albeit that the site is situated very near to the designation boundary between it and an existing urban development.

The Green Belt designation as prescribed in the LDP seeks to retain the landscape quality of the area and or rural character of the area.

The application site was part of a farm complex in the past comprising farm house, outbuildings and steadings with an ancillary garden area being the application site. The farm usage ended some considerable time ago with the farm house remaining and overtime time falling into disrepair and eventual dereliction so much so that it was entered into the Buildings at Risk register as previously discussed above.

The land upon which the ancillary steading and other outbuildings stood allied with a substantial portion of the attendant farmland was sold to new owners who undertook major operations to create a restaurant and car park immediately to the east of the application site. It is not known how much of the original structures remain or were incorporated into the formation of the restaurant but upon examination it would appear very little if any survived the redevelopment process.

The derelict farm house, inclusive of the application site, was acquired by the applicant who is now currently undertaking a major restoration and refurbishment programme; with the former farm house building no longer deemed at risk.

Therefore, what was once a longstanding operational farm is no longer existing, with the area in question now being a mix of commercial and domestic usage. As discussed above, the application site is deemed to be a garden associated with the farm house which is now overgrown with the stands of trees, present on site, in a similar untended state.

Given that the rural usage, that the application site was once part of, is no longer prevailing, this aspect that the Green Belt designation seeks to retain can be successfully argued as being no longer applicable. That said it is the contention of the applicant that the special quality of the remaining landscape, being the application site, will be enhanced by the proposals in that additional tree planting and a rationalisation of the grounds will be undertaken both to the satisfaction of the Edinburgh Council Tree Officer and Planning Case officer.

The proposed dwellings will be of high quality design and materials which compliment those architectural styles found within the immediate and wider locale. The design of the proposal sought inspiration from those architectural styles found within the locale, particularly the outbuildings found in the adjoining Lauriston Castle estate and that of the existing farm house building

itself. The storey and a half configuration as proposed alludes to a style of building associated with a rural setting particularly those associated with a farm building setting. Therefore, it is anticipated that the proposal will sit comfortably within the green belt setting being a complimentary addition to it.

It should be noted that Planning Permission Ref No 15/03373/FUL provided consent for the formation of an access roadway which transverses the site on a north-south axis located to the eastern boundary of the application site serving the former farm house. The proposed dwellings will be accessed via a spur junction from the original roadway. The said access roadways will be constructed from pervious materials which will permit the unhindered infiltration of surface water for effective dissipation to the land strata below.

Env11

The application site, in terms of the LDP, is determined as being within a wider Special Landscape Area. The application seeks to retain the special landscape nature of the site. For instance, the views currently enjoyed of the site and surrounding areas in general will not be compromised by the proposals, allied to the retention of existing trees within the application site additional tree planting is proposed, which will have the effect of retaining the Special Landscape quality of the area.

The views of the surrounding farmland, grazing pastures, Lauriston Castle estate and further to the river Forth to the north, will be unaffected by the proposals.

The proposed dwelling houses given their design and materials of construction will occupy an unobtrusive position and it is contended will further enhance the Special Landscape Area designation.

Env 12

The removal of certain existing trees, as discussed above, is required to facilitate the siting of the proposed dwellings adjacent to the western boundary of the site. The trees in question are two coniferous examples on the western boundary and a deciduous example to the southern boundary of the site.

Upon examination of the Edinburgh Planning Portal it has been established that none of the trees existent upon the application site are subject of tree preservation orders. It is recognised however that the existence of trees within any given location adds considerably to landscape biodiversity, amenity and character of the area in question.

With these facts in mind the proposal seeks to introduce new stands of trees both at the northern boundary and to the southern boundary of the application site. The particular species of the new trees will compliment those existing on the site and will be to the satisfaction of the Edinburgh Council Tree Officer and to the Planning Department case officer.

Env 16

No species as identified within the European Protected Species legislation have been identified as being present within the application site. However, in terms of Planning Permission Ref No 15/03373/FUL and given the fact that the then derelict farm house may have been a likely site for bats to take up residence a condition of the approval required that a bat survey be undertaken. This was duly conducted with no presence of bats being identified. A copy of this survey report will form part of the supporting documentation of the Planning Permission Application to which this Supporting Statement relates.

Env 18

The application site is deemed to have once been a garden area associated with the former farm house adjacent to the application site. Currently it is an area of land containing overgrown shrubbery and trees. Planning Permission, Ref No 15/03373/FUL. was approved for the formation of an access roadway which transverses the site on a north south axis to the eastern element of the site.

The proposed dwelling houses will occupy approximately a third of the overall area of the site and will be positioned on a north south axis towards the western boundary of the site. The dwelling house proposal will not dominate the site the remaining land will be given over to garden areas inclusive of stands of newly planted and existing trees and shrubbery thereby retaining a degree of open space surrounding the proposed dwellings providing habitat for flora and fauna.

Additionally, the application site is effectively bounded by agricultural land given over primarily to grazing pasture and as such will not impact upon the open space provision that this policy seeks to protect.

Rs 6

The new dwelling houses will be linked to existing utility supply lines and sewerage systems which are adjacent to the application site.

Currently the main sewerage line serving the former farm house is located within the car parking area associated with the adjacent Toby Carvery restaurant. It is proposed that all surface water and waste drainage lines serving the proposed dwelling houses will be linked to this system.

Summary

In summary, it is the contention and aspiration of the applicant that the application for Planning Permission for the erection of 2 No semi-detached steading type dwelling houses be supported and approved.

It is firmly acknowledged that the application site forms part of an area of sensitivity being within a Special Landscape Area, located within the Edinburgh Green Belt and being subject to policies contained within the Edinburgh Local Development Plan which seek to retain protected views, ensure the protection of flora and fauna amongst many important others.

In compiling the Application for Planning Permission, particularly during the design process all of the applicable policies, as detailed in the preceding paragraphs, forming this supporting statement, were closely examined.

An examination of the historical record of the site particularly that of the former Lauriston Farm was undertaken. This process identified the existence of a range of steading and other outbuildings associated with the farm operation now resigned to history as the area upon which they once stood is now occupied by a somewhat incongruous commercial premises.

The former Lauriston farm house, following the cessation of the agricultural operation allied with it, fell into dereliction, becoming a target for serious anti social behaviour and destructive vandalism being a detriment to the amenity of the near and wider community.

The applicant has effectively rescued the former Lauriston farm house from further, possibly catastrophic damage following his acquisition of the premises and is currently nearing the completion of a comprehensive renovation and refurbishment programme, returning the premises once more to a viable dwelling house; consequently and effectively removing the premises from the Buildings at Risk Register. This can only be viewed as a positive reintroduction of what was once formally categorised as building nearing complete dereliction, to a premises that will be a more than welcome addition to the local community and to the City of Edinburgh at large.

As part of the continuing rejuvenation of the site and with a particular emphasis on the historical record of same, the application for Planning Permission seeks to introduce a building of a style synonymous with the previous agricultural use which will sit comfortably and unobtrusively within its setting and be architecturally complimentary to the former farm house. Public views of the site, particularly those from the south, will not be impaired but enhanced given the architectural style of the proposal and be further enhanced following the introduction of tree planting and landscaping operations. These proposals will simply contribute to the Special Landscape Area and will be a continued addition to the revitalisation of what had, not too distantly, become a lost, forgotten and abandoned part of Edinburgh's rich Heritage.



GENERAL NOTES AND SPECIFICATIONS		
No.	Date	Revisions / Submissions
1	20.01.19	Applicant details revised
Applicant		
Development Direct Scotland Ltd		
Project Address		
67 Lauriston Farm Road Edinburgh EH4 6EX		
Drawing Title		
Planning Application proposal 1: 200 scale block plan		
Project		
Proposal to erect 2 No Steading type semi-detached dwellinghouses.		
Scale		1:200 @ A1
Drawing No.		
Date	November 2018	
		Drawing No 4

67 Lauriston Farm Road, Edinburgh Historic Building Survey & Archaeological Watching Brief Written Scheme of Investigation

AOC Project No: 23946
Planning Ref No. 15/03373/FUL
4th October 2017



67 Lauriston Farm Road, Edinburgh: Historic Building Survey & Archaeological Watching Brief Written Scheme of Investigation

On Behalf of: Mr. Mike Clarke,
1F2,
3 Inverleith Gardens,
Edinburgh
EH11 2BX

National Grid Reference (NGR): NT 20475 76105 (centre)

AOC Project No: 23946

Prepared by: Lindsay Dunbar

This document has been prepared in accordance with AOC standard operating procedures.

Author: Lindsay Dunbar

Date: 4th October 2017

Approved by: Martin Cook

Date: 4th October 2017

Draft/Final Report Stage: Final

Date: 4th October 2017

Enquiries to: AOC Archaeology Group
Edgefield Industrial Estate
Edgefield Road
Loanhead
EH20 9SY

Tel. 0131 440 3593
Fax. 0131 440 3422
e-mail. admin@aocarchaeology.com



1 INTRODUCTION

1.1 Project Background

- 1.1.1 A programme of archaeological works is required by Mr. Mike Clarke ahead of the redevelopment of a 19th century farmhouse at 67 Lauriston Farm Road, Edinburgh. The archaeological works are to include a Historic Building Recording survey of the existing building together with a 10% evaluation of the overall redevelopment area. The need for, and scope of, the archaeological works has been determined by City of Edinburgh Council (CEC) who are advised on archaeological matters by the City of Edinburgh Council Archaeology Service (CECAS).
- 1.1.2 The programme of archaeological works is in keeping with the policies outlined in *Scottish Planning Policy* (2014) and *PAN 2/2011 Planning and Archaeology* (2011) in order to record the extent and significance of any archaeological remains which may be present within the development area.
- 1.1.3 This *Written Scheme of Investigation* details how the requirements of the archaeological works will be met. The first part is site specific, detailing the requirements of the trial trenching (Stage 1), as well as any appropriate archaeological mitigation measures (Stage 2), which may consist of further fieldwork (eg, excavation) or provision by the development proposals which would allow preservation *in situ* of any buried archaeological material. It also details the requirements of any suitable post-excavation analysis and publication of discovered archaeological remains (Stage 3), if appropriate. The Appendices detail AOC Archaeology Group's operating procedures and standards.

1.2 Site location

- 1.2.1 The development area is centred on NT 20475 76105 (Figure 1 & 2) and presently consists of a farmhouse with garden which lies to the northwest of Lauriston Farm Road immediately east of the Toby Carvery Restaurant and carpark. To the north and south of the development area there is open farmland whilst to the west lies the Lauriston House and its grounds.

1.3 Archaeological background

- 1.3.1 The development site forms part of the historic Lauriston Estate which is centred upon Lauriston House (HES No. NT27NW 1) which lies immediately to the west. The core of Lauriston House dates from the 1600's and the building is A-Listed (Listed Building No. 28019). The history of Lauriston may date from 13th century and there are indications that the medieval centre of the state lay to the east of Lauriston House. The mid 18th century Roy's map also shows buildings to the east of Lauriston House which may of may lie close to or within the development area.
- 1.3.2 The farmhouse building that is to be redeveloped dates from the early 19th century (HES No. NT27NW 607) is described as a stone built two storey building formerly called Lauriston Mains. The mid 19th century First Edition Ordnance Survey map, (Figure 3), clearly shows the building and its relationship to Lauriston House (marked as Lauriston Castle).

2 OBJECTIVES

- 2.1 The objectives of the historic building recording are to create a 'preservation by record' of the barn structure that will be subject to development through written, drawn and photographic record, also with a view to also establishing any evidence of the former chapel in or around, or set within the construction of, the 17th century chapel.



Figure 3: Extract from 1st Edition Ordnance Survey

- 2.2 The objectives of the archaeological works are to determine and assess the character, extent, condition, quality, date and significance of any buried archaeological remains within the proposed development area through evaluation trenching. Another objective is to advise and implement an appropriate form of mitigation, formulated with the approval of CECAS, such as excavation (Stage 2), post-excavation analyses and publication (Stage 3), given the infeasibility of preserving the archaeological material *in situ*, should significant archaeological remains be encountered..

3 ARCHAEOLOGICAL WORKS

3.1 Level 1 Building Recording

3.1.1 A programme of Historic Building Recording (Level 1) is required on the single storey, unroofed building which forms part of Bridgend Farm.

3.1.2 This will comprise a comprehensive photographic and written descriptive record of the building accompanied by a scaled floor plan. General and detailed photographs of the building will be made in black and white print and colour digital using a 35mm SLR and digital SLR respectively. A 1m or 2m ranging pole will be placed in all shots where access and health and safety allows and a running register of photographs will be made on site to accompany the report. The photographic survey will be complemented by a written description of the barn using AOC pro-forma recording sheets with comment on condition, construction, architectural features, doors, openings, evidence for phasing and function and anything else pertinent to the historic record. A drawn site plan is also required of the building and this will take the form of annotated architects' site plans.

3.2 Evaluation

3.2.1 The details of the archaeological evaluation, laid out below, are designed to meet the requirements of the City of Edinburgh Council as advised by CECAS.

- 3.2.2 The development areas measures 1500 m² in total. The Council as advised by CECAS requires that an 10% evaluation is undertaken across the entire site. Therefore trenching totalling some 150 m² will be opened across the development area (Figure 2). The evaluation will be achieved through excavation using a mechanical excavator equipped with a smooth-bladed ditching bucket. Where live services are present suitable buffer zones where no trenching will be able to take place will be imposed.
- 3.2.3 Excavation will be in shallow units/spits until the first significant archaeological horizon or natural drift geology is reached. Trenching will be stepped where localised ground conditions necessitate. All trial trenching will be undertaken according to AOC Archaeology Group's standard operating procedures (Appendix 7, 7.1 to 7.29). All machine excavation will be supervised by an experienced field archaeologist.
- 3.2.4 All significant archaeological features revealed will be cleaned and fully defined. Trial trenches will be extended around specific archaeological features to determine their lateral extent (while remaining within the development area). A sufficient number of significant features will be excavated, sampled and recorded to determine their character, function, nature, date and significance.
- 3.2.5 Should human remains be unearthed, then these will be left *in situ*, covered and protected. The local police will be informed. If removal is considered necessary by CECAS this will only take place with police approval, and in compliance with Historic Scotland's Operational Policy Paper '*The Treatment of Human Remains in Archaeology*'.
- 3.2.6 The palaeo-environmental strategy will comprise the removal of two basic sample types for every hand-excavated context. As such, every archaeological context will be sampled by this impartial and non-judgmental approach.
- i) Routine Soil Samples; a representative 500g sample from every excavated soil context on site. This sample is used in the characterisation of the sediment, potentially through pollen analysis, particle size analysis, pH analysis, phosphate analysis and loss-on-ignition.
 - ii) Standard Bulk Samples; a representative 10 litre sample from every excavated soil context on site. This sample is used, through floatation sieving, to recover a sub-sample of charred macroplant material, faunal remains and artefacts.
- 3.2.7 No specialised re-instatement will be undertaken. Trenches will be backfilled with spoil and then compacted by driving over using the mechanical excavator. The backfilling of trenches will not be individually supervised other than in areas with identified archaeology.

3.3 Reporting

- 3.3.1 Within one month of the completion of all on-site work, the results will be presented in the form of a written report. This report will synthesize the results of the fieldwork, both Evaluation and Historic Building Recording, and determine the significance and extent of any archaeological features identified.
- 3.3.2 The report will be prepared in accordance with current standard Historic Scotland procedural requirements and AOC Archaeology standard procedures. Specifically it will contain the following:
- the location and National Grid Reference of the site;

- a site plan showing the extent of the excavations
- a non technical summary describing briefly the work undertaken and a brief outline of the phasing and history of the site;
- copies of all historic maps referenced in the text;
- an architectural appraisal of the building;
- a full list detailing features encountered and an interpretation of their date and function;
- appropriate lists and diagrams summarising the contexts and artefacts recovered and the records made of them
- plans and elevations at an appropriate scale showing watching brief area and features located
- digital photographs used as plates to further illustrate the text;
- a discussion on the results bringing together the historical background and the architectural appraisal;
- analysis of the results of the works, including appropriate post-excavation appraisals
- fully referenced bibliography;
- photographic register as an Appendix;
- *'Discovery and Excavation in Scotland'* (DES) Entry as an Appendix;

3.3.3 In addition a Summary Report on the works will be submitted to the OAS/S online archaeological reporting facility.

3.3.4 A digital copy of the report will be forwarded to the client in the first instance for comments after which it will be forwarded to CECAS for approval. Once approved by CECAS a hard copy of the report will be forwarded to CECAS for inclusion within the Historic Environment Record (HER) together with a selection of digital images of the results of the works.

3.3.5 The catalogued archive from these works will be prepared for deposition in the National Monuments Record of Scotland within 6 months of the completion of all fieldwork. Digital copies of a selection of photographs and plans will be deposited separately for inclusion in the City of Edinburgh SMR.

3.3.6 Finds of objects will be subject to the Scots Laws of Treasure Trove and *Bona Vacantia* and reported by the archaeological contractor to the Secretariat of the Treasure Trove Panel for disposal to an appropriate museum. This process is a standard AOC procedure.

4 OPERATIONAL FACTORS

4.1 Monitoring

4.1.1 AOC Archaeology will liaise with CECAS at all times to ensure they are aware of fieldwork dates and so be able to schedule in advance any monitoring visits. A mobile phone will be present on site at all times to allow easy contact.

4.2 Health & Safety

4.2.1 AOC Archaeology has always maintained high standards on-site and a copy of our Health & Safety policy is available on request. A full Risk Assessment Method Statement will be prepared prior to the on site being undertaken. All AOC staff will adhere to the Risk Assessment and be inducted prior to the works starting.

4.2.2 All AOC staff are CSCS qualified and have a First Aid at Work qualification.

4.3 Project team

4.3.1 The project will be managed and undertaken by Martin Cook MClfA, Project Manager.

4.4 Timetable

4.4.1 The works will be undertaken in October and November 2017

5 REFERENCES

5.1 Bibliographical references

Scottish Government 2014 *Scottish Planning Policy*, April 2014.

Scottish Government 2011 PAN 42 Planning And Archaeology 2/2011.

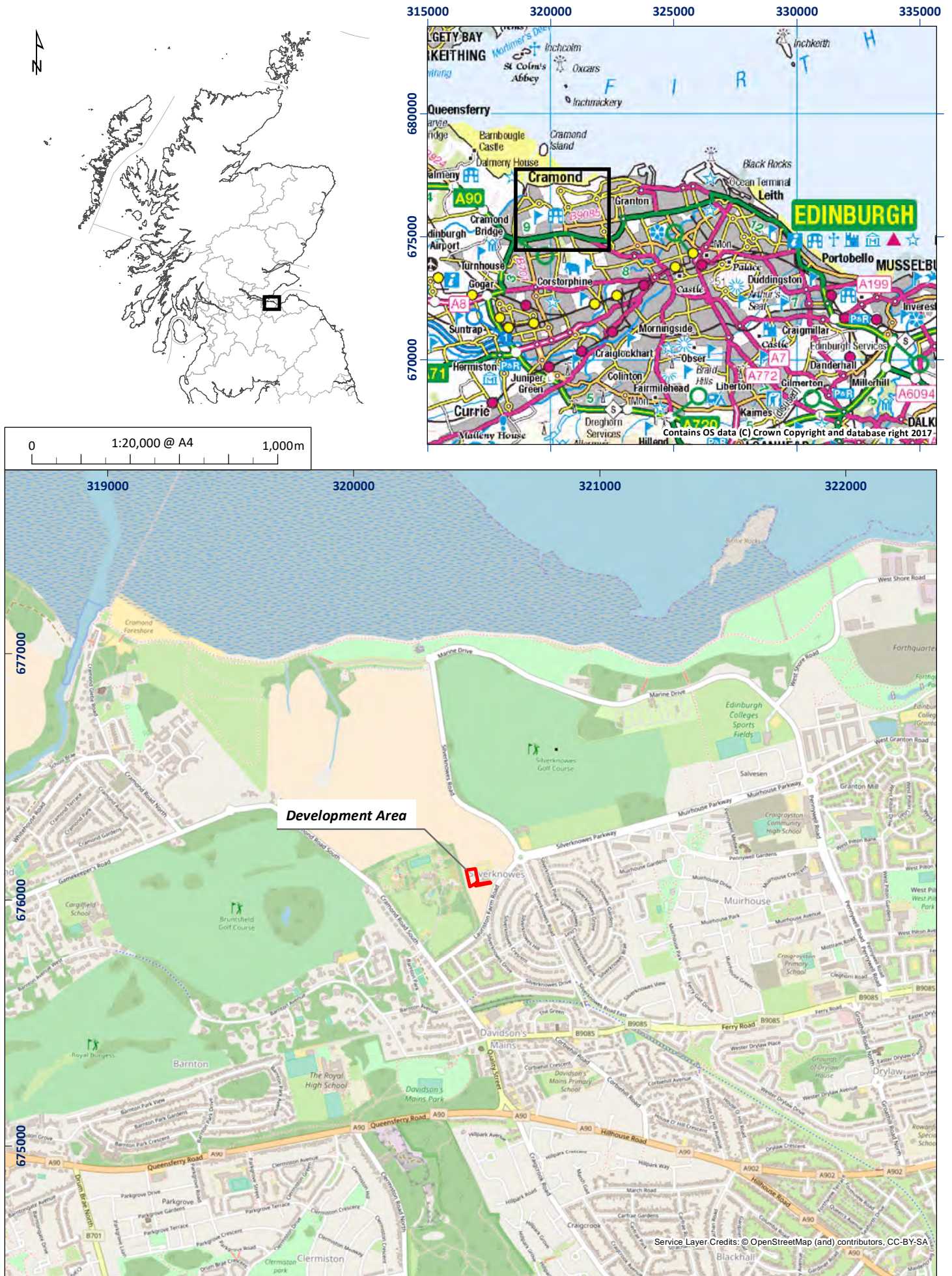


Figure 1: Site location plan

01/23946/WSI/01/01



Figure 2: Site Location showing evaluation trenches

01/23946/WSI/02/01

APPENDIX 1**Desk-top assessment**

- 1.1 The sources consulted as part of the desk-top study will depend on the type and level of data required and the material that is available to provide that information. Sources used may include, where available, all or some of the following listed below:
- i)* Walkover survey (Appendix 5).
 - ii)* The relevant Local Sites and Monuments Record(s) and the National Monuments Record.
 - iii)* British Geological Survey maps.
 - iv)* Ordnance Survey maps of the site and its locality.
 - v)* Tithe, Apportionment and Parish maps.
 - vi)* Historic (pre-Ordnance Survey) and Estate maps of the area.
 - vii)* Appropriate archaeological and historical journals and books.
 - viii)* Historical documents held in local museums, libraries, record offices and other archives. This may be a selective survey given the scope of potential historic documentation for some sites.
 - ix)* Unpublished material held by local professional and amateur archaeological organisations and museums.
 - x)* Aerial photographs held by local authorities, Sites and Monuments Record, the National Library of Aerial Photographs, Cambridge University Collection of Aerial Photographs and other local parties.
 - xi)* Scheduled Ancient Monuments Lists; listed building lists; registers of parks and gardens and battlefields; any local authority constraint designations (eg conservation Areas).
 - xii)* All available borehole, trial pit and geotechnical data from the site and its immediate environs.
 - xiii)* Plans of services locations held by statutory undertakers.
 - xiv)* Fire insurance maps.
 - xv)* Old and New Statistical Accounts (in Scotland).
 - xvi)* Building Control Records.
 - xvii)* Standing Building Assessment (Appendix 10).

APPENDIX 2**Geophysical survey**

- 2.1 All geophysical survey work will be sub-contracted to an appropriate professional organisation but directly managed by AOC Archaeology.
- 2.2 Selection of techniques will be made in consultation with the survey organisation taking into account land use, geology, complicating factors (eg metal pipes and fences), known and/or suspected archaeology.
- 2.3 The report will contain background information on the site (as above) and a description of any anomalies located. An interpretation of the anomalies will also be given.
- 2.4 At least one plot of the data will be included, normally of dot density or grey scale type. Any enhancement of the image will be explicitly stated and the likely affect of the processing described.
- 2.5 Clear interpretative plans will be provided in a form that a non-technical reader can understand.
- 2.6 Plots and interpretative diagrams will be reproduced at a scale from which exact measurements can be taken. These will normally be 1:1000 for detailed survey and 1:2500 for other plans.
- 2.7 The basic computerised data will form part of the site archive.

APPENDIX 3**Surface collection survey (fieldwalking)**

- 3.1 This type of survey will only be carried out in suitable ground visibility conditions. This effectively restricts the technique to arable land which has been ploughed, harrowed and left to weather for several weeks in autumn to early spring.
- 3.2 The collection grid will align with the Ordnance Survey grid unless surveying for a linear scheme when the transects will be parallel to the centre of the scheme. The grid will be established using measured survey techniques.
- 3.3 The spacing of transects and length of collection units will be as specified in the main part of the Written Scheme of Investigation. Each transect will be 2m wide. Collection units will be logged using a numeric 12 figure National Grid Reference which will identify the southern end of the unit.
- 3.4 Transects will be measured cumulatively on the ground using fixed-length strings to avoid variation in individual pace. Sighting poles will be placed at opposite ends of the land parcel to mark transects.
- 3.5 All material considered to be man-made or not local to the area will be collected and recorded by the individual collection unit. The exception to this is where dense concentrations of building material are present when a representative sample is retained per collection unit.
- 3.6 Stone scatters, areas of soil discolouration and outcrops of natural substrata will be recorded and plotted by stint.
- 3.7 Pro-forma sheets will be used to record details of walker, soil/crop conditions, slope/topography, and lighting/weather conditions for each transect and presence/absence of finds for each collection unit.
- 3.8 Finds will be washed and sorted into groups in order to facilitate identification. Finds will be bagged according to artefact class within each collection unit.
- 3.9 Finds will be identified, quantified and recorded directly on to computer. The results will be plotted using a CAD graphics programme.
- 3.10 All significant artefact distributions will be plotted by field, group of fields or appropriate length for a linear scheme, at 1:2500, with separate plans for each period or relevant subdivision, indicating the numbers of artefacts per stint.
- 3.11 The pottery and other relevant artefacts will be scanned to assess the date range of the assemblage.

- 3.12 All finds and samples will be treated in a proper manner and to standards agreed in advance with the recipient museum or other body. These will be cleaned, conserved, bagged and boxed in accordance with the guidelines set out in UKIC's "Conservation Guidelines No 2".

APPENDIX 4

Earthwork surveys

- 4.1 Base points will be established using a Total Station.
 4.2 Hachured plans will normally be prepared at 1:1250 or 1:2500 for most classes of earthwork. In certain cases more detailed survey by contouring will be carried out.
 4.3 Appropriately experienced personnel will undertake the survey work.
 4.4 All prepared plans will be presented with an accompanying descriptive text.

APPENDIX 5

Walkover Survey

- 5.1 The proposed study area will be walked over in a systematic manner. Approximately 30m wide transects will be used, although this can be reduced where conditions demand.
 5.2 All features identified (including modern features) will be given a unique number. The location of each feature will be marked on a 1:10,000 map. A photographic and written record will be compiled

APPENDIX 6

Test pits

- 6.1 Spacing and size of test pits will vary according to local topography, geology, and known or potential archaeology. Spacing and size will be as specified in the Written Scheme of Investigation.
 6.2 Test pits will be laid out in relation to the Ordnance Survey national grid.
 6.3 The most appropriate tools will be used taking into account the prevailing conditions at the time of the work.
 6.4 A specified volume of topsoil from each test pit will be sieved through a 10mm mesh.
 6.5 Conditions, contexts and artefact totals will be recorded on pro-forma sheets.
 6.6 Subdivisions within the excavated material will be based on soil stratigraphy and spits of 100mm within each stratigraphical unit.
 6.7 All artefact totals will be recorded by class.
 6.8 Finds will be washed and sorted into groups in order to facilitate identification. Finds will be bagged according to artefact class within each collection unit.
 6.9 Finds will be identified, quantified and recorded directly onto computer where appropriate. The results will be plotted using a CAD graphics programme when appropriate.
 6.10 All significant artefact distributions will be plotted by field, group of fields or appropriate length for a linear scheme at 1:2500, with separate plans for each period or relevant subdivision, indicating the numbers of artefacts per test pit.
 6.11 The pottery and other relevant artefacts will be scanned to assess the date range of the assemblage.
 6.12 All finds and samples will be treated in a proper manner and to standards agreed in advance with the recipient museum or other body. These will be cleaned, conserved, bagged and boxed in accordance with the guidelines set out in UKIC's "Conservation Guidelines No 2".

APPENDIX 7

Machine excavated trenches

Excavation

- 7.1 The entire site will be visually inspected before the commencement of any machine excavation. This will include the examination of any available exposures (eg recently cut ditches and geo-technical test pits).
 7.2 Normally trench positions will be accurately surveyed prior to excavation and related to the National Grid. It may be necessary to survey the positions after excavation in some instances.
 7.3 All machining will be carried out by plant of an appropriate size. Normally, this will be a JCB 3CX (or similar) or 360° tracked excavator with a 1.4 or 1.8m wide toothless bucket. Where access or working space is restricted a mini excavator such as a Kubota KH 90 will be used.
 7.4 All machining will be carried out under direct control of an experienced archaeologist.
 7.5 Undifferentiated topsoil or overburden of recent origin will be removed in successive level spits (approximately <0.5m) down to the first significant archaeological horizon.
 7.6 Excavated material will be examined in order to retrieve artefacts to assist in the analysis of the spatial distribution of artefacts.
 7.7 On completion of machine excavation, all faces of the trench that require examination or recording will be cleaned using appropriate hand tools.
 7.8 All investigation of archaeological horizons will be by hand, with cleaning, inspection, and recording both in plan and section.
 7.9 Within each significant archaeological horizon a minimum number of features required to meet the aims of the project will be hand excavated. Pits and postholes normally will be sampled by half-sectioning although some features may require complete excavation. Linear features will be sectioned as appropriate. Features not suited to excavation within the confines of narrow trenches will not be sampled. No deposits will be entirely removed unless this is unavoidable. As the objective is to define remains it will not necessarily be the intention to fully excavated all trenches to natural stratigraphy.

- However, the full depth of archaeological deposits across the entire site will be assessed. Even in the case where no remains have been located the stratigraphy of all evaluation trenches will be recorded.
- 7.10 Any excavation, whether by machine or by hand, will be undertaken with a view to avoiding damage to any archaeological features or deposits which appear to be demonstrably worthy of preservation *in situ*.
- 7.11 For palaeoenvironmental research different sampling strategies will be employed according to established research targets and the perceived importance of the strata under investigation. AOC Archaeology conventionally recovers three main categories of sample;
- i) Routine Soil Samples; a representative 500g sample from every excavated soil context on site. This sample is used in the characterisation of the sediment, potentially through pollen analysis, particle size analysis, pH analysis, phosphate analysis and loss-on-ignition;
 - ii) Standard Bulk Samples; a representative 20 litre sample from every excavated soil context on site. This sample is used, through floatation sieving, to recover a sub-sample of charred macroplant material, faunal remains and artefacts;
 - iii) Purposive or Special Samples; a sample from a sediment which is determined, in field, to either have the potential for dating (wood charcoal for radiocarbon dating or *in situ* hearths for magnetic susceptibility dating) or for the recovery of enhanced palaeoenvironmental information (waterlogged sediments, peat columns, etc).
- 7.12 Any finds of human remains will be left *in situ*, covered and protected. In Scotland the local police will be informed. If removal is essential this will only take place with police approval, and in compliance with Historic Scotland's Operational Policy Paper '*The Treatment of Human Remains in Archaeology*'. In England and Wales the coroner's office will be informed. If removal is essential it will only take place under the relevant Home Office licence and local authority environmental health regulations.
- 7.13 All finds of gold and silver will be moved to a safe place. Where removal cannot be effected on the same working day as the discovery, suitable security measures will be taken to protect the artefacts from theft or damage. In Scotland the recovery of such material, along with all other finds, will be reported to the Queen's and Lord Treasurer's Remembrancer. In England and Wales the recovery of such material will be reported to the coroner's office according to the procedures relating to Treasure Trove.
- 7.14 After recording, the trenches will be backfilled with excavated material.
- Recording*
- 7.15 For each trench, a block of numbers in a continuous sequence will be allocated.
- 7.16 Written descriptions, comprising both factual data and interpretative elements, will be recorded on standardised sheets.
- 7.17 Where stratified deposits are encountered a 'Harris'-type matrix will be compiled during the course of the excavation.
- 7.18 The site grid will be accurately tied into the National Grid and located on the 1:2500 or 1:1250 map of the area.
- 7.19 Plans will normally be drawn at a scale of 1:100, but on urban or deeply stratified sites a scale of 1:50 or 1:20 will be used. Burials will be drawn at 1:10. Other detailed plans will be drawn at an appropriate scale.
- 7.20 Long sections of trenches showing layers and any cut features will be drawn at 1:50. Sections of features or short lengths of trenches will be drawn at 1:20.
- 7.21 Generally all sections will be accurately related to Ordnance Datum. There may, occasionally, be instances where this is unnecessary when it will be agreed with the local authority's archaeological representative in advance.
- 7.22 Registers of sections and plans will be kept.
- 7.23 A full colour print and colour transparency photographic record will be maintained. This will illustrate the principal features and finds both in detail and in a general context. The photographic record will also include working shots to represent more generally the nature of the fieldwork.
- 7.24 A register of all photographs taken will be kept on standardised forms.
- 7.25 All recording will be in accordance with the standards and requirements of the *Archaeological Field Manual* (Museum of London Archaeology Service 3rd edition 1994).
- Finds*
- 7.26 All identified finds and artefacts will be collected and retained. Certain classes of material, ie post-medieval pottery and building material, may on occasion be discarded after recording if a representative sample is kept. No finds will be discarded without the prior approval of the archaeological representative of the local authority and the receiving museum.
- 7.27 Finds will be scanned to assess the date range of the assemblage with particular reference to pottery. In addition the artefacts will be used to characterise the site, and to establish the potential for all categories of finds should further archaeological work be necessary.
- 7.28 All finds and samples will be treated in a proper manner and to standards agreed in advance with the recipient museum. Finds will be exposed, lifted, cleaned, conserved, marked, bagged and boxed in accordance with the guidelines set out in United Kingdom Institute for Conservation's *Conservation Guidelines No. 2*.
- 7.29 In England and Wales, at the beginning of the project (prior to commencement of fieldwork) the landowner and the relevant museum will be contacted regarding the preparation, ownership and deposition of the archive and finds. In Scotland all archaeological material recovered belongs to the Crown and its disposal is administered by the Queen's and Lord Treasurer's Remembrancer.

APPENDIX 8

Evaluation reports

- 8.1 The style and format of the evaluation report will be determined by AOC Archaeology, but will be compliant with Historic Scotland's issued guidance on Data Structure Reports. The report will include as a minimum the following;
- i) A location plan of the site.
 - ii) A location plan of the trenches and/or other type of fieldwork strategy employed.
 - iii) Plans and sections of features and/or extent of archaeology located. These will be at an appropriate scale.
 - iv) A summary statement of the results.
 - v) A table summarising per trench the deposits, features, classes and numbers of artefacts encountered and spot dating of significant finds.
 - vi) Consideration to the methodology will be given along with a confidence rating for the results.
- 8.2 When an evaluation is followed by an excavation the procedures defined in English Heritage's *Management of Archaeological Projects* 2nd edition 1991 will be followed for immediate post-field archive preparation and initial assessment. It will then be agreed with the local authority's archaeological advisor which aspects will need to be taken forward to the report stage.

APPENDIX 9

Area excavation

- 9.1 Prior to the stripping of any area excavation, all appropriate surveys (eg geophysical, earthwork, contour) or sampling strategies (eg for topsoil artefact densities, metal detecting, phosphate analysis) will be undertaken.
- 9.2 In most cases sites will be mechanically stripped of topsoil and other overburden. An appropriate machine will always be used. This will normally be a 360° tracked excavator with a between 1.4 and 2.4m wide toothless bucket. In other cases a JCB 3CX (or similar), or for work with restricted access or working room a mini-excavator such as a Kubota KH 90 will be used. Suitably sized dumpers or lorries will be employed to remove spoil. No plant will be allowed to cross stripped areas.
- 9.3 All machining will be undertaken under the direct control of experienced archaeologists.
- 9.4 All undifferentiated topsoil or overburden will be removed down to the first significant archaeological horizon in level spits. The archaeological horizon to which the material will be cleared will have first been established by an evaluation or by the digging of test pits.
- 9.5 Depending on the aims of the project, the excavated spoil may be monitored in order to recover artefacts. Where their findspots are plotted this will usually be on a 2m grid.
- 9.6 The surface exposed by the stripping will be cleaned using appropriate hand tools.
- 9.7 Should the site grid not have already been established it will be done at the cleaning stage. The grid will normally be based on a 10m spacing and related to the National Grid. A temporary bench mark related to Ordnance Datum will be founded
- 9.8 After the cleaning and planning of the excavation area the sampling strategy will be finalised. This will take into account the project aims (which may need modifying at this stage) and the type, quality and quantity of remains revealed. The sampling strategy will normally seek to maintain at least the following levels;
- i) all structures and all zones of specialised activity (eg funerary, ceremonial, industrial, agricultural processing) will be fully excavated and all relationships recorded;
 - ii) ditches and gullies will have all relationships defined, investigated and recorded. All terminals will be excavated. Sufficient lengths of the feature will be excavated to determine the character of the feature over its entire course; the possibility of re-cuts of parts of the feature, and not the whole, will be considered. This will be achieved by a minimum 10% sample of each feature (usually a 1m section every 10m).
 - iii) Sufficient artefact assemblages will be recovered (where possible) to assist in dating the stratigraphic sequence and for obtaining ample ceramic groups for comparison with other sites;
 - iv) all pits, as a minimum, will be half-sectioned. Usually at least 50% (by number) of the pits will be fully excavated. Decisions as to which pits will be fully excavated will be taken in the light of information gained in the half-sectioning taking into consideration, amongst other things; pit function, artefact content and location;
 - v) for post and stake holes where they are clearly not forming part of a structure (see above) 100% (by number) will be half-sectioned ensuring that all relationships are investigated. Where deemed necessary, by artefact content, a number may demand full excavation;
 - vi) for other types of feature such as working hollows, quarry pits, etc the basic requirement will be that all relationships are ascertained. Further investigation will be a matter of on-site judgement, but will seek to establish as a minimum their extent, date and function;
 - vii) for layers, an on-site decision will be made as to the limits of their excavation. The factors governing the judgement will include the possibility that they mask earlier remains, the need to understand function and depositional processes, and the necessity to recover sufficient artefacts to date the deposit and to meet the project aims.
- 9.9.1 For palaeoenvironmental research different sampling strategies will be employed according to established research targets and the perceived importance of the strata under investigation. AOC Archaeology conventionally recovers three main categories of sample;
- i) Routine Soil Samples; a representative 500g sample from every excavated soil context on site. This sample is used in the characterisation of the sediment, potentially through pollen analysis, particle size analysis, pH analysis, phosphate analysis and loss-on-ignition;

- ii) Standard Bulk Samples; a representative 10 litre sample from every excavated soil context on site. This sample is used, through floatation sieving, to recover a sub-sample of charred macroplant material, faunal remains and artefacts;
- iii) Purposive or Special Samples; a sample from a sediment which is determined, in field, to either have the potential for dating (wood charcoal for radiocarbon dating or *in situ* hearths for magnetic susceptibility dating) or for the recovery of enhanced palaeoenvironmental information (waterlogged sediments, peat columns, etc).
- 9.10 Any finds of human remains will be left *in situ*, covered and protected. In Scotland the local police will be informed. If removal is essential this will only take place with police approval, and in compliance with Historic Scotland's Operational Policy Paper '*The Treatment of Human Remains in Archaeology*'. In England and Wales the coroner's office will be informed. If removal is essential it will only take place under the relevant Home Office licence and local authority environmental health regulations.
- 9.11 All finds of gold and silver will be moved to a safe place. Where removal cannot be effected on the same working day as the discovery, suitable security measures will be taken to protect the artefacts from theft or damage. In Scotland the recovery of such material, along with all other finds, will be reported to the Queen's and Lord Treasurer's Remembrancer. In England and Wales the recovery of such material will be reported to the coroner's office according to the procedures relating to Treasure Trove.
- Recording*
- 9.12 All on-site recording will be undertaken in accordance with the standards and requirements of the *Archaeological Site Manual* (Museum of London 1994).
- 9.13 A continuous unique numbering system will be employed.
- 9.14 Written descriptions, comprising both factual data and interpretative elements, will be recorded on standardised sheets.
- 9.15 Where stratified deposits are encountered a 'Harris'-type matrix will be compiled during the course of the excavation.
- 9.16 The site grid will be accurately tied into the National Grid and located on the 1:2500 or 1:1250 map of the area.
- 9.17 Plans will normally be drawn at a scale of 1:100, but on urban or deeply stratified sites a scale of 1:50 or 1:20 will be used. Burials will be drawn at 1:10. Other detailed plans will be drawn at an appropriate scale.
- 9.18 Long sections of trench edges or internal baulks showing layers and any cut features will be drawn at 1:50 or 1:20 depending on amount of detail contained. Sections of features will be drawn at 1:20.
- 9.19 All sections will be accurately related to Ordnance Datum.
- 9.20 Registers of sections and plans will be kept.
- 9.21 A full colour print and colour transparency photographic record will be maintained. This will illustrate the principal features and finds both in detail and in a general context. The photographic record will also include working shots to represent more generally the nature of the fieldwork.
- 9.22 A register of all photographs taken will be kept on standardised forms.
- Finds*
- 9.23 All identified finds and artefacts will be collected and retained. Certain classes of material, ie post-medieval pottery and building material may on occasion be discarded after recording if a representative sample is kept. No finds will be discarded without the prior approval of the archaeological representative of the local authority and the receiving museum.
- 9.24 All finds and samples will be treated in a proper manner and to standards agreed in advance with the recipient museum. Finds will be exposed, lifted, cleaned, conserved, marked, bagged and boxed in accordance with the guidelines set out in United Kingdom Institute for Conservation's *Conservation Guidelines No. 2*.
- 9.25 In England and Wales, at the beginning of the project (prior to commencement of fieldwork) the landowner and the relevant museum will be contacted regarding the preparation, ownership and deposition of the archive and finds. In Scotland all archaeological material recovered belongs to the Crown and its disposal is administered by the Queen's and Lord Treasurer's Remembrancer.
- Archiving, post-excavation and publication*
- 9.26 Following completion of each stage or the full extent of the fieldwork (as appropriate) the site archive will be prepared in the format agreed with the receiving institution.
- 9.27 On completion of the archive a summary report will be prepared. This will include;
- i) an illustrated summary of the results to-date indicating to what extent the project aims were fulfilled;
- ii) a summary of the quantities and potential for analysis of the information recovered for each category of site, artefact, dating and palaeoenvironmental data;
- iv) proposals for analysis and publication.
- 9.28 The proposals for analysis and publication will include;
- i) a list of the revised project aims arising from the fieldwork and post-excavation assessment;
- ii) a method statement which will make clear how the methods advocated are those best suited to ensuring that the data-collection will fulfil the stated aims of the project;
- iii) a list of all tasks involved in meeting the stated methods to achieve the aims and produce a report and research archive in the stated format;
- iv) details of the research team and their projected work programmes in relation to the tasks. Allowance will be made for general project-related tasks such as project meetings, management, editorial and revision time;
- v) a publication synopsis indicating publisher, report format and content shown by chapters, section and subheadings with the anticipated length of text sections and proposed number of illustrations.
- 9.29 The summary report embracing the analysis and publication proposals will be submitted to the client and the local authority's archaeological representative for approval.

- 9.30 Any significant variation in the project design, including timetables, proposed after the agreement of the proposals must be acceptable to the local authority's archaeological representative.
- 9.31 The results of the project will be published in an appropriate archaeological journal or monograph. The suitable level of publication will be dependent on the significance of the project results, but as a minimum the basic requirements of Appendix 7.1 of *Management of Archaeological Projects* (English Heritage 1991) will be met.

APPENDIX 10

Standing Building Assessment

- 10.1 A standing building assessment will normally take place in concordance with a Conservation Plan, but may also form part of a Desk-Based Assessment if required.
- 10.2 A visual inspection will be made of both the interior and exterior of the building(s) with a view to establishing the extent of the architecturally important elements that should be included in a later phase of historic building recording work.
- 10.3 A brief written record will be made in addition to digital photography of areas of interest to support recommendations and outline architectural features within the building(s).

APPENDIX 11

Historic Building Recording: The Written Record (Levels 0-6)

- 11.1 Pro forma building recording sheets will be used for the basic written record of the building(s) including comments on the condition, construction techniques, materials, fixtures and fittings and interpretation of function. A competent analysis will be made of all building phases and any relationship between buildings. Day Book records will also be kept for any levels of recording above Level 1.
- 11.2 At Level 4, the written record will encompass a thorough context description of each broad phase of construction and alteration with a view to formulating a stratigraphic matrix of the site.

APPENDIX 12

Historic Building Recording: Photography (Levels 1-5)

- 12.1 Photography will take place at all levels of building recording, and will be undertaken with a single lens reflex camera with through-the-lens (TTL) light metering. A standard 28-90mm lens will be used at all times except where wider or shorter angle lenses are required for longer elevation photography and detailed photography.
- 12.2 The camera will be placed at mid-height to the subject with due care and attention to lighting situations. Two shots will be taken of each feature, undertaken by a light-meter reading of a two-step change in aperture. This change up or down will depend on light conditions.
- 12.3 Interior photography will be undertaken with appropriate lighting conditions and the use of a tripod. Where light access is still quite minimal, an automatic flash will be used.
- 12.4 All photography will be taken on colour slide and black & white negative film, such as Kodak PLUS-X or Ilford FP4, or approved equivalent. It should be exposed and processed to an archival standard, i.e., fix and wash in accordance with the manufacturers specifications.
- 12.5 The use of a digital camera may be used as a reference to survey and drawn elevations and ground plans on-site.

APPENDIX 13

Historic Building Recording: Rectified Photography and Photogrammetry (Level 3)

- 13.1 An external contractor will carry out rectified photography and photogrammetry in compliance with the following guidelines:
- i) All photography will be carried out with an approved type of camera. Details of the camera used may be supplied on completion of the project.
 - ii) The smallest permissible photographic negative scale will normally be defined as follows: for 1:50 scale plotting, negative scale should be no more than 1:200 and for 1:20 scale plotting, negative scale should be no more than 1:200.
 - iii) All rectified photography will be taken on black & white negative film, such as Kodak PLUS-X or Ilford FP4, or approved equivalent. It should be exposed and processed to an archival standard, i.e., fix and wash in accordance with the manufacturers specifications.

APPENDIX 14

Historic Building Recording: Elevation Recording (Level 2)

- 14.1 All elevations drawn or surveyed will be a 'preservation by record' of the current state of the building. The following categories will be recorded:

- i) All architectural features with associated decorative detail including windows, doors, quoin stones, string courses, roof lines and other structural stonework and jointing.
 - ii) Fixtures and fittings such as drainpipes and guttering, signs, brackets and vents.
 - iii) Later modifications and/or damage to the building such as structural cracks, areas of erosion, patches of rendering, blocked doorways, windows and other openings.
- 14.2 Large or small repetitive features such as windows, capitals, mouldings, etc. sampling will be undertaken as appropriate.
- 14.3 Where the façade is of stone construction each individual stone may be recorded. However, in most instances, a representative area, usually 1m², will be sufficient, although windows, corner stones and other architectural details will always be fully recorded. The degree of recording for ashlar will be depend upon the scale with which the elevation is to be produced and will be determined in advance of the start of works. When drawings are carried out at 1:50, a single line between the joints of the stone will normally be considered satisfactory. However, if there is a considerable gap between the stones, both sides of the stone will be shown. At a scale of 1:20 or larger, then all joints will normally be shown except where the stone is very fine ashlar.
- 14.4 Elevation recording by hand will normally take place if it is inappropriate to do so by survey. The size and complexity of an elevation will determine what on-site scale will be required. In general, a scale of 1:50 will be deemed appropriate with a larger scale adopted if portions of this elevation are more complex. For highly detailed architectural detail a scale of 1:1 may be appropriate.
- 14.5 All hand-drawn measured elevations and detail will be drawn using water-resistant paper with a hard 4H – 6H pencil. A levelled datum line will be taken through the centre of the elevation with offset measurements. All datum points will be accurately positioned within the site either by hand or by survey.

APPENDIX 15

Historic Building Recording: Elevation Recording – By Survey (Levels 2-4)

- 15.1 Where appropriate, elevations may be recorded by radiation survey using a reflectorless Trimble robotic Station. This method of survey allows the accurate capture of data of upper floor levels. If more than one elevation is to be recorded, then a traverse will be created around each building or group of buildings. Extra stations may be set up in places where there is limited access.
- 15.2 The recording of an elevation will not be carried out by survey equipment if:
- i) There are too many obstructions;
 - ii) The surface of the building is too dark or mossy;
 - iii) There is too much curved architectural detail;
 - iv) The distance required to set up the survey equipment in front of the elevation is too large (i.e., more than 25m) or too short to capture data from the upper levels of the elevation.
- 15.3 Where appropriate, elevations carried out by survey will be supplemented by detail measured by hand.

APPENDIX 16

Historic Building Recording: Interior Recording (Levels 2-4)

- 16.1 The recording of the interior(s) of the building(s) will consist of a written record and, where appropriate, measured sketch plans of the ground plan and the roof elevations based on the following guidelines:
- i) Critical analysis of the interior condition, construction, materials, fixtures and fittings will be made using *pro forma* recording sheets.
 - ii) Measured interior ground plans of each room of the interior will be carried out using tapes and a Leica Disto™ Classic electronic distance measurer.
 - iii) All measured plans will contain: notes on the size of structural members, and finishes; floor levels, change in levels, and ceiling heights; direction of stair rises in plan with each riser numbered; the positions of service entry points, plant and machinery and sanitary fittings; below-ground drainage; soil and vent stacks and rainwater pipes where appropriate.

APPENDIX 17

Historic Building Recording: Standard Report Illustrations (Level 6)

- 17.1 All final illustrations for archive will be produced digitally on the Computer-Aided Drawing package, AutoCAD 2000i/2000LT and/or Adobe Illustrator v9/v10. A standard methodology will be used with all drawings adhering to the following guidelines:
- 17.2 Line Weight. The appropriate line weight will depend on anticipated plot scale and may need editing if the output scale is to change. The degree of detail used will affect the line weight utilised in the finished drawing. All fine architectural detail (stonework, moulded stonework, brickwork, etc.) will be produced at a line weight of 0.05mm. More general architectural features (outlines of doors and windows, etc.) will be produced at a line weight of 0.09mm. A much heavier line will indicate the changing of plane in complex elevations.
- 17.3 Text. Text will be made clear and informative, with orientation, position, size and letter spacing remaining appropriate to the layout of the plotted sheets.
- 17.4 Scale. No archaeological or historic building survey will be carried out without a particular scale or range of scales in mind.

- 17.5 Layers. The layering system in Computer Aided Drawing packages allows the separation of data into specified criteria. To achieve this, there is an AOC standard layering system. This system is largely based on the coding system inherent in the use of the reflectorless EDM Leica TCR705.
- 17.6 Digital Archiving. All drawings are produced at a 1:1 scale for easy scaling in .dxf or .dwg format. At the end of a project, all data is stored on CD-ROM.

APPENDIX 18

Historic Building Recording: Dendrochronological Analysis (Level 3)

- 18.1 Dendrochronological analysis of timbers from standing building is primarily undertaken to provide accurate dates for its construction. Where appropriate, samples may be taken for analysis to provide information on the source and quality of the timber, thus informing on the social and economic context of the building.
- 18.2 Samples for analysis will take place under the following conditions:
- i) That the timber sample taken is from a species where date chronologies already exist, namely oak and pine.
 - ii) A minimum of eight timbers per phase or building are required to cross-match results.
 - iii) The ring patterns inherent in a timber sample must be over a certain length, usually seventy rings.
- 18.3 The method of the removal of samples of timber will be to use a corer attached to a power-driven drill, removing a core leaving a hole in the timber 10mm in diameter. The core will be taken so that a maximum radius from pith to bark is taken, thus ensuring the maximum numbers of growth rings for analysis. Timbers will be selected which have retained a full ring sequence as possible (i.e., those where the outermost rings have not been trimmed off or destroyed by woodworm).
- 18.4 Where it is impossible to use this intrusive method of sample, for example, in the case of painted ceilings and carved panels, the ring sequence can be measured *in situ* using a hand lens. Silicone rubber casts can also be taken where the end grain is exposed

APPENDIX 19

Historic Building Recording: Paint and Wallpaper Analysis (Level 3)

- 19.1 Paint and/or wallpaper analysis will usually only take place where layers that have been applied over the years have not been removed. Where appropriate, paint analysis can take place by methods of scraped samples or thin section analysis. Cross-sections may also be obtained from samples of paint to reveal a stratigraphy of paint layers.

APPENDIX 20

Historic Building Recording: Reporting (Levels 0-6)

- 20.1 The style and format of the final report on historic building recording works will be determined by AOC Archaeology, but will be compliant with Historic Scotland's issued guidance on Data Structure Reports. The content of this report will depend greatly in the level of works that have taken place but at minimum will include:
- i) A location plan of the site showing the areas under investigation numbered and cross-referenced in the text;
 - ii) A summary statement of the results;
 - iii) An introduction, methodology and results of the works;
 - iv) Photographic plates to illustrate the text.
- 20.2 Where a programme of historic building recording has taken place at Level 2 or above, the Data Structure Report will contain a number of illustrations, the format of which is outlined in more detail in Appendix 17.

APPENDIX 21

Watching Briefs

- 21.1 Where the archaeologist (Watching Brief Officer) has no remit over the working methodology of the site (specification of machine or depth of excavation). The Watching Brief Officer will simply observe the works and record their nature and form. Where the Watching Brief Officer specifies the site methodology, ie type of machine and depth of excavation. AOC Archaeology's preferred approach is to consider the Watching Brief Area as a large evaluation trench and follows in general, Appendix 7.
- 21.1 It is important to stress that the client determines the area affected and unless instructed by a curator the Watching Brief Officer has no power to extend the area unless it is to fully excavate a human body that otherwise would have been truncated by the works.
- 21.2 In addition to the general principles outlines in Appendix 7 the following approaches will be undertaken:
- 21.3
- i) a record will be made of all site attendances;
 - ii) in general a written and photographic record will be kept of the excavated sediments;
 - iii) where archaeological features are identified and they can be dealt with in less than two hours this work will be undertaken by the Watching Brief Officer. Recording and excavation protocols will follow Appendices 7.9 –7.11;

- iv) where archaeological remains requiring more than two hours of excavation and recording, the Watching Brief Officer will stop the works and both the curator and the client will be contacted to devise a mitigation strategy. All delays will be kept to a minimum. Any resultant excavation and recording work will be in keeping with the methods outlined in Appendix 9;
- v) the extent of the watching brief area will not be recorded unless specifically required by either the client or the curator. Where such recording is required the area will be accurately recorded by total station and linked into the Ordnance Datum;
- vi) Reporting of Watching Briefs will follow methods specified in Appendix 8.

APPENDIX 22

General

- 22.1 The requirements of the Brief will be met in full where reasonably practicable.
- 22.2 Any significant variations to the proposed methodology will be discussed and agreed with the local authority's archaeological representative in advance of implementation.
- 22.3 The scope of fieldwork detailed in the main part of the Written Scheme of Investigation is aimed at meeting the aims of the project in a cost-effective manner. AOC Archaeology Group attempts to foresee all possible site-specific problems and make allowances for these. However there may on occasions be unusual circumstances which have not been included in the programme and costing. These can include;
- i) unavoidable delays due to extreme weather, vandalism, etc;
 - ii) trenches requiring shoring or stepping, ground contamination, unknown services, poor ground conditions;
 - iii) extensions to specified trenches or feature excavation sample sizes requested by the local authority's archaeological advisor;
 - iv) complex structures or objects, including those in waterlogged conditions, requiring specialist removal.
- Health and Safety*
- 22.4 All relevant health and safety legislation, regulations and codes of practice will be respected.
- 22.5 With the introduction of the Construction, Design and Management Regulations 1994, AOC Archaeology works with Clients, Main Contractors, and Planning Supervisors to create a Health and Safety Plan. Where CDM regulations apply, each project will have its own unique plan.
- Insurances*
- 22.6 AOC Archaeology holds Employers Liability Insurance, Public Liability Insurance and Professional Indemnity Insurance. Details can be supplied on request.
- 22.7 AOC Archaeology will not be liable to indemnify the client against any compensation or damages for or with respect to;
- i) damage to crops being on the Area or Areas of Work (save in so far as possession has not been given to the Archaeological Contractor);
 - ii) the use or occupation of land (which has been provided by the Client) by the Project or for the purposes of completing the Project (including consequent loss of crops) or interference whether temporary or permanent with any right of way light air or other easement or quasi easement which are the unavoidable result of the Project in accordance with the Agreement;
 - iii) any other damage which is the unavoidable result of the Project in accordance with the Agreement;
 - iv) injuries or damage to persons or property resulting from any act or neglect or breach of statutory duty done or committed by the client or his agents servants or their contractors (not being employed by AOC Archaeology) or for or in respect of any claims demands proceedings damages costs charges and expenses in respect thereof or in relation thereto.
- 22.8 Where excavation has taken place evaluation trenches will be backfilled with excavated material but will otherwise not be reinstated unless other arrangements have previously been agreed. Open area excavations normally will not be backfilled but left in a secure manner unless otherwise agreed.
- Copyright and confidentiality*
- 22.9 AOC Archaeology will retain full copyright of any commissioned reports, tender documents or other project documents under the Copyright, Designs and Patents Act 1988 with all rights reserved; excepting that it will provide an exclusive licence to the Client in all matters directly relating to the project as described in the Written Scheme of Investigation.
- 22.10 AOC Archaeology will assign copyright to the client upon written request but retains the right to be identified as the author of all project documentation and reports as defined in the Copyright, Designs and Patents Act 1988.
- 22.11 AOC Archaeology will advise the Client of any such materials supplied in the course of projects which are not AOC Archaeology's copyright.
- 22.12 AOC Archaeology undertake to respect all requirements for confidentiality about the Client's proposals provided that these are clearly stated. In addition AOC Archaeology further undertakes to keep confidential any conclusions about the likely implications of such proposals for the historic environment. It is expected that Clients respect AOC Archaeology's and the

Institute of Field Archaeologists' general ethical obligations not to suppress significant archaeological data for an unreasonable period.

Standards

- 22.13 AOC Archaeology conforms to the standards of professional conduct outlined in the Institute of Field Archaeologists' Code of Conduct, the IFA Code of Approved Practice for the Regulation of Contractual Arrangements in Field Archaeology, the IFA Standards and Guidance for Desk Based Assessments, Field Evaluations etc., and the British Archaeologists and Developers Liaison Group Code of Practice.
- 22.14 Project Directors normally will be recognised in an appropriate Area of Competence by the Institute of Field Archaeologists.
- 22.15 Where practicable AOC Archaeology will liaise with local archaeological bodies (both professional and amateur) in order that information about particular sites is disseminated both ways (subject to client confidentiality).

APPENDIX 23

Specialist staff

The following specialist staff may be used on this project depending on the type of artefacts and soil samples recovered during the course of the fieldwork.

AOC Archaeology Staff:

Dr. Anne Crone	Dendrochronology, charcoal and timber analysis
Dr. Ciara Clarke	Pollen analysis
Mr. Rob Engl	Lithics & coarse stone
Ms. Melissa Melikian	Human bone
Mr Alan Duffy	Charcoal identification

Sub-contractors

Dr. Clare Ellis	Soils and sediments analysis
Mr. Bob Clark	Industrial archaeology & coal-mining
Ms Marta McGlynn	Historic designed landscapes
Dr. Ruby Ceron-Carasco	Marine shell and fish bone
Dr. Ann MacSween	Prehistoric pottery
Ms. Naomi Crowley	Building material, medieval and post-medieval pottery

APPENDIX 24

Post-excavation

24.1 *Sample Flotation*

Sample flotation is a water recovery technique designed to separate organic remains from the soil matrix. A Siraf style system of flotation and wet-sieving will be operated by the archaeological contractor. This system comprises an enclosed area of water into which the soil samples are deposited and agitated. Due to the difference in densities of organic and inorganic remains the light fractions will float, the heavy fractions will sink and the silt fraction will be washed away. The resulting floating material (flot) is collected in sieves of 0.3mm and 1mm, the non-floating residue (retent) is wet-sieved through a 1 mm mesh.

All flots and retents are air dried, bagged and labelled accordingly. Throughout this process all equipment is kept clean to prevent contamination of the samples. For each sample, a Sieving Assessment sheet is completed. This gives basic information about the sample, retent and flot. Prior to flotation and wet-sieving, the volume of each sample is measured by means of a graduated bucket.

If in a sample a high concentration of clay can be observed and therefore separation of the different fractions of the soil is difficult, an aqueous solution of defloculant 'Calgon' is added and the sample is left to soak overnight, before processing by flotation and wet-sieving.

Sample flotation will be carried out on site and/or at the premises of the archaeological contractor.

24.2 *Sample Wet sieving*

Sample wet sieving, also a water recovery technique, is carried out in laboratory conditions and is designed to recover waterlogged material. For the recovery of waterlogged botanical material, small soil samples (0.5 to 1.0 litre) are processed through a 0.3 mm sieve. The sediment is placed in a bucket with water and agitated before being washed through the 0.3 mm sieve. This process is repeated until the sample is totally disaggregated. The resulting material is stored in water or ethanol depending on the length of the storage period. Sample wet sieving can also be used to recover larger waterlogged material such as leather and wood in which case larger volumes of soil are processed.

24.3 *Sample Dry sieving*

Sample dry sieving is carried out to retrieve smaller artefacts that might be missed during normal excavation procedure, eg. small sherds of pottery and bone. Done in laboratory conditions, all samples are air dried in the first instance. Done in the

field, the samples are processed with the sample in a field-moist state. In both cases the sample is passed through a 4 mm mesh and any items of interest are recovered and recorded.

24.4 *Residue sorting*

All residue (retent) sorting is carried out in laboratory conditions, and is designed to recover not only material that might be missed during normal excavation procedure (see dry sample sieving), but also material that would be impossible to recover during normal excavation procedure eg. charred and uncharred plant remains, insect remains and small fragments of charcoal.

The volume of the residue is recorded and then passed through a set of sieves (mesh sizes 8 mm, 4 mm, 2 mm and 1 mm). Each fraction is spread out onto a separate tray, is scanned with the naked eye and all items of interest are recovered. Under normal circumstances all identifiable material from all fractions is recovered. The only exception to this is burnt wood (charcoal) which is only retrieved from the > 4 mm fractions. All material recovered is bagged individually by material type and the material types and weights recorded on the Retent Sorting Sheet. Also recorded on this sheet are the project number, context number, area, sample number, the sorters initials, date, sample volume, retent volume and percent of the retent sorted. Under normal circumstances 100 % of all fractions are sorted. In those instances where this is not the case, this will be recorded. Where no material is recovered from a retent, the Retent Sorting Sheet will be filled out as usual, with the word sterile written across it.

24.5 *Flot sorting*

All flot sorting is carried out in laboratory conditions. The volume of each flot is measured. The flots are sorted by means of a low powered binocular microscope. The macro plant remains and other archaeological or ecological material are extracted from the flots and put into gelatine capsules or glass tubes. An estimate of the number of items recovered and the species represented are recorded. The charcoal larger than 4mm is extracted from the flots and weighed. All extracted items are bagged and labelled accordingly.

24.6 *Routine Soils Analysis*

All the samples taken on-site will have a routine partner. Four standard routine soil tests will be carried out by the archaeological contractor. These are pH analysis, Loss on Ignition, Calcium Carbonate content and Easily available phosphate content.

The pH value is the measure of the acidity (H+) or alkalinity (OH+) of the sample. Dissolving a portion of the soil in distilled water, then measuring the sample using pH meter carries this out. This is to allow us to estimate the potential for preservation within the sediment.

Loss on Ignition is the measure organic content of the sample. This is measured by burning a small amount of the sediment in a furnace at 400°C for four hours. By measuring the weight before and after burning the organic content can be calculated. The organic content allows us to examine whether manuring or treatment of the natural soil has taken place.

Calcium Carbonate content can be measured by dissolving a few grains of the sample using Hydrochloric acid. If calcium carbonate is present then a small amount of Carbon Dioxide is given off, the greater the amount of CO₂ released the greater the amount of CaCO₂. The Calcium Carbonate content shows us if there is any natural calcium carbonate within the sediment, or if not, any mortar or shell has been included artificially.

The amount of phosphate within a sample is examined at the same time as CaCO₂. After the CO₂ has been released Ascorbic acid is applied, if Phosphate is present a colour change will occur. The phosphate content may show the presence of animals or to a lesser degree indicate where animals were kept.

24.7 *Soil Micromorphological Analysis*

Micromorphology is the study of undisturbed soils and loose sediments and other materials at a microscopic scale. A 25-30 micron thick slice of soil or sediment is mounted on glass and studied using a petrographic microscope. The samples are prepared for thin section analyses at the Department of Environmental Science, University of Stirling using the methods outlined by Murphy (1986). The samples are analysed using the descriptive terminology of Bullock *et al* (1985) and FitzPatrick (1993).

Bullock, P., Fedoroff, N., Jongerius, A., Stoops, G., Tursina, T. & Babel, U.1985 *Handbook for soil thin section description*. Wolverhampton: Waine research Publications.

FitzPatrick, E.A.1993. *Soil microscopy and micromorphology*. Chichester: James Wiley & Sons.

Murphy, C. P. 1986. *Thin section preparation of soils and sediments*. Berkhamsted: AB Academic Press.

24.8 *Charcoal ID*

Only charcoal retrieved from the 4mm sieve (see Sieving and Sorting procedures) is used for species identification, mainly because fragments below that threshold are too small to identify. If there is no charcoal larger than 4mm present then attempts will be made to identify the largest fragments present for the purpose of C14 samples.

Surfaces are prepared for identification by using a surgical blade to prise off flakes of charcoal revealing fresh surfaces on which diagnostic features can be identified. The charcoal fragment is bedded in sand for examination under a reflected-light microscope.

On average, up to 10 fragments of charcoal are identified per bulk sample. If a single species is present then identification can stop at 5 fragments. However, if a great variety of species is present, ie more than four, then identification should continue until the analyst is happy that a representative sample has been examined. Unusual or exotic species should be bagged and labelled separately within the bulk sample.

Other variables, such as whether the fragment is young roundwood, with sub-bark surfaces intact, whether it has come from a large piece of wood and whether it is fast or slow grown, should be noted.

Species identification is undertaken with reference to Schweingruber's (1982)

24.9 *Wood ID*

Waterlogged wood; Surfaces on waterlogged wood are prepared for identification by using a cut-throat razor or a double-sided razor blade to pare off thin-sections which are cell-thick and transparent so that diagnostic features can be identified. It is consequently difficult to identify fragments of waterlogged wood smaller than 10 mm². The thin-sections are temporarily mounted in water on slides for examination under a transmitted-light microscope.

Sampling for identification is carried out on the same basis as that for charcoal. Species identification is undertaken with reference to Schweingruber's (1982) *Microscopic Wood Anatomy* and the in-house reference collection of the archaeological contractor.

24.10 *Non-charcoal charred plant macrofossil analysis and Waterlogged plant analysis*

Analysis of the charred plant macrofossils and waterlogged plants involves identification, quantification and interpretation. Identification of the macro plant remains is done using a low power binocular microscope with x10 and x40 magnifications. The modern reference collection of the archaeological contractor and various seed atlases (Beijerinck 1947, Berggren 1969 & 1981 and Anderberg 1994) will be used to ease identification. The botanical nomenclature follows Flora Europaea (Tutin *et al* 1964-1981). A standardised counting method is used for quantification. Habitat information for the plant species will be taken from Hanf (1983).

24.11 *Dendrochronological analysis*

Sample size and species type; Three conditions are necessary to ensure the successful dating of a building or archaeological site. The timber must be a species for which there are already dated chronologies which in the UK usually means oak. Cross-matching is a statistical process, and therefore a number of timbers are required, usually at least 8 per building or phase. Finally, and for the same reasons the ring-patterns must be over a certain length, usually 70 rings. With these conditions observed it can be relatively straightforward to obtain a date for a building.

On-site sampling; *In situ* timbers in a standing building are usually sampled using a corer, which is attached to a power-driven drill and removes a core leaving a hole in the timber 10 mm in diameter. The core must be taken so that the maximum radius from pith to bark is sampled, thus ensuring the maximum number of growth-rings for analysis. It is also important to select those timbers which have retained as full a ring sequence as possible, ie those where the outermost rings have not been trimmed off or destroyed by woodworm.

Coring is an intrusive method of sampling and it is occasionally impossible to use this method, as in the case of painting ceilings and carved panels. If the end-grain is exposed the ring sequence can be measured *in situ* using a hand lens. Silicone rubber casts can also be taken.

If structural timbers have been removed during the renovation of a building then slices, approximately 50 mm thick can be sampled by saw, usually a chainsaw, from a point along the timber where the maximum radius survives.

Timbers only survive below ground in waterlogged conditions. Waterlogged timbers are sampled as above, by the removal of a 50 mm slice by sawing.

Sample preparation;

Cores are mounted in angle moulding and then the surface is prepared by paring with a Stanley knife followed by fine sanding with Wet & Dry sandpaper until the ring-pattern is clear and measurable.

Slices (dry); The surface of the slice is sanded, usually with a power sander, using progressively finer sandpaper until the ring-pattern is clear and measurable. It is often necessary to finish off the surface with W&D sandpaper.

Slices (wet); The slice is usually frozen for 24 hours and then the surface is planed flat using a Surform plane. This often achieves the necessary clarity of ring-pattern but where the wood is particularly hard it will be necessary to use a razor blade to pare the surface to achieve a clear ring-pattern.

Silicone rubber casts; These are fixed to battens of wood using silicone rubber, for ease of measurement.

Measurement and analysis; The samples are measured on a custom-made measuring table and the data logged onto the computer using DENDRO (Tyers 2000). Data graphing and statistical analysis are also carried out using the same package.

APPENDIX 25

Conservation

25.1 *Conservation principles*

The principles, ethical codes and techniques of conservation are under constant review by both practitioners and professional bodies. The archaeological contractor's approach to conservation will reflect current theory and practice, as recommended by the United Kingdom Institute for Conservation, the Scottish Museums Council, Resources for Museums and Galleries, the International Council on Museums and the International Institute for Conservation.

25.2 *Security*

The archaeological contractor will take all reasonable precautions to ensure the security of items brought in for conservation. The building will be protected by intruder detector systems; all conservation items will be kept in a secure locked store when not being worked on, and will not be left unattended. Particularly valuable items will be stored in a safe where required. A heat and smoke detection system will also be in operation 24 hours a day.

25.3 *Insurance*

Artefacts for conservation will not be covered by the contents insurance of the archaeological contractor. Insurance cover can be arranged for individual items and collections, but this is expensive. Clients are normally advised that the cheapest option is to extend their own insurance for these items for a fixed period. If required, the archaeological contractor could arrange additional insurance, and these costs would be passed on.

The archaeological contractor will have full professional indemnity cover for all its staff.

25.4 *Health and safety*

All relevant Health and Safety legislation, Regulations, Guidelines and Codes of Practice will be respected; Health and Safety plans will be compiled where Construction, Design and Management Regulations 1994 apply.

25.5 *Conservators and allied specialist services*

Professionalism: The conservators of the archaeological contractor will be graduates of approved conservation courses, and will have a thorough knowledge of current conservation practices in their particular specialist fields. The conservators will have been actively encouraged to broaden their skills and experience, and to obtain professional accreditation through the United Kingdom Institute for Conservation or PACR.

25.6 *Specialist post-excavation analyses*

Other services which the archaeological contractor will be able to offer are:

wood identification and woodworking analysis

tree ring dating

pollen analysis

building materials analysis

metal artefacts

metalworking and glass working debris

materials analysis

textile analysis

insects

fish and shells

bird bones

plant remains

bone identification

soils specialist/geologist

artefact specialist

fibre identification

leather identification

25.7 *Documentation*

Conservation complements the work of other professionals by preventing the deterioration of the artefact, and by ensuring that the wider community benefits from the additional information recovered about an artefact in the course of conservation work.

Conservation reports are normally supplied as a hard copy, but can also be supplied on disc in a variety of formats, according to the client's requirements. Reports are normally printed on paper with a guaranteed life expectancy of 150 years; photographic materials are processed to professional industry standards such as Q-Lab.

25.8 *Archival considerations*

The archaeological contractor will endeavour to ensure that the materials used to document artefacts undergoing treatment have a reasonable life span. Paper used will have an estimated lifetime of 150 years (HMSO specification), and all photographic films will be processed to industry standards by a processing company that specialises in high quality work for professional photographers. Radiography films and chemicals will be fresh and well within their expiry dates. All labelling of boxes etc. will be carried out with archival quality inks; labels will generally be duplicated for safety's sake.

Wherever possible, the archaeological contractor will consider the archiving requirements for the site, and may consult the receiving museum or archive about their requirements; the archaeological contractor will follow guidelines proposed by the Association of Museum Archaeologists.

The archaeological contractor will abide by current guidelines on the care and disposal of artefacts and human remains, as set out in:

The Disposal and Allocation of Finds

Publication and Archiving of Archaeological Projects

Treatment of Human Remains in Archaeology
Archaeological Project Design, Implementation and Archiving

- 25.9 *Museum of London Guidelines*
 Museum of London requirements for conservation, recording, documentation, packing and archiving will be applied where these are a pre-condition.
- 25.10 *Assessment and estimating*
 The assessment determines the condition of the artefact and the best means to ensure its survival. Radiography (x-raying) of the object is normally carried out at an early stage, and is compulsory for iron objects, which have poor survival prospects, and for some copper alloy artefacts.
 The estimate for the work normally applies for six months; it may be necessary to review it thereafter. Conservation rates are agreed by negotiation.
- 25.11 *Recording*
 Text and image records (paper, digital and/or film as appropriate) will be made of all artefacts before conservation commences. Any information recovered during cleaning and conservation (eg associated material, residues, corrosion products, manufacturing techniques) will be carefully recorded, with samples taken where necessary. Soil removed from an artefact during the process will normally be retained and returned with the object, unless the excavator and/or client decides that it is not required. Where necessary, experts will be consulted on the nature of any material discovered during cleaning or conservation of artefacts. All samples and slides will become part of the site archive and remain with the artefact.
 The conservation report will also include recommendations for the care and curation of the assemblage; special finds with particular packing requirements will have clear handling and lifting instructions on the outside of any packaging.
- 25.12 *Conservation Record*
 The conservation assessment sets out the proposed treatments for each type of artefact or material: these treatments can be discussed with the client, and with the museum, to take into account any priorities and display requirements. (See Section 9, Assessment)
- 25.13 *Radiography*
 The archaeological contractor will x-ray all excavated iron objects, as well as some of the copper alloy, and any other items as requested by the excavator: information from the x-rays are incorporated into the conservation report. All metal artefacts can be x-rayed if required; only film and chemicals within their expiry date are used, washing periods are the optimum to maximise film preservation.
 X-rays normally become part of the archive, and are returned to the client, with full details of exposure time and voltages used.
- 25.14 *Record photography*
 All artefacts selected for conservation will be photographed (on colour slide film) at least once; usually before and after conservation, with a label and scale in the frame. Unusual artefacts, noteworthy features or modified conservation treatments will be photographed whenever appropriate.
 All images will be recorded in the conservation report, and each slide labelled with the context and find number. The archaeological contractor will use Professional grade film, and a professional developing service to ensure maximum film stability. The slides form part of the conservation archive, and will remain with the artefact.
- 25.15 *On-site conservation and conservation on call*
 A conservator can be available on site if required, and the conservators of the archaeological contractor can provide immediate advice over the phone at any time (specific arrangements must be made for out of hours working).
 Advice on packing, lifting and transporting artefacts may be given in the early stages of a project.
- 25.16 *Conservation treatments*
 The requirements of each artefact will be considered individually, and any remedial treatments carried out will use only recognised conservation treatments and approved materials. The archaeological contractor will be committed to CPD, which ensures that its conservation staff are fully cognisant with new developments in the field.
- 25.17 *Post-excavation storage*
 It is recognised that budgetary arrangements may mean considerable time can elapse between excavation and conservation or Finds Disposal. All finds will be examined by a conservator on receipt; packing and storage materials will be renewed as necessary, and the archaeological contractor will ensure that all finds will be kept in a secure, stable environment until conservation treatments begin. Any finds that require immediate treatment will undergo conservation as soon as the conservators have consulted the Project Field Officer. Large volume storage at 1^o C and -20^o C; and storage for waterlogged material will be available in-house.
- 25.18 *Packing*
 All artefacts will be packed in suitable inert materials, with silica gel if required. Fragile objects will be supported by Ethafoam, or similar, and lifting and handling instructions on the container. Especial care will be taken for artefacts, which will be going into long term storage. All containers will be carefully labelled, and box lists supplied.

Archiving and finds disposal26.1 *Finds disposal*

All artefacts and ecofacts recovered during an excavation sponsored by Historic Scotland (HS) are reported directly to HS via their own collections registrar. If all material has been fully analysed at this point, it is in most cases, transferred to an HS store. HS's Finds Disposal Panel (FDP) with permission of the Queen and Lord Treasurers Remembrancer (Q<R) then allocates the material to the appropriate museum for long term storage and possible display.

Artefacts and ecofacts recovered from excavations sponsored by other funding bodies are reported to the Crown via the Treasure Trove Advisory Panel (TTAP). The TTAP with permission of the Q<R then allocates the material to the appropriate museum for long term storage and possible display. Once the material has been allocated, it is then the museum's responsibility to arrange collection from the archaeological contractor.

26.2 *Archiving*

All archiving will be undertaken according to standards and guidelines set out by the National Monuments Record of Scotland (NMRS), located at the Royal Commission on the Ancient and Historical Monuments of Scotland (RCAHMS). The archives of all archaeological works will be deposited to the NMRS.

APPENDIX 27**Publications**27.1 *General*

All publications by the archaeological contractor will be clear, correct and concise accounts of what was done and will reach standards acceptable to the archaeological profession. Final reports will be published within five years of the end of fieldwork. Publications should be published in popular archaeological, general and specialist formats to inform a wide readership of what work was done and must be made available to both lay and professional audiences for the foreseeable future. Publications must also provide good value for money in terms of the content and style of the publications. In DES entries and journal publications the role of the client will be fully acknowledged. In the popular publications and monographs suggested below the role of the client will be more fully promoted, with the display of the client's logo on the cover and a foreword by their representative. The over-riding aim of the procedures outlined in this section is to ensure that, during the duration of the project, a continuous stream of information about the archaeological works is made available for peer review and public consumption. The following stages and publication vehicles are envisaged.

27.2 *DES entries*

After the completion of each piece of on-site work, whether it be a watching brief, evaluation, set-piece excavation or building recording exercise a Data Structure Report (DSR) will be produced (see Fieldwork procedures). These are not reports intended for publication but they usually include a short summary which will be submitted for publication in *Discovery and Excavation Scotland* (DES), an annual summary of fieldwork published by the Council for Scottish Archaeology. It is proposed that an individual entry for each piece of on-site work will not be submitted; rather a single entry summarising all the works carried out in any one year will be compiled by the Project Manager. The DES summary is a standard requirement of planning authority archaeologists and ensures that notice of ground-breaking works is disseminated throughout the archaeological community.

27.3 *Journal publications*

Reports on the results of excavations are normally published either as an article in an academic journal or as a monograph in an appropriate series, depending on the scale of the results. The results of the set-piece excavations will be published as journal articles with reference to other on-site works such as watching briefs and building recording, where appropriate. The publication of these articles will follow on timeously from the completion of post-excavation works.

27.4 *Monograph publications*

The results of all the on-site works will be drawn together in a single volume, a monograph designed primarily for academic consumption. This will be published within 5 years of the completion of on-site works.

27.5 *Popular publications*

The results of all the on-site works will also be drawn together in 'popular' publications that augment the academic publications in making the results available to a wider public. This is a method of providing 'community gain' to the local and national community in return for its consent, through the planning process, to alter or demolish elements of the archaeological heritage. Popular publications may include, as deemed appropriate by the client, Internet reports within the web site of the archaeological contractor, printed colour booklets, leaflets, on-site interpretative panels and exhibitions.

27.6 *Editorial procedures*

The archaeological contractor will apply their in-house editorial policy and procedures, through which any projects nominated for publication are normally submitted.

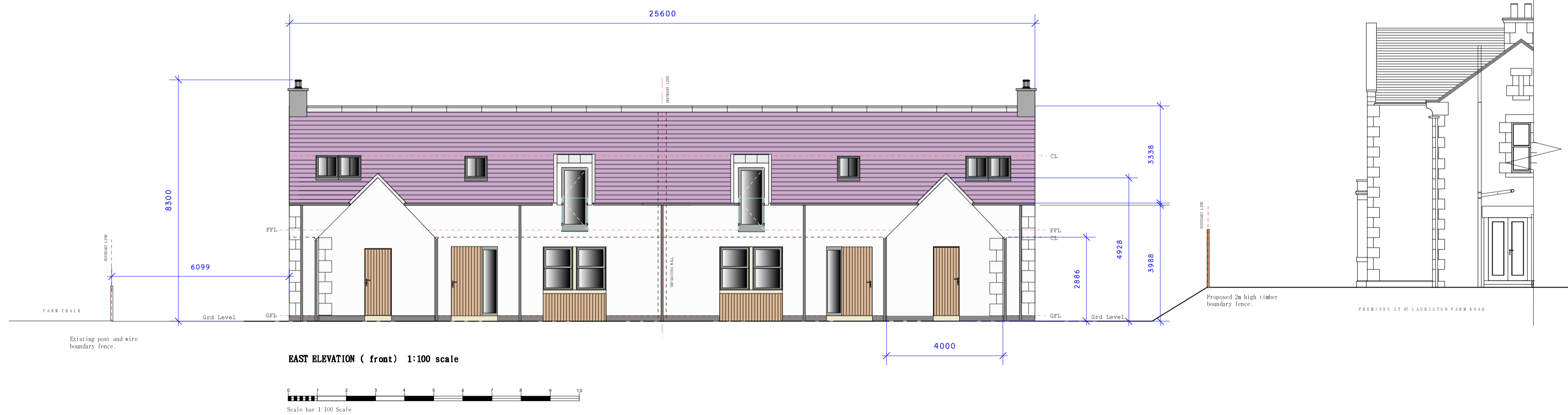
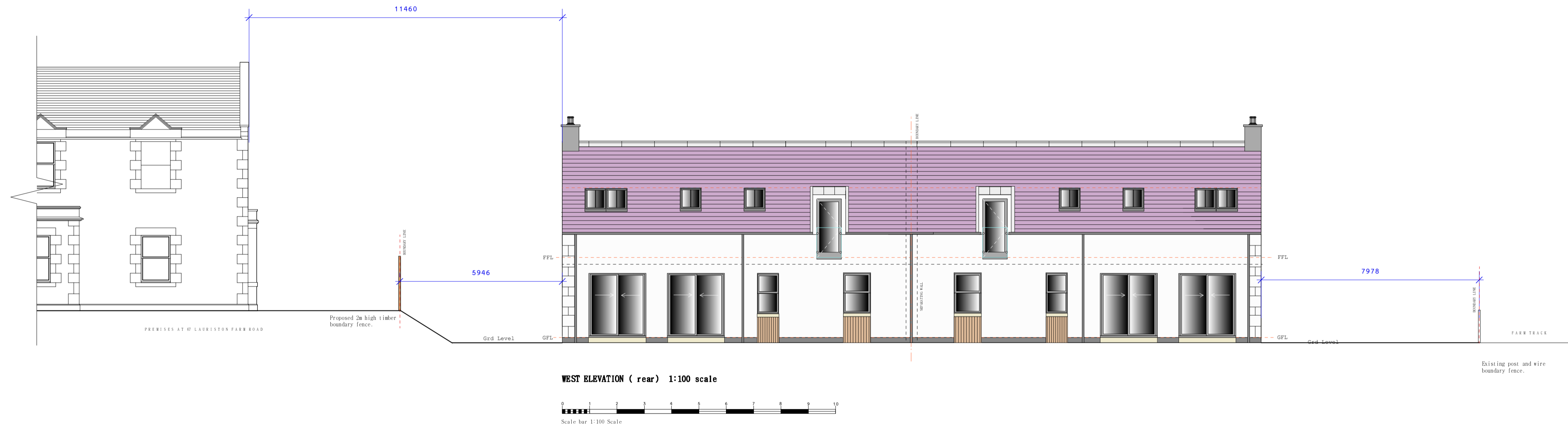


AOC Archaeology Group, Edgefield Industrial Estate, Edgefield Road, Loanhead EH20 9SY
tel: 0131 440 3593 | fax: 0131 440 3422 | e-mail: edinburgh@aocarchaeology.com

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Page 27/3



GENERAL NOTES AND SPECIFICATIONS

Proposed Construction Materials Specification

Roof Construction

It is proposed that the roof plane will be of natural slates.

The ridge pieces, watergates, valleys, dormer fascias and dormer checks will be of zinc.

Code 5 lead flashings will be used at the junction of the roof plane and proposed chimneys.

The flat roof sections of the dormer windows will be of a single ply 'Sarnafil' membrane.

All rainwater goods ie gutters and downpipes will be black painted cast iron.

Conservation model 'Velux' roof window units to be installed within the natural slate roof plane.

External wall construction

The external wall constructions will be timber framed construction with external leafs of natural stonework and concrete blockwork finished with a cementitious render of an off white colour to the satisfaction of the Planning Department.

The North and South elevations will be constructed from an external leaf of natural stone, in an ashlar coursing.

Quoin stones will be provided to the corners of the North and South elevations.

Window and sliding door units

All sash and casement windows and sliding door units will be of high performance specification hardwood construction and be fitted with double and triple glazed window units.

A vertical tongued and grooved larch cladding is proposed below the line of the window cills to the East and West elevations and as indicated on the North and South sectional elevations.

Access driveway/car parking area

The proposed access driveway serving the dwellinghouses will be 3.5 m wide and will be formed in compliance with current SuDs requirements in that it will be of a permeable construction. The materials used will match that of the existing driveway associated with the former farmhouse.

Pathways and Patio areas

All pathways and patio areas associated with the proposals will be of natural stone paviors. the entrance path to the premises will also be of natural stone paviors.

Boundary fencing

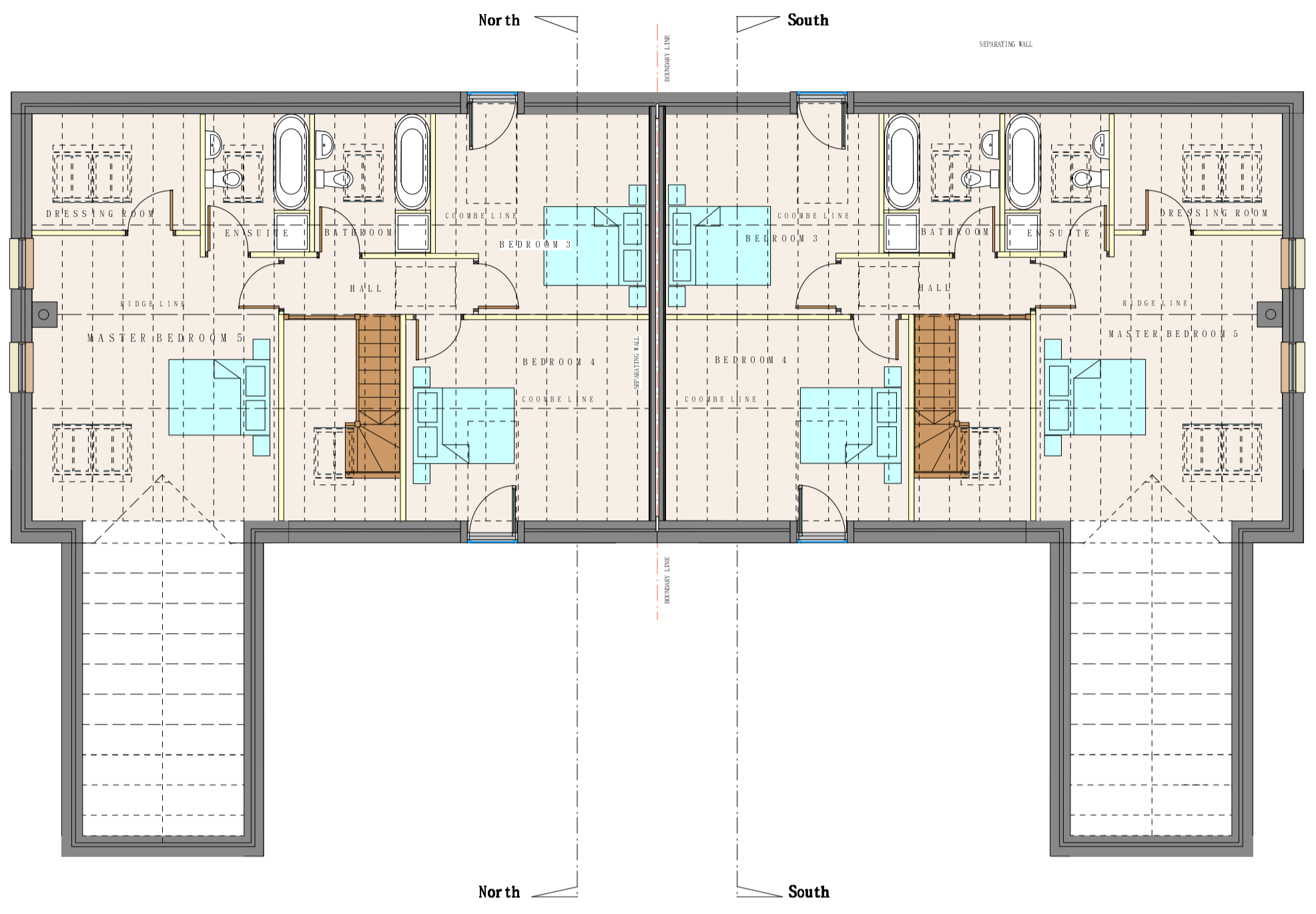
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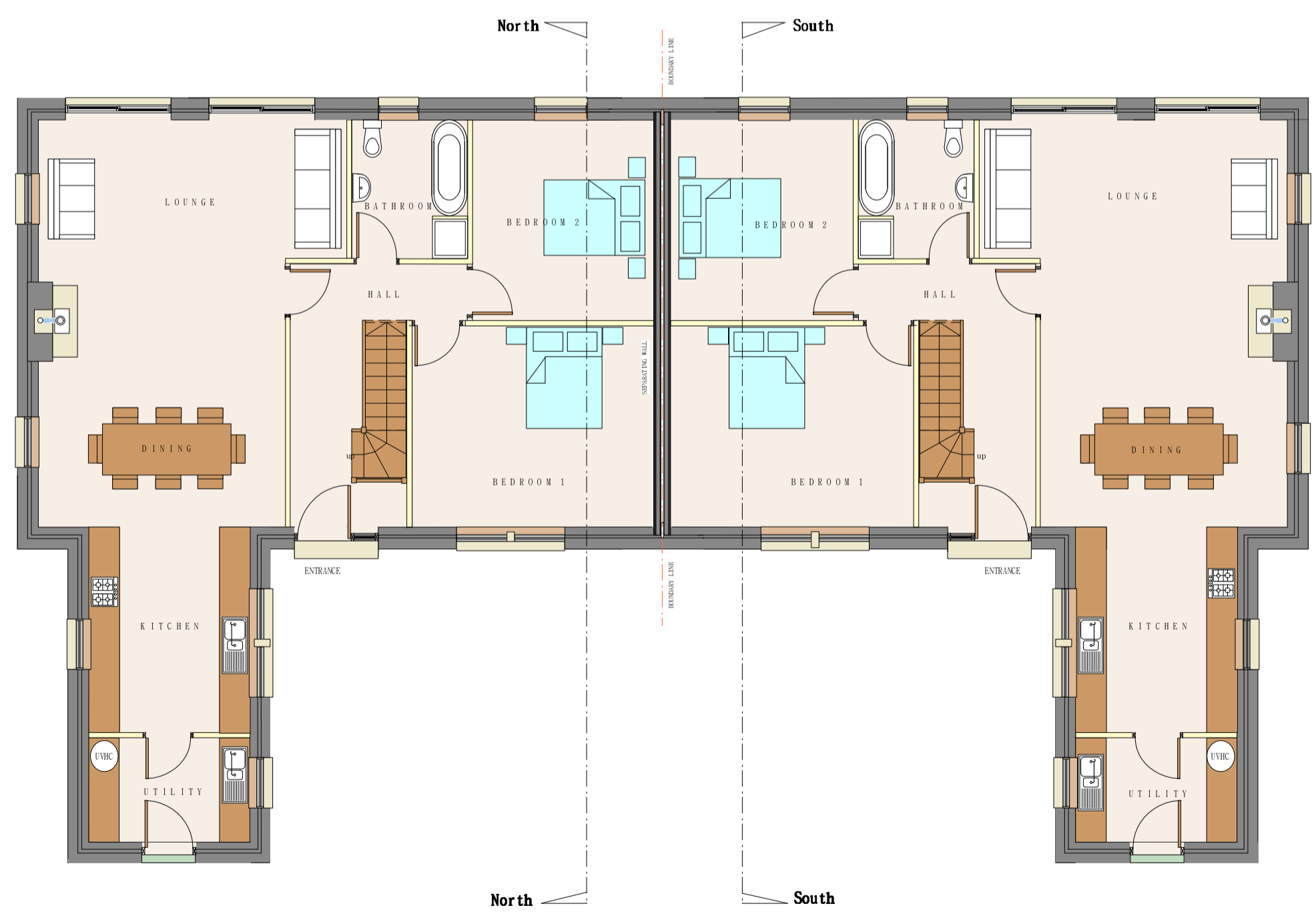
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The existing stone wall to the Eastern boundary will remain unaffected by the proposals.

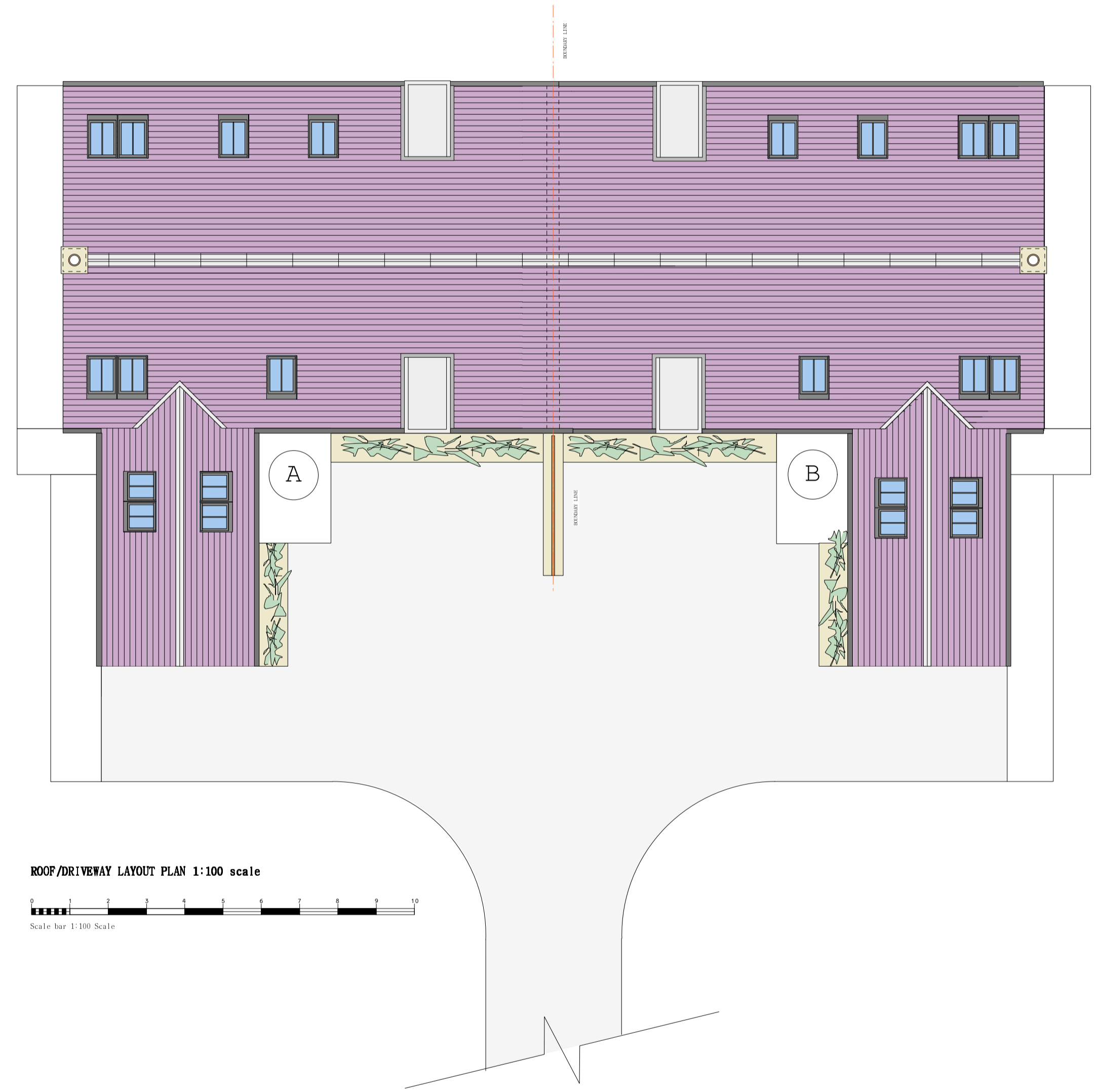
No.	Date	Revisions / Submissions
2	20.01.19	Applicant details revised
1	01.01.19	Construction material specification added to application drawings at behest of Planning Department
Applicant		
Development Direct Scotland Ltd		
Project Address		
67 Lauriston Farm Road Edinburgh EH4 5EX		
Drawing Title		
Planning Application proposal EAST & WEST Elevation drawings		
Project		
Proposal to erect 2 No Steading type semi-detached dwellinghouses.		
Scale		
1:100 @ A1		
Drawing No.		
Drawing No 2		
Date		
November 2018		



FIRST FLOOR LAYOUT PLAN 1:100 scale
Scale bar 1:100 Scale



GROUND FLOOR LAYOUT PLAN 1:100 scale
Scale bar 1:100 Scale



ROOF/DRIVEWAY LAYOUT PLAN 1:100 scale
Scale bar 1:100 Scale

GENERAL NOTES AND SPECIFICATIONS

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Applicant
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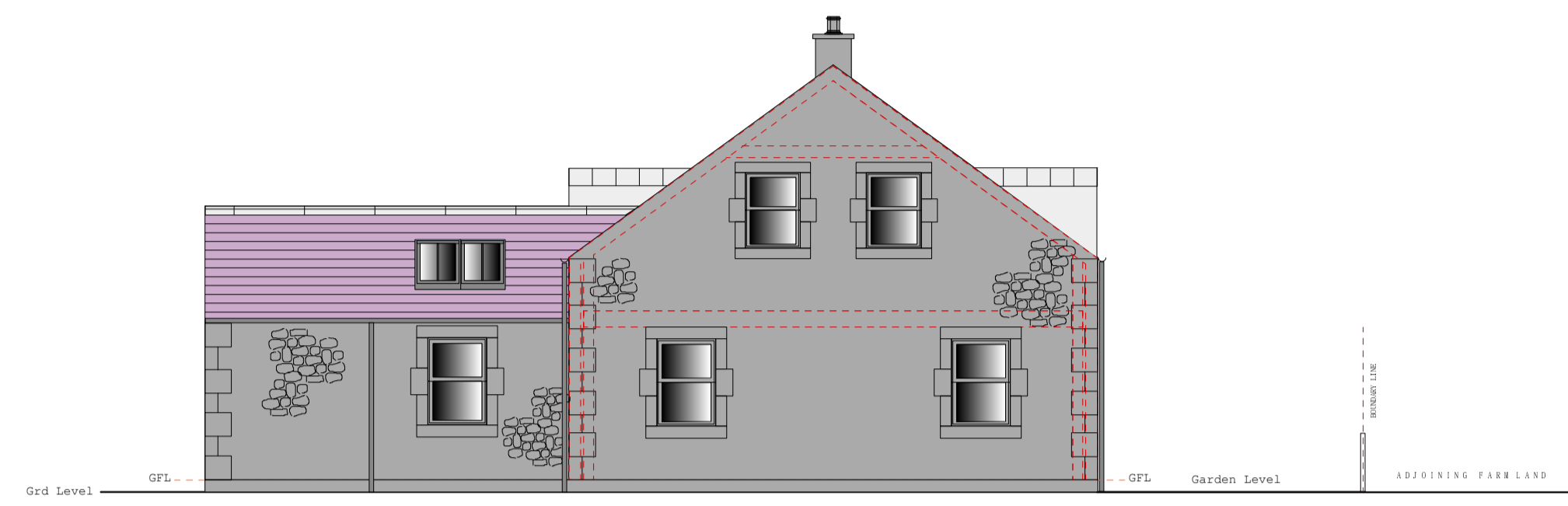
Project Address
67 Lauriston Farm Road
Edinburgh
EH4 6EX

Drawing Title
Planning Proposal GF & 1F
Layouts and Roof Plan

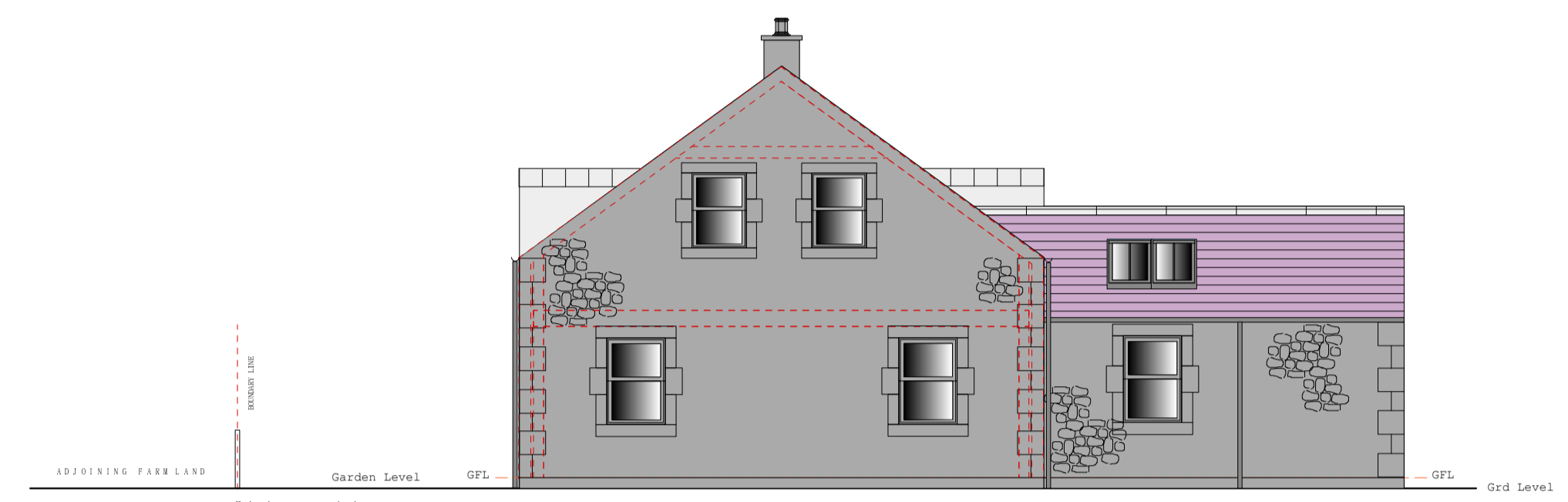
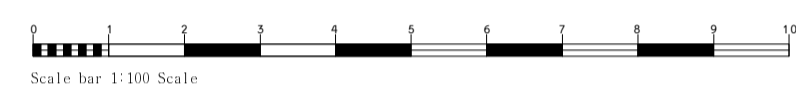
Project Proposal to erect 2 No Steading type semi-detached dwellinghouses.
Scale 1:100 @ A1

Drawing No.
Drawing No 1

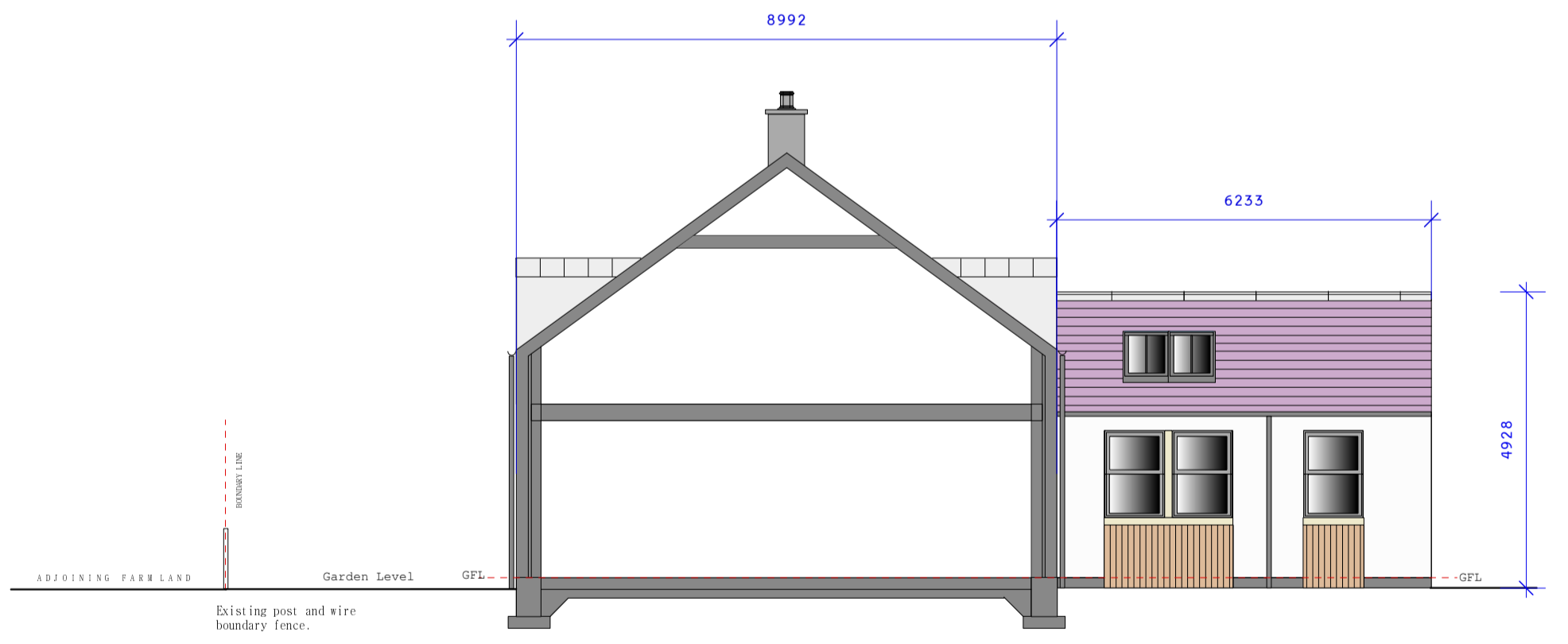
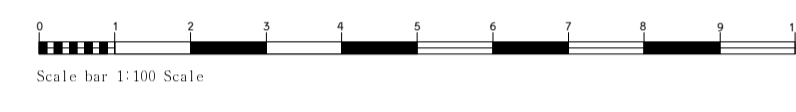
Date
November 2018



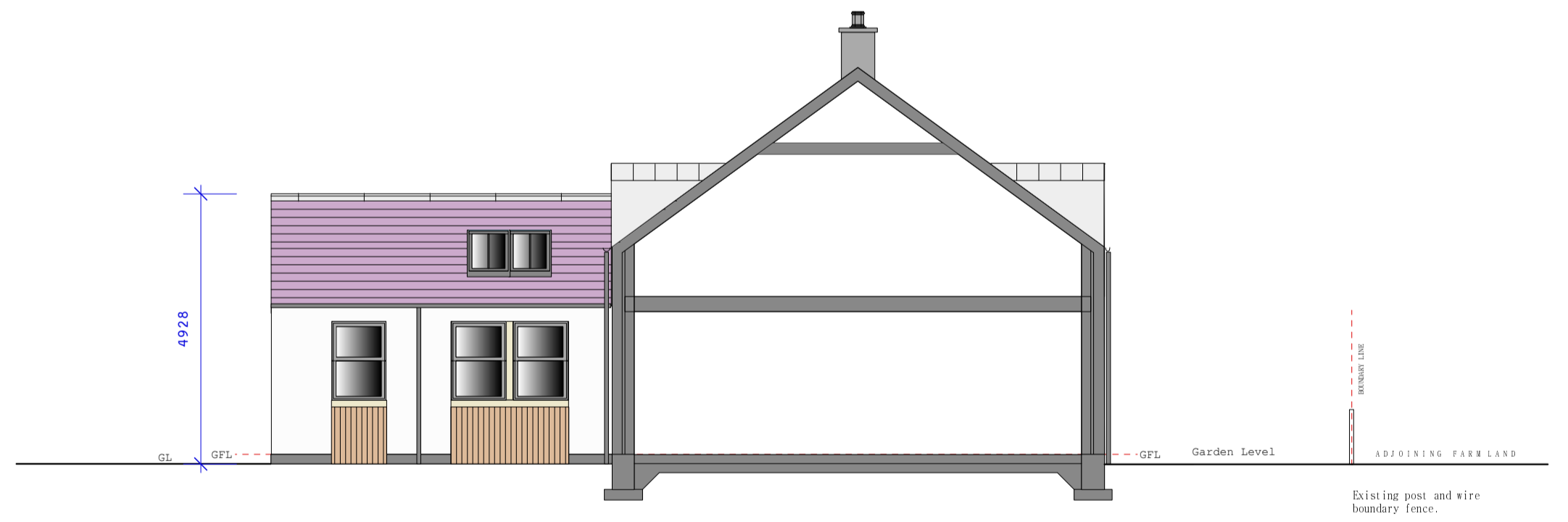
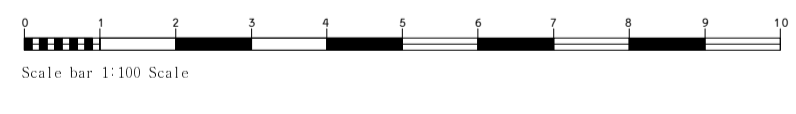
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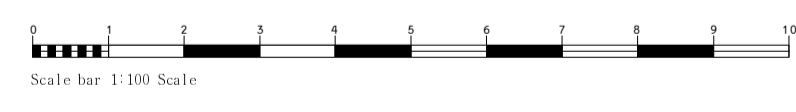
SOUTH ELEVATION 1:100 scale



SECTIONAL ELEVATION SOUTH 1:100 scale



SECTIONAL ELEVATION NORTH 1:100 scale



GENERAL NOTES AND SPECIFICATIONS

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1	01.01.19	Construction material specification added to application drawings at behest of Planning Department

Applicant
Development Direct Scotland Ltd

Project Address
67 Lauriston Farm Road
Edinburgh
EH4 5EX

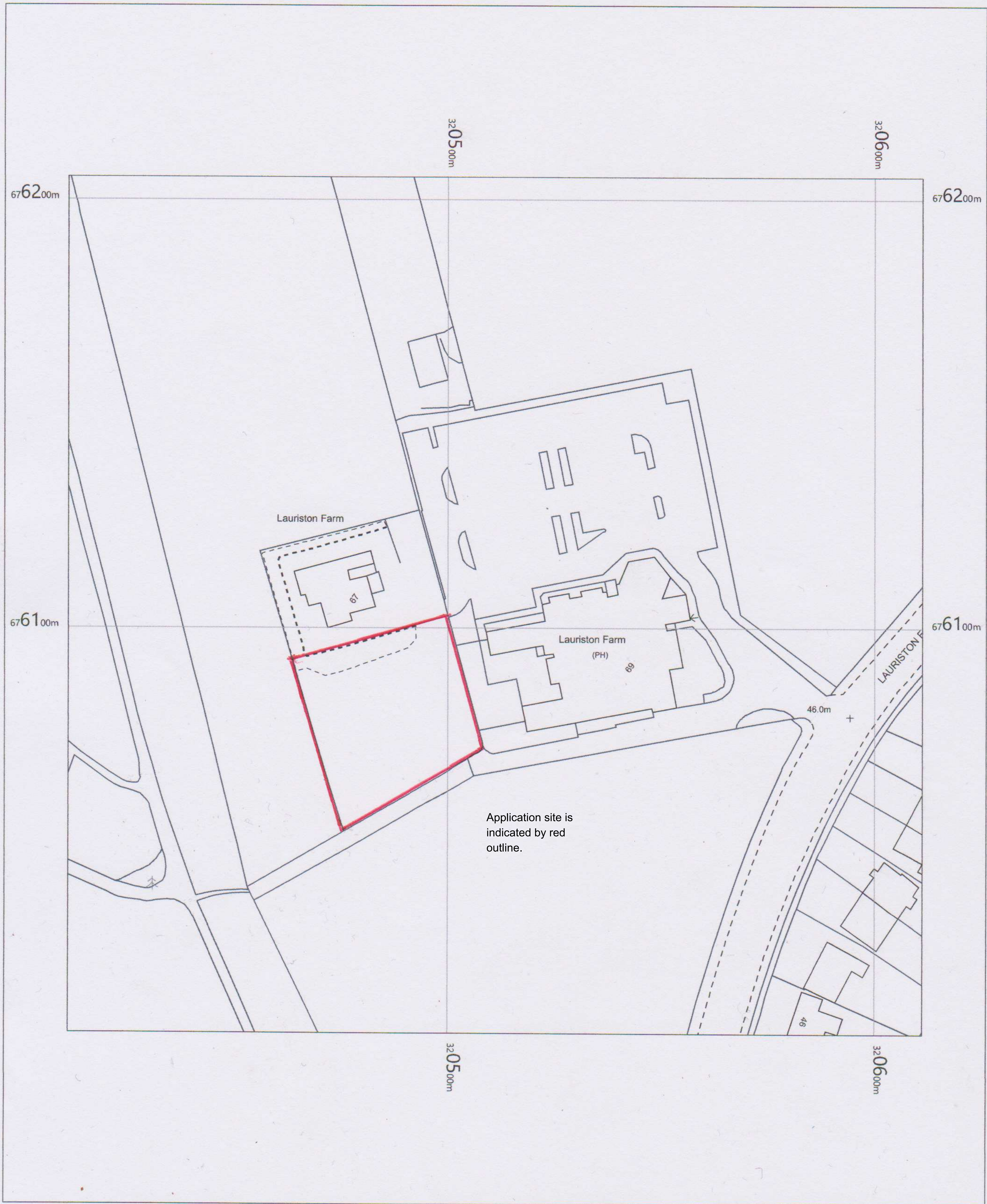
Drawing Title
Planning Application proposal
North & South Elevation drawings
and Sectional Elevations North & South

Project
Proposal to erect 2 No Steading type
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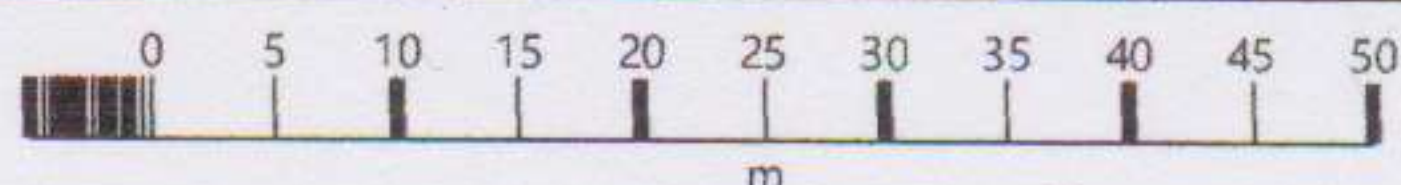
Scale
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Drawing No.
Drawing No 3

Date
November 2018



Application site is indicated by red outline.

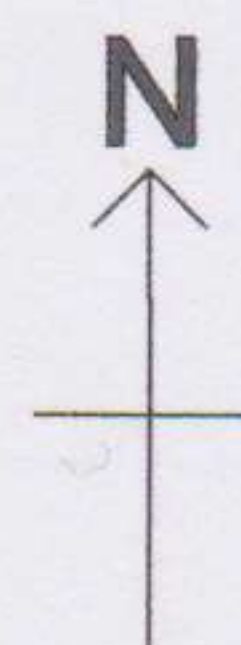


67 Lauriston Farm Road Edinburgh
EH4 5EX

OS MasterMap 1250/2500/10000 scale
Tuesday, November 27, 2018, ID: M4P-00759833
www.nicolsondigital.com

1:1250 scale print at A4, Centre: 320511 E, 676105 N

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Actualultra LTD
 FAO: Mrs Margot Leslie
 Actualultra Ltd
 184-186A Queensferry Road
 Edinburgh
 United Kingdom
 EH4 2BW

Decision date: 11 March 2019

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACTS
 DEVELOPMENT MANAGEMENT PROCEDURE (SCOTLAND) REGULATIONS 2013**

Garage extension to industrial premises for vehicle and goods storage.
 At 184 - 186 Queensferry Road Edinburgh EH4 2BW

Application No: 19/00541/FUL

DECISION NOTICE

With reference to your application for Planning Permission registered on 13 February 2019, this has been decided by **Local Delegated Decision**. The Council in exercise of its powers under the Town and Country Planning (Scotland) Acts and regulations, now determines the application as **Refused** in accordance with the particulars given in the application.

Any condition(s) attached to this consent, with reasons for imposing them, or reasons for refusal, are shown below;

Conditions:-

Reasons:-

1. The proposal is contrary to the Local Development Plan Policy Des 1 in respect of Design Quality and Context, as the scale and design are wholly inappropriate to the street.
2. The proposal is contrary to the Local Development Plan Policy Des 4 in respect of Development Design - Impact on Setting, as the scale and design of the proposal are inappropriate to the streetscape and setting of adjacent houses.
3. The proposal is contrary to the Local Development Plan Policy Des 5 in respect of Development Design - Amenity, as there would be a loss of visual amenity in terms of outlook to neighbouring houses and flats.

4. The proposal is contrary to the Local Development Plan Policy Des 5 in respect of Development Design - Amenity, as the scale and form will fully overshadow the adjacent garden ground to the east.

Please see the guidance notes on our [decision page](#) for further information, including how to appeal or review your decision.

Drawings , represent the determined scheme. Full details of the application can be found on the [Planning and Building Standards Online Services](#)

The reason why the Council made this decision is as follows:

The proposed form and location are alien to the existing streetscape and inappropriately located, contrary to LDP policies Des 1 and Des 4. The impact of the building on neighbouring outlook and on the amenity of the adjacent garden ground, is contrary to policy Des 5.

This determination does not carry with it any necessary consent or approval for the proposed development under other statutory enactments.

Should you have a specific enquiry regarding this decision please contact Stephen Dickson directly on 0131 529 3529.

D R Leech

Chief Planning Officer
PLACE
The City of Edinburgh Council

NOTES

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months beginning with the date of this notice. The Notice of Review can be made online at www.eplanning.scot or forms can be downloaded from that website. Paper forms should be addressed to the City of Edinburgh Planning Local Review Body, G.2, Waverley Court, 4 East Market Street, Edinburgh, EH8 8BG. For enquiries about the Local Review Body, please email localreviewbody@edinburgh.gov.uk.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

;;

Report of Handling

Application for Planning Permission 19/00541/FUL At 184 - 186 Queensferry Road, Edinburgh, EH4 2BW Garage extension to industrial premises for vehicle and goods storage.

Item	Local Delegated Decision
Application number	19/00541/FUL
Wards	B05 - Inverleith

Summary

The proposed form and location are alien to the existing streetscape and inappropriately located, contrary to LDP policies Des 1 and Des 4. The impact of the building on neighbouring outlook and on the amenity of the adjacent garden ground, is contrary to policy Des 5.

Links

Policies and guidance for this application	LDPP, LDES01, LDES04, LDES05, LDES12,
--	---------------------------------------

Report of handling

Recommendations

1.1 It is recommended that this application be Refused for the reasons below.

Background

2.1 Site description

Although addressed as Queensferry Road the site is an area of land attaching Maidenraig Crescent.

The existing premises is a commercial workshop and office, with a commercial frontage onto Queensferry Road, the latter occupying the ground floor of a three storey block (with flats on upper floors). The premises sits at the junction of Queensferry Road with Maidenraig Crescent. The rear yard and workshop are accessed from the crescent. The flats over the commercial frontage view northwards over the existing flat roof of the workshop.

Maidenraig Crescent is a twisting and rising road of primarily residential character. Houses on the opposite side of the road are bungalows, set above road level on sloping ground. To the east there is a distinctive seven storey block of flats accessed from the crescent and with its garage block backing onto the application site. This block sits gable end onto Queensferry Road, with only a set of pedestrian steps linking to the main road.

Land to the immediate east of the site is garden ground, serving the flats on Queensferry Road.

Ground levels are complicated but generally rise from west to east.

2.2 Site History

29.2.2012 - planning permission granted for same area of ground for change of use from detached garden area to an extension to existing service yard (12/00212/FUL)

Main report

3.1 Description Of The Proposal

The application proposes a large extension on the north side of the existing premises, in the form of an industrial shed. This rises (on a portal frame) to 9.75m above ground level (roughly 4m higher than the existing premises). It has a vehicle entrance 4.5m wide on the front and a small pedestrian entrance to the rear. It is clad in proprietary metal cladding.

The submitted drawings may be described as somewhat "diagrammatic" as they fail to show any boundary treatment and also illustrate the site as 100% flat. It is unclear if the existing boundary stone wall is retained or not.

Site area is stated at 177sqm, which is the area of the extension, rather than the full existing operational site i.e. the red line boundary only includes the proposed extension

3.2 Determining Issues

Section 25 of the Town and Country Planning (Scotland) Act 1997 states - Where, in making any determination under the planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material considerations indicate otherwise.

Do the proposals comply with the development plan?

If the proposals do comply with the development plan, are there any compelling reasons for not approving them?

If the proposals do not comply with the development plan, are there any compelling reasons for approving them?

3.3 Assessment

To address these determining issues, it needs to be considered whether:

- a) the proposed scale, form and design are appropriate to the area
- b) the proposal impacts upon residential amenity
- c) the proposal impacts on privacy or daylight
- d) comments are addressed

a) LDP policies Des 1 and Des 4 consider the appropriateness of a form and design to its location.

Whilst the existing workshop is in a different character than the wider area, it is of long-standing, and is part of the existing streetscape.

A further commercial shed stands on the opposite side of Maidencraig Crescent, to the west, but this is well-screened by landscape.

Whilst there is no strong "building line" on this side of the crescent, it is noted that the overall atmosphere of the crescent is suburban, and is characterised by front garden areas between buildings and the street. Unlike the main road to the south, where buildings stand on the heel of the pavement, building to the heel of the pavement is not appropriate on this side street, and is contrary to the existing suburban character. The location of the building is therefore unacceptable in principle.

The appearance is worsened by the choice of materials, but, even if built in materials matching the existing workshop, the form and design are inappropriate, contrary to Des 1 and Des 4.

The proposal fails to comply with policy Des 12 on Alterations and Extensions, in that the proposed built form and materials bear no relationship to the existing building to be extended. However, this is not cited as a further reason for refusal as it is the principle rather than the design which is in question. Building an extension which exactly matched the existing building, whilst being an improvement, would not address the core issues.

b) LDP policy Des 5 considers impact on neighbouring amenity, this includes "immediate outlook".

The first floor flats (above the existing shop element) already have a limited outlook to the rear, over the flat roof of the existing workshop. They do, at least, currently view into the front gardens of the houses on Maidencraig Crescent. This outlook would be completely lost due to the height of the proposal, and they would instead look into a wall of aluminium cladding. This change in outlook would be unacceptable and contrary to policy.

Equally, the bungalows opposite (1, 3 and 5 Maidencraig Crescent) although on a raised area of ground, would suffer a clear loss of outlook were this large shed to be introduced to the streetscape.

The proposal is therefore contrary to policy Des 5.

c) LDP policy Des 5 and the Edinburgh Design Guidance also consider loss of privacy and daylight.

The proposal has no windows and privacy issues do not arise.

In relation to daylight all surrounding residential windows would retain sufficient daylight in policy terms.

Impact on the detached garden ground to the immediate east (serving the flats above the shops) is considerable. A 10m high structure, at most 1m from the boundary, would wholly remove all meaningful sunlight and daylight from this garden area, and would certainly remove almost all of its amenity value. This relationship is unacceptable and contrary to both policy and guidance.

d) Reasons for objection are addressed above.

There is no change of use of the site and policy Hou 7, Inappropriate Uses in Residential Areas, is not applicable.

Impact on utilities is a legal rather than a planning concern.

Removal of trees on the site (when changed from garden ground to service yard) is a historic event and not part of the current assessment.

Sight lines for vehicles leaving the existing service yard would be compromised by the proposal but as the principle of the proposal is resisted this is not assessed in detail.

Conclusion

The principle of building an extension in this area is unacceptable, as it creates a building in a position alien to the established street pattern. This is further worsened by the scale and design of the proposal. The proposal would have an unacceptable impact on the outlook of residential neighbours. The proposal would cause an almost total loss of amenity in the garden area to the east.

It is recommended that this application be Refused for the reasons below.

3.4 Conditions/reasons/informatives

Reasons:-

1. The proposal is contrary to the Local Development Plan Policy Des 1 in respect of Design Quality and Context, as the scale and design are wholly inappropriate to the street.
2. The proposal is contrary to the Local Development Plan Policy Des 4 in respect of Development Design - Impact on Setting, as the scale and design of the proposal are inappropriate to the streetscape and setting of adjacent houses.
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4. The proposal is contrary to the Local Development Plan Policy Des 5 in respect of Development Design - Amenity, as the scale and form will fully overshadow the adjacent garden ground to the east.

Risk, Policy, compliance and governance impact

4.1 Provided planning applications are determined in accordance with statutory legislation, the level of risk is low.

Equalities impact

5.1 The equalities impact has been assessed as follows:

The application has been assessed and has no impact in terms of equalities or human rights.

Consultation and engagement

6.1 Pre-Application Process

There is no pre-application process history.

6.2 Publicity summary of representations and Community Council comments

35 representations were received from neighbours including objection from Craigeith/Blackhall Community Council. Reasons for objection were:

- appearance inappropriate
- loss of sunlight and daylight
- increased noise and disturbance
- impact on street views and landscape atmosphere
- building too high
- impact on outlook from houses
- an inappropriate use in a residential area.
- impact on utilities (street lights and telephone wires)
- sight lines obstructed
- impact on trees

Background reading / external references

- To view details of the application go to
- [Planning and Building Standards online services](#)

Statutory Development

Plan Provision

Date registered 13 February 2019

Drawing numbers/Scheme

David R. Leslie
Chief Planning Officer
PLACE
The City of Edinburgh Council

Contact: Stephen Dickson, Senior planning officer
E-mail:stephen.dickson@edinburgh.gov.uk Tel:0131 529 3529

Links - Policies

Relevant Policies:

Relevant policies of the Local Development Plan.

LDP Policy Des 1 (Design Quality and Context) sets general criteria for assessing design quality and requires an overall design concept to be demonstrated.

LDP Policy Des 4 (Development Design - Impact on Setting) sets criteria for assessing the impact of development design against its setting.

LDP Policy Des 5 (Development Design - Amenity) sets criteria for assessing amenity.

LDP Policy Des 12 (Alterations and Extensions) sets criteria for assessing alterations and extensions to existing buildings.

Appendix 1

Consultations

No consultations undertaken.

END

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Dr Andrew Saunders

Address: 2F, 182 Queensferry Road Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: We find this planning application from Bailies signs totally unacceptable. We have been harassed by Mr Bailie in numerous occasions to buy our garden since buying our property (as well as our neighbours, and an attempt to buy our neighbours flat in order to acquire their garden and build on this to essentially devalue our own garden). We have suggested he move to other premises if the current size of his development is not fit for purpose. We have several objections to the proposals. The first and biggest objection is the fact that this is built right up to the side of the garden and is being built taller than the currently ugly building that has already impacted on the appearance of this residential area. This is clearly going to overshadow our garden. There is a clear loss of sunlight/day light to the garden - if this is built it will entirely block out the sun to the gardens, particularly in the summer months when we enjoy sitting out in the sun on a daily basis. We feel his original extension was already imposing on our outside space and that this further extension should not be allowed to go ahead. There is ample space to expand down the other side of Bailies signs where workers already park, and we feel this is a fairer site for expansion. We also feel the height of any new building should not be taller than the current extension. We love being out in the garden with our dog in the sun. We also have a baby on the way and feel the new building will disrupt our time to spend time in the garden as a family. There has been no thoughts given to the impact of this development on residents of the building and we feel this will devalue the area.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Neil Petrie

Address: 182/1 Queensferry Road Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

- Councillor's Reference

Comment: I find Baillie Sign's planning application unacceptable and frankly unpleasant. I believe Baillie Signs has long coveted our gardens at the back next to their yard. In years previous Baillie's has purchased neighbouring gardens to use the land for their business. I only moved into my property at 182 Queensferry Road last October. I quickly discovered that previously unknown to me I'd only just outbid Mr Baillie who appeared to want to purchase the property to obtain the garden land at the back. I also discovered he has approached the two flats at 182 several times over the years to try and purchase their gardens. He has upset my neighbours above by approaching them several times since they moved in 18 months ago, as they have stipulated they have no interest in selling their garden. I was approached for the first time about a month ago but did not respond, as I too have no interest in selling. One of the main reasons I purchased the flat was for the garden. I am ill health retired and wanted a garden to enjoy and also for my dog as my health remains variable. Likewise my neighbours are keen to have a garden particularly as they are expecting a baby. Why does the building proposed in this planning application have to be such a ridiculous size and so incredibly tall, much taller than the existing extension and positioned right up against our gardens. It will not be in keeping at all with the rest of the surrounding buildings. It will totally dominate and overshadow the gardens and everything else around it. I appreciate Baillie Signs wanting to develop their business and if an extension is necessary for the storage of vans and goods etc surely keeping any extension the same height as the current extension would be sufficient. This is a residential area so if Baillie Signs needs to extend their business that much surely they could find more suitable premises? They could keep their current building which being on the Queensferry Road provides great marketing but then have some production elsewhere say on an industrial estate. Also my first floor flat rear windows look across the roof of the current extension and beyond. If this application is granted all I would then see out my window is the top half of this massive metal building. The current planning application feels like the building

equivalent of an intimidating neighbour planting leylandii to block out their neighbour's light. I am aware residents in Maidencraig Road are also unhappy at having this imposing eyesore impacting on everything and everyone around it. It is essentially a massive 10 meter high metal barn more fitting for a farm than a residential area.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Neil Petrie

Address: 182/1 Queensferry Road Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

- Councillor's Reference

Comment: I find Baillie Sign's planning application unacceptable and frankly unpleasant. I believe Baillie Signs has long coveted our gardens at the back next to their yard. In years previous Baillie's has purchased neighbouring gardens to use the land for their business. I only moved into my property at 182 Queensferry Road last October. I quickly discovered that previously unknown to me I'd only just outbid Mr Baillie who appeared to want to purchase the property to obtain the garden land at the back. I also discovered he has approached the two flats at 182 several times over the years to try and purchase their gardens. He has upset my neighbours above by approaching them several times since they moved in 18 months ago, as they have stipulated they have no interest in selling their garden. I was approached for the first time about a month ago but did not respond, as I too have no interest in selling. One of the main reasons I purchased the flat was for the garden. I am ill health retired and wanted a garden to enjoy and also for my dog as my health remains variable. Likewise my neighbours are keen to have a garden particularly as they are expecting a baby. Why does the building proposed in this planning application have to be such a ridiculous size and so incredibly tall, much taller than the existing extension and positioned right up against our gardens. It will not be in keeping at all with the rest of the surrounding buildings. It will totally dominate and overshadow the gardens and everything else around it. I appreciate Baillie Signs wanting to develop their business and if an extension is necessary for the storage of vans and goods etc surely at least keeping any extension the same height as the current extension would be sufficient and not right up against our gardens to cause maximum negative impact. This is a residential area so if Baillie Signs needs to extend their business that much surely they could find more suitable premises? They could keep their current buildings which being on the Queensferry Road provides great marketing but then have some production elsewhere say on an industrial estate. Also my first floor flat rear windows look across the roof of the current extension and beyond. If this application is granted all I would then see out my window

is the top half of this massive metal building. The current planning application feels like the building equivalent of an intimidating neighbour planting leylandii to block out their neighbour's light. Having been frustrated in their attempts to buy the gardens, mine as recently as a month ago, it is therefore, questionable why Baillie Signs plan to position such a massive ugly building so it has maximum negative impact on our gardens and consequently the whole neighbourhood. It couldn't really be any worse! I am aware residents in Maidencraig Road are also unhappy at potentially having this imposing eyesore impacting on everything and everyone around it. It is essentially a massive 10 meter high metal barn more fitting for a farm than a residential area.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mrs Stina Saunders

Address: 182/2 Queensferry Road Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I object to this development for a number of reasons:

Firstly I object on grounds of excessive height. It is clearly an entirely inappropriate building in a residential area and the aesthetics thereof - we have mock up images of the look of this building and it is a complete eyesore and out of keeping with the feel of the residential area. I think Mr Bailie has given this ridiculous design idea clearly excessive to what would be appropriate in order expect a "compromise", and clearly from starting at this degree of ridiculousness he aims to compromise as little as possible. This is unacceptable and in fact any building, even a shed at the current height of the existing building, should not be permitted anywhere near to the edge of the gardens or indeed the road. It is an eyesore for those houses on Maidencraig crescent and more relevant to us, totally overshadows our garden. It should not be able to impose on the gardens or block out the light to it. If it does this, it negates the joy of use of our garden. There is also a tree right in the corner of the garden which would have to be removed to allow the building of this new monstrosity. The original town plan granted for the area that is now tarmaced over where gardens and trees used to be (available online), stipulated that the garden was being changed to a car park and storage yard. The area is unkempt, dirty, has uncovered skips permanently having their contents blown over on to our gardens, and is being used in the summer for outside work which is noisy and disruptive when we sit out in the garden - this is not what the original application stipulated this area was for. I fail to see what any extension to the building will gain for 'vehicle and goods storage' when it is already apparently used for this reason as you see in the original planning application.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Douglas Curry

Address: 29 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Introduction of a large industrial building in a residential street completely out of character with the surrounding buildings. Concerned about potential increase in workforce which could exacerbate current parking issues even further. I'd suggest they need to find a more suitable location to expand their manufacturing business.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr martin riddell

Address: 17 maidenraig crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: The very vague and limited drawings attached to this application do not disguise the fact that it is a monstrosity of a structure which is being proposed.

This is a residential area and what is being put before us is a gigantic industrial unit which will be completely out of place in a quiet family street. The impact to residents all around this site will be huge.

It may make sense for the company to move their manufacturing operation to a more suitable industrial estate.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Keith Farm

Address: 27 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer made comments neither objecting to or supporting the Planning Application

Comment Reasons:

Comment: I oppose the planned construction, not in keeping with character of this residential street.

The proposed building will not compliment surrounding buildings and based on description would be more suitable to industrial estate.

This proposed extension appears to be using part of the companies existing car park and would therefore displace their vehicles onto the street, where parking and access is already an issue.

Not a welcome addition to the street.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Allan Nelson

Address: 5 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: My family and I have lived opposite Baillie Signs for 15 years. During that time we have seen them buy up gardens, chop down trees, change the gardens into car parks, setup temporary storage, store rubbish in this area which blows along the street and make considerable amounts of noise during the working day from angle grinders and other tools. They are performing industrial services in a residential area. Further to that, a number of their staff park on the street, adding to pressure on local people. At no point have we ever complained, accepting that they are running a business and providing good jobs to the wider community. We try to be good neighbours.

However, they now have proposed a near 10 metre high structure, made of steel which would be completely out of character with the area, more suited to an industrial area or farm, not a long-established residential area with families of all ages & stages. It would be twice the height of the existing extension. It would negatively and completely change the outlook on our street for a number of properties, particularly from 1 - 9, which includes us at number 5. It would totally change the light and be the wrong material for the area. It could also attract vandalism and 'tagging' from graffiti artists. The recent issues with badly behaved teenagers causing damage whilst using the street as a thoroughfare from Ravelston Woods to the cycle path are well documented.

In summary, I must object in the strongest possible terms to this proposal. It's been poorly documented by the business & their architect in the vaguest of terms and shows no consideration at all for long standing neighbours of their business. If Baillie Signs are expanding then well done and good luck to them. However, this planning application suggests they have outgrown their premises and should seek alternative accommodation at a much more suitable site, of which there are plenty in & around the city, rather than inflict an industrial shed on what is a long standing and happy residential area in our beautiful city.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Keith Farm

Address: 27 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I oppose the planned construction, not in keeping with character of this residential street.

The proposed building will not compliment surrounding buildings and based on description would be more suitable to industrial estate.

This proposed extension appears to be using part of the companies existing car park and would therefore displace their vehicles onto the street, where parking and access is already an issue.

Not a welcome addition to the street.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Lachlan Riddell

Address: 17 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: This planning application needs to be pulled. The structure is huge - totally out of character for a residential street. The added noise from increased work by Baillies Signs will affect the residents. The frontage will increase graffiti. It looks so ugly and out of place.

Maybe Baillies Signs should move premises?

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Richard Deane

Address: 3 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I wish to formally register an objection to this proposed development - there are many reasons for this:

- * This proposed design represents considerable over development in a residential area.
- * The proposed development will have a huge detrimental impact on residential amenity in this area.
- * The character of the area will be detrimentally impacted as a result of the proposed building - impacted by it's materials, size, design and within the context of it's immediate environment.
- * The proposed building is simply a huge ugly industrial metal warehouse stuck onto the side of an existing and traditional stone building. It is not in keeping with the area in which it would be placed. It is a huge industrial warehouse structure.
- * Increased size of premises\size of business will, for an area already with parking issues, increase traffic in the area and compound the parking problems. There have been concerns over access for fire engines and refuse collection has not been made due to a lack of access due to traffic.
- * I do not believe that the unit will only be used for storage and parking - as stated, and it will also form part of extended areas for fabrication.
- * The building will basically be a huge industrial stainless steel unit that should only be placed in an industrial estate or on a farm. This is not a fitting proposal for a residential area.
- * The building that the unit will be attached to has already been extended - without increasing the height of the building. This has already extended the footprint of the existing commercial premises.
- * The plans are not detailed enough to clearly convey what is intended - the location, details of the finish, colour etc. From looking at the company that has produced the designs you can get a far better understanding of what will be constructed.
- * The unit proposed is the equivalent of a three story building - higher than the existing building in

place. As the plans do not show the true nature of the impact this building will have on the area - a clearer visual reference should be taken into account.

* The area has had issues with antisocial behaviour that has required Police and Council intervention - a reduced line of sight from the flats across the road will not assist in helping with those problems or deterring such behaviour.

In addition the main points above:

* There was a previously agreed change of use for the area of land in question. Originally this was gardens with mature trees. The change in use that was approved resulted in the large mature trees being cut down. The proposed development simply continues an ever increasing diminished amenity for the area.

* The neighbours who have gardens directly next to the proposed area will be massively impacted by such a monstrosity - I cannot imagine many people in Edinburgh who would be happy with a structure appearing alongside their garden that would measure almost 10 meters tall.

Thank you for your consideration of this objection.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mrs Lynn Deane

Address: 3 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I wish to object to these proposed plans:

This will have a detrimental impact on residential amenity.

This is over development of commercial premises in a predominantly residential area - it will have a negative impact on the living environment for many many neighbours and local residents.

The proposed building is far too large, is of an unsuitable material for a residential area and is an ugly design.

The building would be more fitting at a farm or in an industrial estate. It is simply a huge metal box.

The increase in the premises is likely to have an increase in the traffic in and around the area.

You cannot clearly see the finish, location or colour of the building - there is not enough detail.

The unit is higher than the existing building in place.

The area has already seen a change of use from a mature garden to a car park - and now to be built up.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Andrew Egerton

Address: 1 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: This proposed extension is completely out of place in a residential area. There has been absolutely no attempt to design something in keeping with the area and no consideration for the affect this has on the neighbours and the neighbourhood. Bailies signs are proposing a huge metal box. It will has a devastating affect on my home, turning the view from the front into a featureless mass of steel. Every other building in the area is stone or harling.

A few years ago bailies applied to turn gardens into the car parking area as they needed more parking space, they now want to build on. They needed this space for vehicle parking. This building will now remove this parking space and will also mean their vehicles will continue to spill out onto the increasingly busy Crescent. It is clear from how they operate they will not use this for vehicles during the day and considering the size of their vans not during the night either. It is more storage and workshop space.

The size of and height of the building will greatly reduce the light at the front of our house. Bailies signs need to seriously consider whether they can continue to expand in a residential area and rather than building this monstrosity ruining the area for others they should look for new more appropriate premises

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Matthew Egerton

Address: 1 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I would like to strongly object to the proposed huge extension to the Baillies signs site. This building will tower over the houses opposite whilst blocking the windows of the flats above. It will massively impact on the light coming into the front of our home and that of the neighbours. It will mean I will look out of my window onto over 180 square metres of featureless steel sheeting. Not only will it dominate the street, it will stand out like a sore thumb both in its size and being completely out of keeping with the area which is a place where people live and not a factory site. Baillies signs seem to have absolutely no consideration at all for their neighbours. They have shown this before when cutting down mature trees on the border of their neighbours garden to allow for the car park and oblivious to the upset caused and the detrimental affect to the environment. Also if they needed this space for parking what space will they use now. They won't use this new building for parking space as it would affect access during the day. This can only mean more cars parked on the street

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Dr Hayley Scott

Address: 9 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: The proposed extension is essentially an industrial unit that is not at all in-keeping with the surrounding residential area. The proposed size of the extension is completely out of proportion with all of the surrounding buildings. If the company requires that degree of industrial space then I believe that they would be better off relocating to an industrial park, rather than trying to shoehorn an over-bearing industrial eye-sore into an otherwise characterful residential area. In addition, the larger scale of business operations that would run from the property would mean an increase in noise and disturbance, as well as traffic and parked vehicles in the surrounding area.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mrs Alison Egerton

Address: 1 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

- Councillor's Reference

Comment: I wish to object in the strongest terms to this horrific building proposal by Baillies signs. It is absolutely ginormous and completely out of place in a residential street. It is materially and architecturally incompatible with everything else not just in the Crescent but in the whole area. It will mean that my beautiful home of 20 years will be ruined as I will look at on this mass of featureless steel, and it will be all I can see from my bay windows. It will darken the front of our house blocking our views of the sky. This 10metre high steel wall will sit just 10m from the front of my home.

It will also have an awful affect on my neighbours and will affect the whole nature of the street. I can't believe that anyone would wish to inflict this on the Crescent and seems to demonstrate an absolute contempt for the people of Maidencraig. No attempt has been made in the design to limit the impact of the building, in fact quite the opposite. It is surely time for Baillies signs to consider relocating to an industrial area if they are going to continue to expand

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Gavin Thornton

Address: 9 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: This proposed building is a large industrial unit that will not only be a huge eye-sore but will have a significant negative impact on neighboring properties and the surrounding residential area, specifically Maidencraig Crescent. It is completely out of character with the surrounding area and it will block significant amounts of light from both the adjacent flats and the houses opposite. It no doubt also represents an expansion of Baillie Signs' operations which will result in increased noise pollution as well as increased traffic.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Sam Egerton

Address: 1 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I can't believe they are planning this building. I can't believe anyone would want to build a massive windowless metal box in a residential street where people live, and I can't believe that a company would wish to impose this eyesore on my neighbourhood. This is a building without any redeeming features. It is to be built of steel sheeting in an area where all other buildings are stone or harled. It is significantly higher than the building it is to be attached too. It will block light to 1, 3, 5 and 7 Maidencraig Crescent and the flats above Baillies signs will lose their views entirely.

Baillies signs is already a busy yard often working at 5am through into the evening and weekends. It is noisy and the cars spill out onto the street. This is only going to get worse with this suggested expansion and will continue to diminish the area which is a residential area and not an industrialised one. It brings only ugliness to my city and my home

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Colin Mclachlan

Address: 192 Queensferry Road Edinburgh

Comment Details

Commenter Type: Neighbour-Commercial

Stance: Customer made comments neither objecting to or supporting the Planning Application

Comment Reasons:

Comment: At this stage we are neutral to the application as the drawings on the portal do not clearly describe what is being proposed so we cannot form a view. We would like to see a site plan showing existing and the proposed extension.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Gavin Barrie

Address: City Chambers High Street Edinburgh

Comment Details

Commenter Type: Ward Councillor

Stance: Customer objects to the Planning Application

Comment Reasons:

- Councillor's Reference

Comment: I wish that this application should be referred to the Development Sub Committee consideration for the following reasons:

- This represents considerable over development in a residential area.
- The proposed development will have a huge detrimental impact on residential amenity in this area.
- The character of the area will be detrimentally impacted as a result of the proposed building - impacted by it's materials, size, design and within the context of it's immediate environment.
- The proposed building is simply a huge ugly industrial metal warehouse stuck onto the side of an existing and traditional stone building. It is not in keeping with the area in which it would be placed.
- Increased size of premises\size of business will, for an area already with parking issues, increase traffic in the area and compound the parking problems. There have been concerns over access for fire engines and refuse collection has not been made due to a lack of access due to traffic.
- I do not believe that the unit will only be used for storage and parking - as stated, and it will also form part of extended areas for fabrication.
- The building will basically be a huge industrial stainless steel unit that should only be placed in an industrial estate or on a farm. This is not a fitting proposal for a residential area.
- The building that the unit will be attached to has already been extended - without increasing the height of the building. This has already extended the footprint of the existing commercial premises.
- The plans are not detailed enough to clearly convey what is intended - the location, details of the finish, colour etc. From looking at the company that has produced the designs provides a far better understanding of what will be constructed.
- The unit proposed is the equivalent of a three story building - higher than the existing building in place. As the plans do not show the true nature of the impact this building will have I have

produced visuals showing the impact this structure will have on the view for ourselves and our neighbours - attached before and after images.

- The area has had issues with antisocial behaviour that has required Police and Council intervention - a reduced line of sight from the flats across the road will not assist in helping with those problems or deterring such behaviour.

In addition the main points above:

- The business has placed a temporary marquee that has been kept in place as a permanent feature within the car parking area. This can be seen in the attached images. This is used to assist in manufacturing and will be the likely purpose of the proposed building.

- Our understanding is that there was a previously agreed change of use for the area of land in question. Originally this was gardens with mature trees. The change in use resulted in the large mature trees being cut down. The proposed development simply continues an ever increasing diminished amenity for the area.

- The neighbours who have gardens directly next to the proposed area will be massively impacted by such a monstrosity - I cannot imagine many people in Edinburgh who would be happy with a structure appearing alongside their garden that would measure over 8 meters tall.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Ms Rachel Gotch

Address: 29 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: This 10m high metal structure would introduce a large and unattractive industrial building into a residential area, otherwise made up of domestic flats, houses and gardens and totally out of keeping with the character of the neighbourhood. Suggest if Baillie Signs wish to expand operations it is time to seek more suitable industrial premises.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mrs Joanne Nelson

Address: 5 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I would like to strongly object to the proposals put forward by Baileys Signs concerning the extension to their property. I live directly across the road from the property and the views to the front of our house are straight towards the proposed building.

Our street is mostly bungalows built in the 1920's and 30's they are uniformly well kept and sensitively upgraded. No planning permission has been given to anything other than standard dormers in the attic spaces. Therefore Maidencraig Crescent represents a very traditional post war area of Edinburgh.

The proposed structure to be set in this location could not be more out of keeping. It is essentially a steel prefabricated structure that would more commonly be seen as a farm building it is also nearly 10 meters high, meters taller than the current extension to their building.

I have been resident here for 15 years and in this time the change to the area surrounding Baillie's Signs has been detrimental to the beauty of the area. Baillie's Signs bought two small gardens full of mature cherry and sycamore trees and immediately cut down all of the 90 year old trees. They then applied for change of use to a car park. This was granted and since then we have looked on to open skips, rubbish and tented structures in the area.

I have no general objection to the company building an extension that is sensitive in materials and design to the rest of the area and the residents that live around them, however this nearly 10 meter, sheet metal, pre-fabricated structure is clearly not the appropriate solution.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Simon Jack

Address: 11 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

- Councillor's Reference

Comment: Having lived in Maidencraig Crescent since 2005 I have been concerned about the impact of the commercial development of Baillie Signs on the overall appearance of the crescent over that time. The business operations have already expanded into what was previously a residential garden area resulting in the removal of trees and an increasingly industrial feel to the end of the street. There has been an increase in associated litter / waste blowing about the street and parking has become an issue as members of staff take up residential parking spaces in the crescent during working hours. In this context I am very concerned about the plans to build a further large and unsightly commercial structure onto the back of the old Cooperative building (which I assume has some listed status) in that it will further negatively impact on the overall appearance of the residential area. Such a construction would surely be much more suited to a commercial / industrial site than a crescent in a residential suburb. I feel very strongly that planning for this structure should not be granted.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mrs Sandra Riddell

Address: 17 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: This planned structure is totally out of keeping with the character of a residential area. A 10 metre tin shed should be located in an industrial estate and not on a quiet street where many young families live.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Neil Petrie

Address: 182/1 Queensferry Road Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

- Councillor's Reference

Comment: After further reflection and discussion I wanted to make an addition to my original objection. Should a building be built on that land at all? When the gardens next to ours were purchased years ago by Baillie Signs tarmaced over and trees felled it was authorised to be a car park and outdoor storage area, not to erect another building. Currently there is a large canvas structure situated there and open skips that are almost permanently left open often overflowing with their contents blowing everywhere and into our gardens. There is also old rusty materials/tools strewn along the base of the dividing fence. I believe there was some unpleasantness when the previous owners of my flat erected the wooden fence. I welcome it as even with 5 foot fence the yard still impacts on the gardens. There is little consideration given for neighbours and this proposed ridiculously oversized ugly metal building is a further illustration. I can only assume their underlying ploy is the hope that some sort of smaller building will be authorised so Baillie Signs can give the appearance of reasonably compromising. Therefore getting a building that should never be built there. Hopefully not!!!

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Neil Petrie

Address: 182/1 Queensferry Road Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

- Councillor's Reference

Comment: I find Baillie Sign's planning application unacceptable and frankly unpleasant. I believe Baillie Signs has long coveted our gardens at the back next to their yard. In years previous Baillie's has purchased neighbouring gardens to use the land for their business. I only moved into my property at 182 Queensferry Road last October. I quickly discovered that previously unknown to me I'd only just outbid Mr Baillie who appeared to want to purchase the property to obtain the garden land at the back. I also discovered he has approached the two flats at 182 several times over the years to try and purchase their gardens. He has upset my neighbours above by approaching them several times since they moved in 18 months ago, as they have stipulated they have no interest in selling their garden. I was approached for the first time about a month ago but did not respond, as I too have no interest in selling. One of the main reasons I purchased the flat was for the garden. I am ill health retired and wanted a garden to enjoy and also for my dog as my health remains' variable. Likewise my neighbours are keen to have a garden particularly as they are expecting a baby. Why does the building proposed in this planning application have to be such a ridiculous size and so incredibly tall, much taller than the existing extension and positioned right up against our gardens. It will not be in keeping at all with the rest of the surrounding buildings. It will totally dominate and overshadow the gardens and everything else around it and should not right up against our gardens to cause maximum negative impact. This is a residential area so if Baillie Signs needs to extend their business that much surely they could find more suitable premises? They could keep their current buildings which being on the Queensferry Road provides great marketing but then have some production and storage elsewhere say on an industrial estate. Also my first floor flat rear windows look across the roof of the current extension and beyond. If this application is granted all I would then see out my window is the top half of this massive metal building. The current planning application feels like the building equivalent of an intimidating neighbour planting leylandii to block out their neighbour's light. Having been frustrated in their

attempts to buy the gardens, mine as recently as a month ago, it is therefore, questionable why Baillie Signs plan to position such a massive ugly building so it has maximum negative impact on our gardens and consequently the whole neighbourhood. It couldn't really be any worse! I am aware residents in Maidencraig Road are also unhappy at potentially having this imposing eyesore impacting on everything and everyone around it. It is essentially a massive 10 meter high metal barn more fitting for a farm than a residential area. Should a building be built on that land at all? When the gardens next to ours were purchased years ago by Baillie Signs and tarmacked over and trees felled it was authorised to be a car park and outdoor storage area, not to erect another building. Currently there is a large canvas structure situated there and skips that are almost permanently left open often overflowing with their contents blowing everywhere and into our gardens. There is also old rusty materials/tools strewn along the base of the dividing fence. I believe there was some unpleasantness when the previous owners of my flat erected the wooden fence to divide them from the yard. However, I welcome the barrier as even with a 5 foot fence the yard still impacts on the gardens. There is little consideration given for neighbours and this proposed ridiculously oversized ugly metal building is a further illustration. I can only assume their underlying ploy is the hope that some sort of smaller building will be authorised so Baillie Signs can give the appearance of reasonably compromising. Therefore getting a building that should never be built there. Hopefully not!!! I also think it's a petty nasty way of putting pressure on my neighbour and I regarding our gardens. All we want to do is enjoy them!

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Neil Petrie

Address: 182/1 Queensferry Road Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

- Councillor's Reference

Comment: I find Baillie Sign's planning application unacceptable and frankly unpleasant. I believe Baillie Signs has long coveted our gardens at the back next to their yard. In years previous Baillie's has purchased neighbouring gardens to use the land for their business. I only moved into my property at 182 Queensferry Road last October. I quickly discovered that previously unknown to me I'd only just outbid Mr Baillie who appeared to want to purchase the property to obtain the garden land at the back. I also discovered he has approached the two flats at 182 several times over the years to try and purchase their gardens. He has upset my neighbours above by approaching them several times since they moved in 18 months ago, as they have stipulated they have no interest in selling their garden. I was approached for the first time about a month ago but did not respond, as I too have no interest in selling. One of the main reasons I purchased the flat was for the garden. I am ill health retired and wanted a garden to enjoy and also for my dog as my health remains' variable. Likewise my neighbours are keen to have a garden particularly as they are expecting a baby. Why does the building proposed in this planning application have to be such a ridiculous size and so incredibly tall, much taller than the existing extension and positioned right up against our gardens. It will not be in keeping at all with the rest of the surrounding buildings. It will totally dominate and overshadow the gardens and everything else around it and should not right up against our gardens to cause maximum negative impact. This is a residential area so if Baillie Signs needs to extend their business that much surely they could find more suitable premises? They could keep their current buildings which being on the Queensferry Road provides great marketing but then have some production and storage elsewhere say on an industrial estate. Also my first floor flat rear windows look across the roof of the current extension and beyond. If this application is granted all I would then see out my window is the top half of this massive metal building. The current planning application feels like the building equivalent of an intimidating neighbour planting leylandii to block out their neighbour's light. Having been frustrated in their

attempts to buy the gardens, mine as recently as a month ago, it is therefore, questionable why Baillie Signs plan to position such a massive ugly building so it has maximum negative impact on our gardens and consequently the whole neighbourhood. It couldn't really be any worse! I am aware residents in Maidencraig Road are also unhappy at potentially having this imposing eyesore impacting on everything and everyone around it. It is essentially a massive 10 meter high metal barn more fitting for a farm than a residential area. Should a building be built on that land at all? When the gardens next to ours were purchased years ago by Baillie Signs and tarmacked over and trees felled it was authorised to be a car park and outdoor storage area, not to erect another building. Currently there is a large canvas structure situated there and skips that are almost permanently left open often overflowing with their contents blowing everywhere and into our gardens. There is also old rusty materials/tools strewn along the base of the dividing fence. I believe there was some unpleasantness when the previous owners of my flat erected the wooden fence to divide them from the yard. However, I welcome the barrier as even with a 5 foot fence the yard still impacts on the gardens. There is little consideration given for neighbours and this proposed ridiculously oversized ugly metal building is a further illustration. I can only assume their underlying ploy is the hope that some sort of smaller building will be authorised so Baillie Signs can give the appearance of reasonably compromising. Therefore getting a building that should never be built there. Hopefully not!!! I also think it's a petty nasty way of putting pressure on my neighbour and I regarding our gardens. All we want to do is enjoy them!

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Neil Petrie

Address: 182/1 Queensferry Road Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

- Councillor's Reference

Comment: I find Baillie Sign's planning application unacceptable and frankly unpleasant. I believe Baillie Signs has long coveted our gardens at the back next to their yard. In years previous Baillie's has purchased neighbouring gardens to use the land for their business. I only moved into my property at 182 Queensferry Road last October. I quickly discovered that previously unknown to me I'd only just outbid Mr Baillie who appeared to want to purchase the property to obtain the garden land at the back. I also discovered he has approached the two flats at 182 several times over the years to try and purchase their gardens. He has upset my neighbours above by approaching them several times since they moved in 18 months ago, as they have stipulated they have no interest in selling their garden. I was approached for the first time about a month ago but did not respond, as I too have no interest in selling. One of the main reasons I purchased the flat was for the garden. I am ill health retired and wanted a garden to enjoy and also for my dog as my health remains' variable. Likewise my neighbours are keen to have a garden particularly as they are expecting a baby. Why does the building proposed in this planning application have to be such a ridiculous size and so incredibly tall, much taller than the existing extension and positioned right up against our gardens. It will not be in keeping at all with the rest of the surrounding buildings. It will totally dominate and overshadow the gardens and everything else around it and should not right up against our gardens to cause maximum negative impact. This is a residential area so if Baillie Signs needs to extend their business that much surely they could find more suitable premises? They could keep their current buildings which being on the Queensferry Road provides great marketing but then have some production and storage elsewhere say on an industrial estate. Also my first floor flat rear windows look across the roof of the current extension and beyond. If this application is granted all I would then see out my window is the top half of this massive metal building. The current planning application feels like the building equivalent of an intimidating neighbour planting leylandii to block out their neighbour's light. Having been frustrated in their

attempts to buy the gardens, mine as recently as a month ago, it is therefore, questionable why Baillie Signs plan to position such a massive ugly building so it has maximum negative impact on our gardens and consequently the whole neighbourhood. It couldn't really be any worse! I am aware residents in Maidencraig Road are also unhappy at potentially having this imposing eyesore impacting on everything and everyone around it. It is essentially a massive 10 meter high metal barn more fitting for a farm than a residential area. Should a building be built on that land at all? When the gardens next to ours were purchased years ago by Baillie Signs and tarmacked over and trees felled it was authorised to be a car park and outdoor storage area, not to erect another building. Currently there is a large canvas structure situated there and skips that are almost permanently left open often overflowing with their contents blowing everywhere and into our gardens. There is also old rusty materials/tools strewn along the base of the dividing fence. I believe there was some unpleasantness when the previous owners of my flat erected the wooden fence to divide them from the yard. However, I welcome the barrier as even with a 5 foot fence the yard still impacts on the gardens. There is little consideration given for neighbours and this proposed ridiculously oversized ugly metal building is a further illustration. I can only assume their underlying ploy is the hope that some sort of smaller building will be authorised so Baillie Signs can give the appearance of reasonably compromising. Therefore getting a building that should never be built there. Hopefully not!!! It could also appear a nasty petty way of applying pressure on my neighbour and I regarding our gardens when all we want to do is enjoy them!

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Neil Petrie

Address: 182/1 Queensferry Road Queensferry Road Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

- Councillor's Reference

Comment: I find Baillie Sign's planning application unacceptable and frankly unpleasant. I believe Baillie Signs has long coveted our gardens at the back next to their yard. In years previous Baillie's has purchased neighbouring gardens to use the land for their business. I only moved into my property at 182 Queensferry Road last October. I quickly discovered that previously unknown to me I'd only just outbid Mr Baillie who appeared to want to purchase the property to obtain the garden land at the back. I also discovered he has approached the two flats at 182 several times over the years to try and purchase their gardens. He has upset my neighbours above by approaching them several times since they moved in 18 months ago, as they have stipulated they have no interest in selling their garden. I was approached for the first time about a month ago but did not respond, as I too have no interest in selling. One of the main reasons I purchased the flat was for the garden. I am ill health retired and wanted a garden to enjoy and also for my dog as my health remains variable. Likewise my neighbours are keen to have a garden particularly as they are expecting a baby. Why does the building proposed in this planning application have to be such a ridiculous size and so incredibly tall, much taller than the existing extension and positioned right up against our gardens. It will not be in keeping at all with the rest of the surrounding buildings. It will totally dominate and overshadow the gardens and everything else around it and should not right up against our gardens to cause maximum negative impact. This is a residential area so if Baillie Signs needs to extend their business that much surely they could find more suitable premises? They could keep their current buildings which being on the Queensferry Road provides great marketing but then have some production and storage elsewhere say on an industrial estate. Also my first floor flat rear windows look across the roof of the current extension and beyond. If this application is granted all I would then see out my window is the top half of this massive metal building. The current planning application feels like the building equivalent of an intimidating neighbour planting leylandii to block out their neighbour's light. Having been frustrated in their

attempts to buy the gardens, mine as recently as a month ago, it is therefore, questionable why Baillie Signs plan to position such a massive ugly building so it has maximum negative impact on our gardens and consequently the whole neighbourhood. It couldn't really be any worse! I am aware residents in Maidencraig Road are also unhappy at potentially having this imposing eyesore impacting on everything and everyone around it. It is essentially a massive 10 meter high metal barn more fitting for a farm than a residential area. Should a building be built on that land at all? When the gardens next to ours were purchased years ago by Baillie Signs and tarmacked over and trees felled it was authorised to be a car park and outdoor storage area, not to erect another building. Currently there is a large canvas structure situated there and skips that are almost permanently left open often overflowing with their contents blowing everywhere and into our gardens. There is also old rusty materials/tools strewn along the base of the dividing fence. I believe there was some unpleasantness when the previous owners of my flat erected the wooden fence to divide them from the yard. However, I welcome the barrier as even with a 5 foot fence the yard still impacts on the gardens. There is little consideration given for neighbours and this proposed ridiculously oversized ugly metal building is a further illustration. I can only assume their underlying ploy is if this ridiculous proposal is refused then some sort of smaller building will be authorised so Baillie Signs can give the appearance of reasonably compromising. Therefore getting a building that should never be built there. Hopefully not!!! It could also appear a nasty petty way of applying pressure on my neighbour and I regarding our gardens when all we want to do is enjoy them!

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Neil Petrie

Address: 182/1 Queensferry Road Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

- Councillor's Reference

Comment: I find Baillie Sign's planning application unacceptable and frankly unpleasant. I believe Baillie Signs has long coveted our gardens at the back next to their yard. In years previous Baillie's has purchased neighbouring gardens to use the land for their business. I only moved into my property at 182 Queensferry Road last October. I quickly discovered that previously unknown to me I'd only just outbid Mr Baillie who appeared to want to purchase the property to obtain the garden land at the back. I also discovered he has approached the two flats at 182 several times over the years to try and purchase their gardens. He has upset my neighbours above by approaching them several times since they moved in 18 months ago, as they have stipulated they have no interest in selling their garden. I was approached for the first time about a month ago but did not respond, as I too have no interest in selling. One of the main reasons I purchased the flat was for the garden. I am ill health retired and wanted a garden to enjoy and also for my dog as my health remains variable. Likewise my neighbours are keen to have a garden particularly as they are expecting a baby. Why does the building proposed in this planning application have to be such a ridiculous size and so incredibly tall, much taller than the existing extension and positioned right up against our gardens. It will not be in keeping at all with the rest of the surrounding buildings. It will totally dominate and overshadow the gardens and everything else around it and should not right up against our gardens to cause maximum negative impact. This is a residential area so if Baillie Signs needs to extend their business that much surely they could find more suitable premises? They could keep their current buildings which being on the Queensferry Road provides great marketing but then have some production and storage elsewhere say on an industrial estate. Also my first floor flat rear windows look across the roof of the current extension and beyond. If this application is granted all I would then see out my window is the top half of this massive metal building. The current planning application feels like the building equivalent of an intimidating neighbour planting leylandii to block out their neighbour's light. Having been frustrated in their

attempts to buy the gardens, mine as recently as a month ago, it is therefore, questionable why Baillie Signs plan to position such a massive ugly building so it has maximum negative impact on our gardens and consequently the whole neighbourhood. It couldn't really be any worse! I am aware residents in Maidencraig Road are also unhappy at potentially having this imposing eyesore impacting on everything and everyone around it. It is essentially a massive 10 meter high metal barn more fitting for a farm than a residential area. Should a building be built on that land at all? When the gardens next to ours were purchased years ago by Baillie Signs and tarmacked over and trees felled it was authorised to be a car park and outdoor storage area, not to erect another building. Currently there is a large canvas structure situated there and skips that are almost permanently left open often overflowing with their contents blowing everywhere and into our gardens. There is also old rusty materials/tools strewn along the base of the dividing fence. I believe there was some unpleasantness when the previous owners of my flat erected the wooden fence to divide them from the yard. However, I welcome the barrier as even with a 5 foot fence the yard still impacts on the gardens. There is little consideration given for neighbours and this proposed ridiculously oversized ugly metal building is a further illustration. I can only assume their underlying ploy is if this ridiculous proposal is refused then some sort of smaller building will be authorised so Baillie Signs can give the appearance of reasonably compromising. Therefore getting a building that should never be built there. Hopefully not!!! It could also appear a nasty petty way of applying pressure on my neighbour and I regarding our gardens when all we want to do is enjoy them!

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Ms Susan Harley

Address: 188 Queensferry Road Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I object to this planning application for the following reasons:-

- Height and size of the proposed unit
- Non residential aspect of the proposed unit. Looks industrial.
- Application states no trees are affected but can see trees in neighbouring garden
- Sight lines obstructed for drivers on narrow road
- Obstruction to street light on Maiden Craig Crescent, already a dark lit street for non daylight walking/cycling

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Ms Kim Paton

Address: 188 Queensferry Road (2nd flat) Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I object to this planning application for the following reasons:-

- Height and size of the proposed unit
- Non residential aspect of the proposed unit. Looks industrial.
- Application states no trees are affected but can see trees in neighbouring garden
- Sight lines obstructed for drivers on narrow road
- Obstruction to street light on Maidenraig Crescent, already a dark lit street for non daylight walking/cycling
- obstruction of telephone lines

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Calum Paton

Address: 188 Queensferry Road (2nd flat) Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I object to this planning application for the following reasons:-

- Height and size of the proposed unit
- Non residential aspect of the proposed unit. Looks industrial.
- Application states no trees are affected but can see trees in neighbouring garden
- Sight lines obstructed for drivers on narrow road
- Obstruction to street light on Maiden Craig Crescent, already a dark lit street for non daylight walking/cycling
- obstruction of telephone lines

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mrs Alison Williamson

Address: 21 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I object to the above application as it appears to be much more suited to an industrialist estate rather than a quiet residential street. I also have concerns about parking & delivery vehicles to these premises. At present, turning right into Maidencraig Crescent from Queensferry Road when a delivery is taking place here is very difficult. The plans also appear to be completely out of scale compared to the existing building & do not fit in with the character of the surrounding area.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Keith Williamson

Address: 21 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I object to this application as it is completely out of character & is far too big for a residential street. More suited to an out of town industrial estate. The impact of this building for residents due to noise & disturbance & not to mention the appearance & overbearing size would be immense.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: CC Alan Denham

Address: 23 Hillpark Way Edinburgh

Comment Details

Commenter Type: Community Council

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Craigleith/Blackhall Community Council objects to application 19/00541/FUL. The application was considered at the meeting of the Community Council on 18 February 2019 when local residents' concerns were brought to the meeting's attention.

The details submitted in the application are limited and in some ways inadequate. However from the information available, the proposal appears to be an industrial shed clad in a metal finish of a significant height of 8-10 metres. Although the address of the applicant is 184-186 Queensferry Road, the development will have a significant impact on Maidencraig Crescent properties, essentially a quiet residential area. The outlook of the residential flats above Baillie Signs will also be affected. The exception to residential use are the ground floor offices occupied by Baillie Signs at 184-186 Queensferry Road, which in the opinion of the Community Council cannot be described as industrial premises.

The industrial nature of the garage extension is therefore out of character and scale with the surrounding predominantly residential area and visually is of poor quality.

In the opinion of Craigleith/Blackhall Community Council, the industrial extension can be considered against a number of policies in the Edinburgh Local Development Plan:-

The site is not identified for industrial purposes in the Plan and is outwith the Blackhall Dip local shopping centre - it is within a predominantly residential area.

It fails to meet the requirements of Policy DES 1 Design Quality and Context in that it does not contribute or create a sense of place. DES 1 goes on to say that planning permission will not be granted for inappropriate design or for proposals that would be damaging to the character or

appearance of the area around it. We note the policy applies to extensions.

It fails to meet the requirements of Policy DES 5 Development Design - Amenity as the amenity of the neighbouring developments and the immediate outlook of residential neighbours will be seriously affected.

In terms of Policy DES 12 Alterations and Extensions, the extension should not be granted as the design and form, choice of materials and positioning are incompatible with the character of the the existing buildings and will be detrimental to the character and amenity of the neighbourhood.

In terms of Policy HOU 7 Inappropriate Uses in Residential Areas, the scale of the proposal, its design and the proposed materials are incompatible with the surrounding and adjoining residential properties and the application represents an inappropriate use in a residential area.

For these reasons Craigleith/Blackhall Community Council supports local residents' concerns and objects to application 19/00541/FUL.

AWD

Craigleith / Blackhall Community Council

26 February 2019

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr F Henderson

Address: 195 Queensferry Road Edinburgh

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Inappropriate height in relation to surroundings.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Ms Sarah Jack

Address: 11 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I am writing to object to the proposed garage extension. The location of the premises is in a residential area and any extension to the premises would interfere with the character of the area. It would be more appropriate in an industrial/commercial quarter. A number of trees have already been lost and to further develop these premises would be unsightly and not in keeping with the character of the street.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mrs F Gilbert

Address: 7 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I wish to object to this planning application on several grounds:

1. Appearance. This is a predominantly residential street with attractive, well kept gardens which benefits from a variety of trees and hedges. The proposed steel structure hall is completely out of keeping with the area and with the surrounding buildings due to its large size, construction material and agricultural or industrial style. It has no place in a residential area.
2. Loss of landscape features. The street feels quite open at present as there is no feature of any height which encroaches on the boundary wall of the premises. The proposed construction would change this significantly, especially for properties which overlook the site and for the gardens which adjoin the premises and offer significant amenity to the flats above.
3. Loss of sunlight or daylight. The size and position of the proposed construction would have a detrimental impact on the adjoining gardens due to overshadowing. This would impact on the amenity value of the gardens which provide outdoor living and play space and also function as a drying green.
4. Noise and disturbance. There is already a noticeable noise nuisance generated during the manufacturing processes carried on in these commercial premises e.g. through the use of grinding equipment, the transporting and positioning of metal frames etc. which makes the neighbours very aware of the site's manufacturing activities, particularly at weekends. In addition the street is frequently obstructed when large vehicles manoeuvre and park to deliver raw materials which sometimes have to be craned off. The proposed 'steel structure hall' is described in the planning application as a garage extension but there is currently no garage on site. It is likely that such a large construction would be used to extend the manufacturing facilities and, if it was to have a storage function, would require a forklift to make use of the full height of the structure. The additional noise and disturbance this would generate would be very unwelcome to the neighbours, especially as the site operates at weekends.

The proposal is completely out of keeping with the area and if the business needs such a large industrial style facility in order to extend its operations, it should perhaps consider relocating to an industrial unit, as the current site is better suited to a retail operation.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Mr Neil Gilbert

Address: 7 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I wish to object to this planning application on several grounds:

1. Appearance. The industrial scale size, materials and appearance are wholly out of keeping with the residential street in which it is proposed the development be sited. The existing shop units on Queensferry Road which border the site are of traditional build and size and have sat well with the overall residential nature of the street for many decades. The proposed development is wholly out of keeping with the residences in the Maidencraigs as well as the bordering residences and shop units on Queensferry Road. The development will have a significant detrimental impact on the appearance of the street.

2. Loss of significant landscape features. At present the surrounding area is open with pleasant gardens. This industrial scale unit will have a detrimental impact on the general landscape features of the area as it will significantly increase the proportion of hard landscaping and materials to general garden area. The materials being used are also of general industrial grade and out of keeping with the traditional mix of stone and Scottish harling which sit well together with the garden landscaping.

3. Noise and disturbance. There is already significant noise and traffic disturbance from the site during the working week (including Saturday) with deliveries from large commercial vehicles and industrial processes within the site. The sheer scale of the development can only mean that there will be more vehicle use whilst the footprint and height can only mean that there will be significantly increased storage facilities. Both indicate that the site will be used for significant industrial use which is far removed from the original retail use of the premises which sat well with the local residences. I see no benefit for local residents in this development, only significantly more disturbance.

4. Loss of sunlight or daylight. The scale and position of the proposed construction would have a detrimental impact on daylight available to the neighbouring gardens due to overshadowing. The local residents have spent considerable effort in developing these into an area which provides significant benefit to the local residents as well as significantly enhancing the overall amenity of the area. The proposed development will dominate the neighbouring properties and can only have a significantly detrimental impact on their access to daylight from the overshadowing of the development.

Overall, the proposed development proposal is completely out of keeping with the nature of the area - both in terms of scale and expansion of the industrial use of the property. This is a very restricted site and expansion of industrial premises at this site seems wholly inappropriate. Whilst supportive of local business there are a number of sites available in the city which would be far more appropriate for this type of expansion.

Comments for Planning Application 19/00541/FUL

Application Summary

Application Number: 19/00541/FUL

Address: 184 - 186 Queensferry Road Edinburgh EH4 2BW

Proposal: Garage extension to industrial premises for vehicle and goods storage.

Case Officer: Stephen Dickson

Customer Details

Name: Ms K Gilbert

Address: 7 Maidencraig Crescent Edinburgh

Comment Details

Commenter Type: Neighbour-Residential

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I wish to object to this planning application on several grounds:

1. Appearance - the proposed size of the building and materials are industrial in nature, which is not in keeping with the residential character of the street. The building is not in keeping with the character or features of the street and residential area, instead it resembles something one would find in an industrial park.
2. Loss of landscape features - the proposed size of the building is such that it would significantly change the open nature of the street, and would further remove currently open green space. The building would become the dominant feature of the street, as an industrial building.
3. Noise and disturbance: the size and dimensions of the proposed building are such that should it actually be used for storage as the application describes, this would require the use of industrial vehicles such as forklifts. Further, as the site is worked in during the weekend, this would create constant industrial noise in an otherwise peaceful residential setting. Residents are already disturbed by industrial noise coming from banging metal poles etc. and this is not appropriate in a residential setting.
4. Loss of sunlight or daylight - the proposed height of the building is so high that it would block light into the front gardens and rooms of the houses opposite, which currently benefit from the open, light-filled nature of the street and setting. Further, it would block sunlight and light for the flats directly behind the proposed building.
5. Overshadowing - the proposed building size is so large that it would dominate the street, overshadowing neighbouring and opposite properties.

184 - 186 Queensferry Road

application 19/00541/FUL

Planning &
24 JUN 2019
Building Standards

Andrew Egerton
1 Maidencraig Crescent
Edinburgh
EH4 2BH

To Whom it May concern

In regard to planning application 19/00541/FUL

As a home owner who lives directly opposite the proposed development I would like to add some comments to the review document lodged by Actualultra Ltd.

2.1 Not sure about the comment about farmland. The whole of Blackhall is built on farmland. However the tenement was built in the 1920's to provide 4 residential properties and a grocer's. It was certainly a COOP supermarket in the 60's and 70's as my wife remembers her Mum taking her there when she was a child. It was not built to be an industrial workshop. The surrounding properties in Maidencraig Crescent were also built in the 1920's. The proposed development is to be built on what were the garden/drying greens of the original tenement.

3.1 The drawings are too approximate to tell how close this building will be to the wall. The whole original application is short of detail.

3.3-a) The building is the same age within a year of the surrounding properties. It is in itself a part residential building. It was not a workshop when it was built but a shop to service a new residential community.

The garage building opposite is only a similar distance to the pavement at one end. It is screened by my garden, which is south facing, and lies between the garage wall and the pavement for its entire length. The garage is also a lot lower than proposed development. It is not going to be easy to create a foliage screen in the 1m gap between an 9.75m north facing wall of the new development and the 1.6m (approx.) high boundary wall. As I face this wall I have no trust that this will ever happen. Anything tall enough to screen this wall will have roots affecting the wall and the new building, having to be 0.5m from both. Actualultra Ltd have never given any signs of caring for their neighbours nor the nature of the street as previous removal of trees has shown.

I'm unclear as to how anyone objecting to the plans was to know what it was going to be built with as no where in the application does it tell you. The drawing presented with the application doesn't look like a rendered building. The company 'Thorspan' who did the drawings have an extensive gallery of their buildings (<https://thorspan.com/>) non of which are rendered. Thorspan specialises in steel clad beings and tents. It would suggest this is an after thought following the negative reaction to the proposal. Again suggests to me little care to the street environment from this company.

3.3 –b)- outlook- This building being 3.45m higher than the building it is attached to will stick out like a sore thumb. Measuring the distance from the flats I find it to be 15m from the flats and 16m from mine and my neighbours house, not the figures presented by Actualultra, it is a little concerning that their figures should be so inaccurate. This will be an oppressive development for the flats and will not be great for us either. This affects the environment in a deeply negative way. The high rise to the east is over 30m from the nearest property.

3.3-c)- The garden to the east will clearly be impacted, in fact being north facing it is affected more. A 8.1m wall only a metre from the boundary to the west will ensure this garden will now be overshadowed all afternoon and evening.

3.3-d)- no comment

3.4-1- There is no way of knowing whether the design is in keeping because they left that to our imagination. The proposed building may not be as high as the tenement but it is over 3m higher than the existing workshop or the garage across the street. It is to be built in an area originally designed to be a garden, it will definitely stick out and is alien to the street

3.4-2- It predates them by a year. It was built as a shop and not a workshop. The clear residential nature of the street should limit an inappropriate extension to this building

3.4-3- Whatever policy, it is going to look awful to all the neighbours and be particularly oppressive to the 1st floor flats. No windows and no features, just 150square metres of render (or whatever)

3.4-4- As previously stated the building will stretch along the entire west side of the garden area. It will overshadow the garden late afternoon and evening. I very much doubt anything has been done to check the overshadowing and believe Actualultra are just saying this.

Further Points

The map and the plans are not particularly clear or revealing.

The idea of foliage screening seems a nice idea but is impractical and I can imagine the building going up and then lots of excuses as to why it can't happen. A 9.75m high wall screened with plants grown between two walls, north facing in a space of a metre wide if they have their measurements correct, doesn't strike me as an ideal growing environment.

The review document states 'The majority of objections are multiples from the same person or are from people not on the electoral register'. This is simply untrue. There are 35 comments, 3 of which come from the same person. One is a neutral comment. This leaves 32 objections which when I quickly scanned through approx. 25 are long term residents I know to say hello to, there is also a local councillor and the residents of the tenement above who are more recently moved in and I know only by name. If Actualultra are going to make such a claim, they should perhaps be asked to prove their assertion and when they can't they can then explain how they put false information on a formal document. It seems to be deliberately misleading. It also demonstrates the contempt they feel for the people who actually live on the Crescent and the clear strength of local opinion against these plans.

Des 4 – It is higher than any of the surrounding industrial buildings of the same materials. Again the original plans do not look like a rendered building.

Des 5 a – It does affect immediate outlook. The view across Marshal Place is completely different ie its not a featureless wall. As I have already stated it will clearly overshadow the garden, because the garden is north facing and the building is going immediately to the west.

They have made no comment on the impact on the street of increased demand for parking. There are presently a skip and 3 vans/trucks parked in this area. Even if one was parked in the new build the rest will need to occupy the reduced car park. It was only a few years ago that planning was granted to turn the former gardens into a parking and storage area. The street is already busy and Actualultra's vehicles, delivery lorries and customers already use the double yellowed road and pavement to park on.

It is also worth noting the temporary large tent that has been in place in the site of the proposed development for 18 months is used as a workshop and I expect this building will be used as a workshop. Its design would lend itself to being able to work on vehicles out of the weather. I say this as the application describes use storage and vehicle parking.

Thank you for your time in considering my further objections to these plans

Yours Faithfully



Andrew Egerton

From: [REDACTED]
Sent: 2 Jul 2019 10:54:04 +0100
To: Local Review Body
Subject: Re: 19/00541/FUL
Attachments: [REDACTED]

Please can you confirm receipt of the attached email?
Many thanks
Martin Riddell

On Thu, 27 Jun 2019, 22:33 , <[REDACTED]> wrote:

17 Maidencraig Crescent

Edinburgh

EH4 2BH

27 June 2019

Following your letter dated 13 June 2019 I note that the applicant has asked for an appeal to be carried out for the above application. Firstly, my understanding is that this application cannot be appealed at this stage of the process. I think that they mean that they want it to be reviewed as an appeal and a review are two different things in legal procedural routes. An appeal certainly is invalid at this stage.

I would like to address their document as follows:

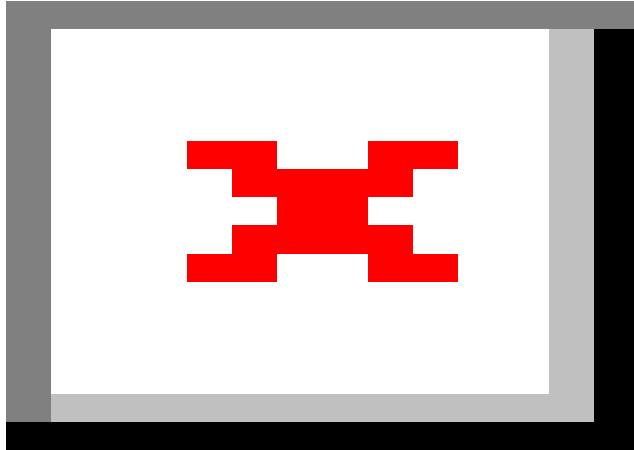
2.1 All of Blackhall was built on farmland. The housing in Maidencraig Crescent was built in the early 1920s as per original plans. Regardless, the site of Baillie Signs/Acualultra Ltd has never been a large industrial centre. Granted it has been a commercial location as shown by the shop units on the ground floor.

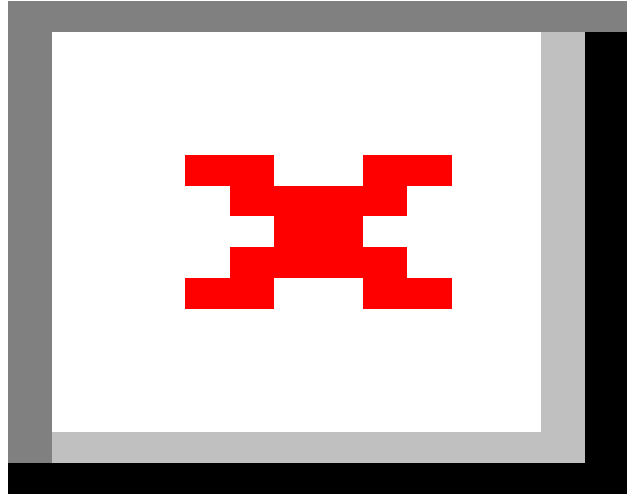
3.1 The original plans are so poor that it is not clear where the boundaries are in relation to the proposed development.

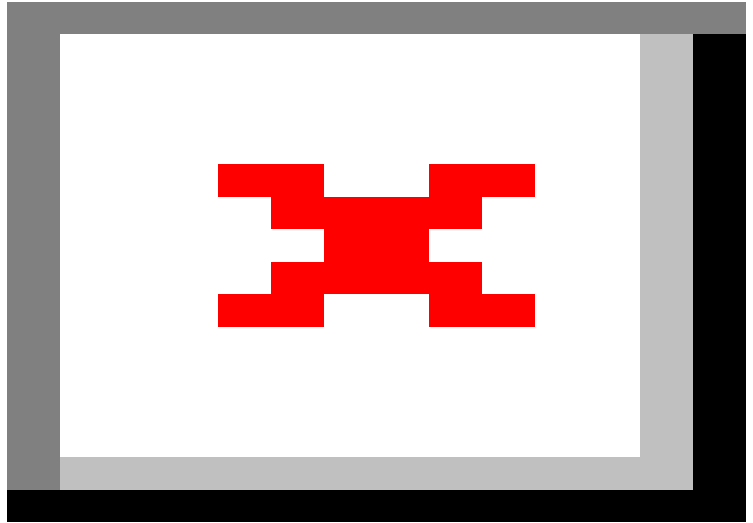
3.3 -a) Any foliage screening that is intended between the proposed shed and the wall would not leave enough space for the wall and shed to be undamaged by the roots of said foliage. It is also very unlikely that foliage up to a height of 9.75m could successfully be planted in a 1m gap between the proposed development and the existing wall. Streetscape is an important planning principle. It cannot be ignored or in relation to existing buildings which are nowhere near as large or as impacting on the residents on Queensferry Road, Maidencraig Crescent and Maidencraig Court. Again, the poor plans that were initially submitted are make no reference to what finish is going to be used on the proposed industrial shed.

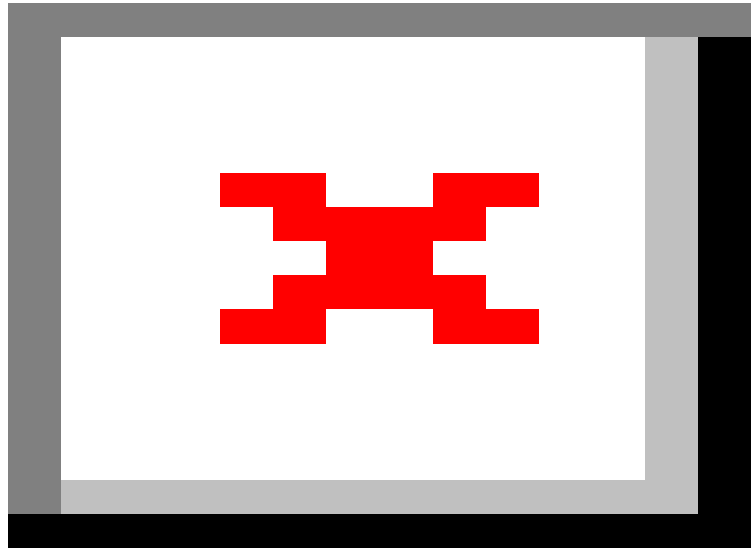
I also do not understand why the garage on the opposite side should be “acknowledged”. Each planning application should be judged on its own merits. Previous development is irrelevant. This is also a relevant point with regards materials that have been used for existing buildings that may have been in place for 100 years. Roof structures built with asbestos should not be upheld as an appropriate choice of materials in this day and age. Again, the residential properties in Maidencraig Crescent were built in approx. 100 years ago so this point is moot.

3.3 -b) Previous developments are irrelevant for new applications not least because planning guidelines and laws have evolved considerable since Maidencraig Court was built.. New applications should be considered on their own merits. On the subject of immediate outlook, I would like the below mocked up photos to be considered. These are in line with the plans submitted with the original application.









3.3 -c) Note the existing trees in the above photos. The footprint of the proposed development puts one, if not two of these, in immediate danger. This would have a significant impact on all of the garden ground to the East of this proposal. My understanding is that current planning standards require new buildings to be a specific distance from an existing trunk and even further away from an existing canopy.

3.3 -d) What increase in vehicular activity is being foreseen by the applicant? They have already acknowledged that sightlines are impeded by the current development. Why would they want to make these already constrained sightlines worse? Does the plan conform with the council LDP with regards sightlines?

3.4 -1 Again each application should be considered on its own merits. Previous developments that have been approved under previous planning standards are irrelevant.

3.4 -2 Regardless of if the tenements on Queensferry Road were built prior to the residential properties in Maidencraig Crescent, the existing Baillie Signs workshop was not. This point is also irrelevant as per my comment in 3.4 -1 above.

3.4 -3 I draw your attention to the photos above.

3.4 -4 See my comments in 3.3 -c) above. It has a clear impact on the adjacent garden.

The applicant fails to understand the strength of feeling by the 34 residents who have objected (out of 35 comments). These are not all from one person. Each person is an individual resident and all are on the electoral role. Why the applicant has chosen to lie here is puzzling and disingenuous. As a Community Councillor for Craigleith and Blackhall Community Council I can definitely say that the residents in Maidencraig Crescent are united and strongly against this application.

The decision to refuse does not seem to be contrary to LDP - aims and strategy 11 – 1 – support the growth of the city economy. If this was the only reason to consider planning applications then heaven help the streetscape of our city. What level of increased activity and business growth does the applicant expect? What will be the impact on residents?

The applicant's comments on Des1/4/5a are irrelevant as applications need to be considered on their own merits.

Many thanks

Martin Riddell



From: [REDACTED]
Sent: 19 Jul 2019 14:34:04 +0000
To: Local Review Body
Cc: Aidan McMillan
Subject: RE: Representation for Appeal - 184 - 186 Queensferry Road - 19/00080/REVREF

Hi Aidan,

Unfortunately this objection from Martin Riddell is full of errors and false accusations. It should also be noted that any involvement from the community council is most likely biased as Mr Riddell is the treasurer:

2.1 - The workshop area that we, Actualultra Ltd, lease was built in 1926 at the same time as the tenement, not after as is stated. I would have thought the community council would know this. I can request the original plans from Baillie Signs should you require these.

3.1 - The plans submitted, in particular the OS map clearly shows the existing boundary and the proposed extension.

3.3 A – a foliage screen is very possible and could be created as a living wall rather than a traditional root based tree/hedge

Continually referring to the extension as a shed is designed to be inflammatory. It is an aluminium clad steel frame building which is common throughout Edinburgh. High profile locations such as Quatermile used aluminium cladding in a conservation area so quality of materials should not be brought into question

The remark about the acknowledgement of the garage opposite is important as the garage also contributes to the streetscape. The roof of the Farmer garage opposite is made from aluminium or steel cladding and was replaced earlier this year which shows that it is not made from asbestos, a banned material. To suggest it is made from asbestos is disingenuous and a lie. It is surprising that someone who is treasure of the community council and lives on the street would not have noticed this

3.3 B - It should be noted that I cannot see the photo on the document so cannot comment on these.

The windows of the flats in the tenement are 10m away from the proposed extension, therefore should not be considered immediate outlook. As I have said in the appeal letter the council's own website states: "We cannot consider comments on non relevant planning issues, such as loss of private view"

3.3 C – there are no trees on the site that will be in any way affected by the proposed extension which is to be 1m away from the boundary with the garden.

3.3 D – there is no increased vehicular traffic envisaged and sightlines would not be affected as the existing retaining wall is not being moved.

3.4 -1 – previous planning standards have led to the current streetscape so I cannot understand how Mr Riddell finds these irrelevant

3.4 -2 - The workshop area that we, Actualultra Ltd, lease was built in the 1926 at the same time and as part of the development of the tenement, not after as is stated. I would have thought the community council would know this. I can request the original plans from Baillie Signs should you require these.

3.4 -3 – again I cannot see the photos in the PDF

The claim that there are 34 objections is very misleading. There are objection from a total of 9 properties on Maidencraig Crescent, a number of which are from the same individual or from children of the residents. There are 70 properties on Maidencraig Crescent according to Zoopla.com. They are not all on the electoral role (Electoral roll from 1992 onwards is listed on 192.com - <http://www.nationalarchives.gov.uk/help-with-your-research/research-guides/electoral-registration/>) and I'm sure you the council can check this. Accusations of lying are unbecoming of a community councillor particularly when they are clearly false allegations. It should also be noted that a number of the properties which the objections come from have no visibility of our property including Mr Riddell's property. Three of the objections come from the same person, Neil Petrie. For example, there are 4 objections from Mr Riddell's household, but only 2 of whom are listed on 192.com as being on the electoral roll at that address.

Only 9 out of 70 properties hardly shows strong and united support against the application.

We are proposing to increase our staffing level by 2 members which will have no impact on the residents. The garage space is to house our vehicles overnight

The size of the building is smaller than the tenements on Queensferry Road and the flats at Maidencraig Court

The streetscape is commercial at both ends and the style of building proposed is a more modern version of the garages at Farmer

Regards
Margot

From: Aidan McMillan <Aidan.McMillan@edinburgh.gov.uk>
Sent: 04 July 2019 07:48
To: [REDACTED]
Subject: Representation for Appeal - 184 - 186 Queensferry Road - 19/00080/REVREF

Good morning,

Please find attached new objection comment for 184 - 186 Queensferry Road - 19/00080/REVREF.

Please note you have 14 days to respond to these comments. Please send you response to;
LocalReviewBody@edinburgh.gov.uk.

Regards,

A McMillan

Aidan McMillan | Transactions Officer | Building Standards | C.4 | The City of Edinburgh Council | Waverley Court, 4 East Market Street, EH8 8BG. | Tel. 0131 529 2253

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From: [REDACTED]
Sent: 13 Jul 2019 13:21:18 +0100
To: Local Review Body
Subject: Re: Notice of Local Review No 19/00541/FUL

Re: 19/00541/FUL

Further to the “**Confirmation of Receipt of Notice of review**” letter dated 13th June I would like to fully endorse and support my neighbours’ Mr Riddell and Mr Edgerton’s response to Actualultra’s reasons for applying for a review.

Both have clearly listed and presented the relevant counter arguments to the review application and the valid objections regarding the impact of this planning proposal on the local community.

I found Actualultra’s point that ‘The majority of objections are multiples from the same person or are from people not on the electoral register’ particularly odd since it is so easily refuted. As pointed out by my neighbours there were 35 comments, 3 from the same person, leaving 32 objections. I confess to being the person who entered 3 times. Re submitting twice to add to previous comments but unfortunately predictive text included my old postcode creating two extra entries, although evidently from myself. I can also assure you I am Edinburgh born and on the electoral register.

I would also like to emphasise that a building this size and height which is not in keeping with surrounding buildings, will undoubtedly impact on immediate neighbouring gardens and the houses in Maidencraig Crescent. Over the years Actualultra (Baillie Signs) have purchased gardens behind their building, tarmacked over them and pulled down trees. They attempted to purchase the remaining two gardens at the back several times including my own. Following further recent unsuccessful attempts, a massive building has now been proposed completely overshadowing our remaining two gardens! Being one metre away will not make any difference to this.

I believe that an industrial development to this scale should be on an industrial site not a residential area. The Baillie Signs building was previously a St Cuthbert’s Store and a commercial property, not industrial.

Many thanks

Neil Petrie

182/1 Queensferry Road EH4 2BW

On Thu, Jun 13, 2019 at 3:02 PM <localreviewbody@edinburgh.gov.uk> wrote:

Please See Attached This email is to inform you that a local review has been received for a planning application that you commented on .

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From: [REDACTED] a
Sent: 19 Jul 2019 15:29:20 +0000
To: Local Review Body
Cc: Aidan McMillan
Subject: RE: Objection comment received for 184 - 186 Queensferry Road. LRB - 19/00080/REVREF

Hi Aidan,

Unfortunately I have been on holiday and did not have a chance to respond to this objection within the stated timescales. I would be grateful if you would consider the below points:

2.1 – comments about the 60's and 70's have no bearing on the original building or the proposed extension

3.1 – the OS map provided with the application is a scale drawing which shows the distance to the boundary.

3.3A – a foliage screen could easily be put into place either in the traditional hedge/trees form or in the form of a living wall

Remarks about removal of trees by Actualultra are completely false. We only took on the lease on this building in 2018 and have not removed any trees (there are no trees on the property). We in fact have had no communication, good or bad with our neighbours

The OS map clearly shows the location of the extension, to say otherwise is completely false

The proposed materials are aluminium clad steel framed structure. There is the option to render the aluminium cladding should this be a requirement.

3.3B – My measurement of 16m from the tenement to the proposed extension is accurate. The proposed building is not 3.45 m taller than the existing building, it is 3.45m taller than the rear section of the building, still being considerable shorter than the whole tenement. Mr Egerton claims it is only 15m, but he hasn't come over to measure this unless it was done without our permission. I would be more than happy to show that my measurements are correct

The high rise flats to the east are in fact only approximately 20m from the nearest property, not 30 as stated by Mr Egerton

3.3C – the garden is currently overshadowed by the tenement and the rear workshop area throughout the afternoon

3.4.1 – Planning permission was sought and granted to change the use of the land from garden to storage yard so it's original form is irrelevant. The whole area used to be a farm

3.4.2 – the street is commercial at both ends of the Crescent where it meets Queensferry Road and is therefore a street of mixed use.

3.4.3 – Mr Egerton says it will look awful, but in 3.3A says he doesn't know what it is going to look like. Which is it?

We have no requirements for windows and as stated in the decision notice, this removes any privacy concerns

3.4.4 – We work next to the garden and can see the sun patterns every day, during the day. Mr Egerton's comments are just accusations with no basis

The OS map is very clear as to when the building will be positioned and it's ground size. The other drawings detail the height

The claim that there are 34 objections is very misleading. There are objection from a total of 9 properties on Maidencraig Crescent, a number of which are from the same individual or from children of

the residents. There are 70 properties on Maidencraig Crescent according to Zoopla.com. They are not all on the electoral role (Electoral roll from 1992 onwards is listed on 192.com - <http://www.nationalarchives.gov.uk/help-with-your-research/research-guides/electoral-registration/>) and I'm sure you the council can check this. Accusations of making false claims are wrong and designed to belittle Actualultra. It should also be noted that a number of the properties which the objections come from have no visibility of our property. For example, there are 4 objections from Mr Egerton's household, but only 3 of whom are listed on 192.com as being on the electoral roll at that address.

Des 4 – the proposal is shorter than the tenement it is ultimately attached to and is of similar materials to the commercial garage across Maidencraig Crescent

Des 5a – the proposed building is far enough away so as not to affect immediate outlook

There will be no requirement for increased on street parking as the. The space in the proposed extension is more than ample to take the vehicle. We currently use the yard and tent for storage of materials.

The intended use of the proposed extension is for storage and vehicle parking. Any expectations from Mr Egerton are just that, his expectations and have no basis of fact.

Regards
Margot

From: Aidan McMillan <Aidan.McMillan@edinburgh.gov.uk>

Sent: 25 June 2019 10:38

To: [REDACTED]

Subject: Objection comment received for 184 - 186 Queensferry Road. LRB - 19/00080/REVREF

Good morning,

Please find attached copy of the objection comment regarding, 184 - 186 Queensferry Road. LRB - 19/00080/REVREF.

You will have 14 days to respond. You can send your response by email to; localreviewbody@edinburgh.gov.uk. Or by sending it via paper form to the below address;

Waverley Court
4 East Market Street
EH8 8BG

If you are sending it via post please mark it to Building Standards.

Regards,

A McMillan

Aidan McMillan | Transactions Officer | Building Standards | C.4 | The City of Edinburgh Council | Waverley Court, 4 East Market Street, EH8 8BG. | Tel. 0131 529 2253

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From: A [REDACTED]
Sent: 19 Jul 2019 15:29:20 +0000
To: Local Review Body
Cc: Aidan McMillan
Subject: RE: Objection comment received for 184 - 186 Queensferry Road. LRB - 19/00080/REVREF

Hi Aidan,

Unfortunately I have been on holiday and did not have a chance to respond to this objection within the stated timescales. I would be grateful if you would consider the below points:

2.1 – comments about the 60's and 70's have no bearing on the original building or the proposed extension

3.1 – the OS map provided with the application is a scale drawing which shows the distance to the boundary.

3.3A – a foliage screen could easily be put into place either in the traditional hedge/trees form or in the form of a living wall

Remarks about removal of trees by Actualultra are completely false. We only took on the lease on this building in 2018 and have not removed any trees (there are no trees on the property). We in fact have had no communication, good or bad with our neighbours

The OS map clearly shows the location of the extension, to say otherwise is completely false

The proposed materials are aluminium clad steel framed structure. There is the option to render the aluminium cladding should this be a requirement.

3.3B – My measurement of 16m from the tenement to the proposed extension is accurate. The proposed building is not 3.45 m taller than the existing building, it is 3.45m taller than the rear section of the building, still being considerable shorter than the whole tenement. Mr Egerton claims it is only 15m, but he hasn't come over to measure this unless it was done without our permission. I would be more than happy to show that my measurements are correct

The high rise flats to the east are in fact only approximately 20m from the nearest property, not 30 as stated by Mr Egerton

3.3C – the garden is currently overshadowed by the tenement and the rear workshop area throughout the afternoon

3.4.1 – Planning permission was sought and granted to change the use of the land from garden to storage yard so it's original form is irrelevant. The whole area used to be a farm

3.4.2 – the street is commercial at both ends of the Crescent where it meets Queensferry Road and is therefore a street of mixed use.

3.4.3 – Mr Egerton says it will look awful, but in 3.3A says he doesn't know what it is going to look like. Which is it?

We have no requirements for windows and as stated in the decision notice, this removes any privacy concerns

3.4.4 – We work next to the garden and can see the sun patterns every day, during the day. Mr Egerton's comments are just accusations with no basis

The OS map is very clear as to when the building will be positioned and it's ground size. The other drawings detail the height

The claim that there are 34 objections is very misleading. There are objection from a total of 9 properties on Maidenraig Crescent, a number of which are from the same individual or from children of

the residents. There are 70 properties on Maidencraig Crescent according to Zoopla.com. They are not all on the electoral role (Electoral roll from 1992 onwards is listed on 192.com - <http://www.nationalarchives.gov.uk/help-with-your-research/research-guides/electoral-registration/>) and I'm sure you the council can check this. Accusations of making false claims are wrong and designed to belittle Actualultra. It should also be noted that a number of the properties which the objections come from have no visibility of our property. For example, there are 4 objections from Mr Egerton's household, but only 3 of whom are listed on 192.com as being on the electoral roll at that address.

Des 4 – the proposal is shorter than the tenement it is ultimately attached to and is of similar materials to the commercial garage across Maidencraig Crescent

Des 5a – the proposed building is far enough away so as not to affect immediate outlook

There will be no requirement for increased on street parking as the. The space in the proposed extension is more than ample to take the vehicle. We currently use the yard and tent for storage of materials.

The intended use of the proposed extension is for storage and vehicle parking. Any expectations from Mr Egerton are just that, his expectations and have no basis of fact.

Regards
Margot

From: Aidan McMillan <Aidan.McMillan@edinburgh.gov.uk>

Sent: 25 June 2019 10:38

To: [REDACTED]

Subject: Objection comment received for 184 - 186 Queensferry Road. LRB - 19/00080/REVREF

Good morning,

Please find attached copy of the objection comment regarding, 184 - 186 Queensferry Road. LRB - 19/00080/REVREF.

You will have 14 days to respond. You can send your response by email to; localreviewbody@edinburgh.gov.uk. Or by sending it via paper form to the below address;

Waverley Court
4 East Market Street
EH8 8BG

If you are sending it via post please mark it to Building Standards.

Regards,

A McMillan

Aidan McMillan | Transactions Officer | Building Standards | C.4 | The City of Edinburgh Council | Waverley Court, 4 East Market Street, EH8 8BG. | Tel. 0131 529 2253

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Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Tel: 0131 529 3550 Fax: 0131 529 6206 Email: planning.systems@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100165495-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mrs"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text" value="Actualultra Ltd"/>
First Name: *	<input type="text" value="Margot"/>	Building Number:	<input type="text"/>
Last Name: *	<input type="text" value="Leslie"/>	Address 1 (Street): *	<input type="text" value="184-186a Queensferry Road"/>
Company/Organisation	<input type="text" value="Actualultra LTD"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text" value="0131 357 8984"/>	Town/City: *	<input type="text" value="Edinburgh"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="United Kingdom"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="EH4 2BW"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="mail@actualultra.co.uk"/>		

Site Address Details

Planning Authority:

City of Edinburgh Council

Full postal address of the site (including postcode where available):

Address 1:

184-186 QUEENSFERRY ROAD

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

EDINBURGH

Post Code:

EH4 2BW

Please identify/describe the location of the site or sites

Northing

674468

Easting

322257

Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Garage extension to industrial premises for vehicle and good storage

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please see the attached document, Planning appeal.pdf detailing our reasons for appeal

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Planning appeal.pdf All other documents formed the original application

Application Details

Please provide details of the application and decision.

What is the application reference number? *

19/00541/ful

What date was the application submitted to the planning authority? *

13/02/2019

What date was the decision issued by the planning authority? *

11/03/2019

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mrs Margot Leslie

Declaration Date: 10/06/2019

We are appealing against the following sections of the decision to refuse planning permission:

2.1 – it should be noted that the existing building was built along with the attached tenement in the 1920's on farm land prior to the surrounding residential buildings

3.1 – the existing building is 6.3m tall with the proposed extension rising from 8.1m at the eaves to 9.75 at the peak of the apex, there only a maximum of 3.45m above the existing building and only 1.8m at the eaves

When looking at the location map it clearly shows that the proposed extension does not reach the boundary wall and that the wall will be retained. The extension is shown to be approx. 1m in from the boundary wall when this drawing is scaled up.

3.3 – a) – The existing workshop predates the existing streetscape and should not have its expansion restricted by properties built after it

The commercial garage on the opposite side of Maidencraig Crescent is acknowledged and is of similar material as the proposal. This shows that the proposal is not of different character to the wider area.

It is stated that this “shed” is well screened by foliage. Surely permission could have been granted with a stipulation that the proposed extension must be screened by foliage.

The proposed extension is not to the “heel of the pavement” as stated in the refusal, it is in fact a similar distance from the pavement as the garage opposite. This is shown on the location plan when scaled up

The choice of materials is matching to those on the garage opposite, therefore not inappropriate. How can materials that match the workshops existing materials still be deemed inappropriate considering it predates the surrounding residential buildings and has been in place for nearly 100 years? It should also be noted that the workshop is rendered as are the bungalows on the Maidencraig Crescent.

3.3 – b) – immediate outlook – the first-floor flats view cannot be taken into account according to Edinburgh Council's own advice relating to viewing and commenting on planning applications;

“we cannot consider comments on non-relevant planning issues, such as, loss of private view”.

The extension proposed is over 16m from the rear of the tenement flats, and much further from the bungalows across the street. To further this point the high-rise buildings to the east were erected after the bungalows and passed planning without rejection due to loss of amenity

3.3 – c) - Impact on garden ground to the east of the proposed extension – the location plan shows the proposed extension to be approx. 1m away from the garden ground. It would have no effect on daylight or sunlight due to the garden being north facing. The height of the building at this point is 8.1m, not 10m as stated on the report

3.3 – d) – sight lines for vehicles leaving the existing yard. The remarks relating to this show that the planning officer did not visit the site as it would have been clear that drivers' sightlines are already impeded by the existing retaining wall which is not being removed

3.4 – 1 – the design is similar to the commercial building across the street, therefore matching the existing streetscape. The scale is considerably smaller than the tenement at 182-190 Queensferry Road and the flats to the east and is therefore not alien to the street

3.4 – 2 – impact on setting should not be used to limit the extension potential of a building that predates the adjacent houses the proposal is said to affect

3.4 – 3 – loss of visual amenity should not be taken into account as detailed about against point 3.3 b, due to Edinburgh Council’s own policy

3.4 – 4 – the proposal will not fully overshadow the adjacent garden ground due to the orientation of the buildings. The proposal also shows the garden ground being approx. 1m away from the building. It should be noted that the proposed extension is only 1.8m taller than the existing building at the side facing the garden

Further points:

The decision was made exceedingly fast, within 26 days of acknowledging the application showing that very little, if any, time was spent assessing the proposal. This is further shown by the remarks in the report of handling which do not match up to the drawings, such as 3.1 “red line boundary only includes the proposed extension” - the location map supplied clearly shows the site boundary and the area of the proposed extension.

The planning officer has made a number of assumptions without making any contact to clarify these points. From previous experience a planning officer will normally question anything they are unsure of or seek further drawings to ensure that their assumptions are correct.

We contacted the planning officer on 1st March and were told that an extension of any form or size in this location would be unacceptable. We had proposed stipulations such as rendering the building or a foliage screen, but these were rejected out of hand

The majority of objections are multiples from the same person or are from people not on the electoral register

The decision to refuse permission is contrary LDP - aims and strategy 11 – 1 – support the growth of the city economy

The choice of materials is consistent with LDP due to their insulating properties, therefore reducing energy use

Des 1 refers to the character of the area. Considering the garage opposite using similar materials, the proposal is in keeping with, and will not damage, the character of the area

Des 4 – the proposed extension has similar appearance to the garage opposite and is smaller in height and scale to a number of surrounding buildings.

Des 5 a – the closest property to the proposed extension is 16m away. This is a similar distance to across Queensferry Road (Marischal Place) at the dip in Blackhall, therefore it does not affect daylight, sunlight, privacy or immediate outlook. There are no references to noise and there would be no noise concerns. Garden ground is 1m to the east from the proposed extension. Daylight and sunlight will not be affected as the garden is north facing.

Proposal Details

Proposal Name	100165495
Proposal Description	Appeal the refusal of planning application
19/00541/FUL	
Address	184-186 QUEENSFERRY ROAD, EDINBURGH,
EH4	2BW
Local Authority	City of Edinburgh Council
Application Online Reference	100165495-001

Application Status

Form	complete
Main Details	complete
Checklist	complete
Declaration	complete
Supporting Documentation	complete
Email Notification	complete

Attachment Details

Notice of Review	System	A4
appeal details	Attached	A4
Notice_of_Review-2.pdf	Attached	A0
Application_Summary.pdf	Attached	A0
Notice of Review-001.xml	Attached	A0

2 Design Principles for New Development

150 The Council encourages innovation and well designed developments that relate sensitively to the existing quality and character of the local and wider environment, generate distinctiveness and a sense of place, and help build stronger communities. Policies Des 1–Des 13 will be used to assess planning applications to meet the following objectives. More detailed advice on how to interpret and apply these policies can be found in Council guidance including in the Edinburgh Design Guidance document.



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Objectives

- a) To ensure that new development is of the highest design quality and respects, safeguards and enhances the special character of the city
- b) To ensure that the city develops in an integrated and sustainable manner
- c) To create new and distinctive places which support and enhance the special character of the city and meet the needs of residents and other users

Policy Des 1 Design Quality and Context

Planning permission will be granted for development where it is demonstrated that the proposal will create or contribute towards a sense of place. Design should be based on an overall design concept that draws upon positive characteristics of the surrounding area. Planning permission will not be granted for poor quality or inappropriate design or for proposals that would be damaging to the character or appearance of the area around it, particularly where this has a special importance.

151 This policy applies to all new development, including alterations and extensions. The Council expects new development to be of a high standard of design. The Council's policies and guidelines are not to be used as a template for minimum standards. The purpose of the policy is to encourage innovation in the design and layout of new buildings, streets and spaces, provided that the existing quality and character of the immediate and wider environment are respected and enhanced and local distinctiveness is generated.

Agenda Item 7.1

Policy Des 2 Co-ordinated Development

Planning permission will be granted for development which will not compromise:

- a) the effective development of adjacent land; or
- b) the comprehensive development and regeneration of a wider area as provided for in a master plan, strategy or development brief approved by the Council.

152 This policy applies to all development involving one or more new buildings. The Council encourages a comprehensive approach to redevelopment and regeneration wherever possible, and the preparation of development frameworks or master plans, to identify the full design potential for creating successful places. Piecemeal development is less likely to lead to the creation of well-defined and cohesive networks of streets and spaces. In exceptional cases, it may be necessary for the Council to use its powers of compulsory purchase to assemble a site for development and enable a satisfactory outcome to be achieved.

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Policy Des 3 Development Design - Incorporating and Enhancing Existing and Potential Features

Planning permission will be granted for development where it is demonstrated that existing characteristics and features worthy of retention on the site and in the surrounding area, have been identified, incorporated and enhanced through its design.

153 This policy is relevant for all new development involving one new building or more. Its aim is to ensure that development proposals are informed by a detailed analysis and understanding of the site. The incorporation of existing features including built structures, archaeology, trees and woodland, landscape character, views and biodiversity can enhance a development's sense of place and contribution to the wider habitat and green network. Where practicable, proposals should provide new habitat to further the conservation of biodiversity.

Policy Des 4 Development Design – Impact on Setting

Planning permission will be granted for development where it is demonstrated that it will have a positive impact on its surroundings, including the character of the wider townscape and landscape, and impact on existing views, having regard to:

- a) height and form
- b) scale and proportions, including the spaces between buildings
- c) position of buildings and other features on the site
- d) materials and detailing

154 This policy applies to all new development of one or more buildings. Where the built environment is of high quality and has a settled townscape character, new development proposals will be expected to have similar characteristics to the surrounding buildings and urban grain. Where the surrounding development is fragmented or of poor quality, development proposals should help repair the urban fabric, establish model forms of development and generate coherence and distinctiveness – a sense of place. The siting and design of development should also be guided by views within the wider landscape and an understanding of local landscape character, including important topographical features, e.g. prominent ridges, valleys and patterns of vegetation.

Policy Des 5 Development Design – Amenity

Planning permission will be granted for development where it is demonstrated that:

- a) the amenity of neighbouring developments is not adversely affected and that future occupiers have acceptable levels of amenity in relation to noise, daylight, sunlight, privacy or immediate outlook
- b) the design will facilitate adaptability in the future to the needs of different occupiers, and in appropriate locations will promote opportunities for mixed uses
- c) community security will be promoted by providing active frontages to more important thoroughfares and designing for natural surveillance over all footpaths and open areas
- d) a clear distinction is made between public and private spaces, with the latter provided in enclosed or defensible forms
- e) refuse and recycling facilities, cycle storage, low and zero carbon technology, telecommunications equipment, plant and services have been sensitively integrated into the design

155 This policy applies to all new development for one or more new buildings. Buildings must meet the needs of users and occupiers, with consideration given to impacts on neighbouring properties to ensure no unreasonable noise impact or loss of daylight, sunlight or privacy. Buildings should be designed to be flexible in use and interact closely with the street, providing continuity of urban frontage and natural surveillance. Cul-de-sac and single access residential layouts and gated communities should be avoided to help the integration of new development into the wider neighbourhood. Ancillary facilities must be sensitively integrated into the design of buildings to avoid impacting upon the surrounding townscape.

Policy Des 6 Sustainable Buildings

Planning permission will only be granted for new development where it has been demonstrated that:

- a) the current carbon dioxide emissions reduction target has been met, with at least half of this target met through the use of low and zero carbon generating technologies.
- b) other features are incorporated that will reduce or minimise environmental resource use and impact, for example:
 - i. measures to promote water conservation
 - ii. sustainable urban drainage measures that will ensure that there will be no increase in rate of surface water run-off in peak conditions or detrimental impact on the water environment. This should include green roofs on sites where measures on the ground are not practical
 - iii. provision of facilities for the separate collection of dry recyclable waste and food waste
 - iv. maximum use of materials from local and/or sustainable sources
 - v. measures to support and encourage the use of sustainable transport, particularly cycling, including cycle parking and other supporting facilities such as showers.

156 This policy applies to all development involving one or more new buildings. The purpose of this policy is to help tackle the causes and impacts of climate change, reduce resource use and moderate the impact of development on the environment.

157 Buildings account for a substantial proportion of total carbon emissions through the energy they consume. Local authorities, through their planning and building standards responsibilities have a key role in helping to meet the Scottish Government's target for nearly zero carbon homes and buildings by 2016. Scottish Building Standards set carbon dioxide emissions reduction targets. At March 2013,

Policy Des 11 Tall Buildings – Skyline and Key Views

Planning permission will only be granted for development which rises above the building height prevailing generally in the surrounding area where:

- a) a landmark is to be created that enhances the skyline and surrounding townscape and is justified by the proposed use
- b) the scale of the building is appropriate in its context
- c) there would be no adverse impact on important views of landmark buildings, the historic skyline, landscape features in the urban area or the landscape setting of the city, including the Firth of Forth.

166 Proposals for development that would be conspicuous in iconic views of the city will be subject to special scrutiny. This is necessary to protect some of the city's most striking visual characteristics, the views available from many vantage points within the city and beyond, of landmark buildings, the city's historic skyline, undeveloped hillsides within the urban area and the hills, open countryside and the Firth of Forth which create a unique landscape setting for the city. In addition, the height of new buildings may need to be suppressed where necessary so that the city's topography and valley features continue to be reflected in roofscapes. This policy will play an important role in protecting the setting of the World Heritage Sites.

167 A study undertaken for the Council identifies key public viewpoints and is used in assessing proposals for high buildings. Further advice is provided in Council guidance.

Policy Des 12 Alterations and Extensions

Planning permission will be granted for alterations and extensions to existing buildings which:

- a) in their design and form, choice of materials and positioning are compatible with the character of the existing building
- b) will not result in an unreasonable loss of privacy or natural light to neighbouring properties
- c) will not be detrimental to neighbourhood amenity and character

168 Every change to a building, street or space has the potential to enrich or, if poorly designed, impoverish a part of the public realm. The impact of a proposal on the appearance and character of the existing building and street scene generally must be satisfactory and there should be no unreasonable loss of amenity and privacy for immediate neighbours.

Policy Des 13 Shopfronts

Planning permission will be granted for alterations to shopfronts which are improvements on what already exists and relate sensitively and harmoniously to the building as a whole. Particular care will be taken over proposals for the installation of illuminated advertising panels and projecting signs, blinds, canopies, security grills and shutters to avoid harm to the visual amenity of shopping streets or the character of historic environments.

169 Shopfront design, shop designs and shopfront advertising play an important role in the visual environment of the city. Important traditional or original features on older buildings, such as stall risers, fascias and structural framing of entrances and shop windows, should be retained and incorporated into the design. In conservation areas and on listed buildings, design and materials used will be expected to be of a high standard, and not damaging to existing fabric of buildings or wider character. Detailed advice on shopfronts is provided in Council guidance.

Natural Environment

180 Policies Env 10 to Env 16 will play an important role in ensuring development proposals protect and where possible enhance Edinburgh's natural heritage. Further advice can be found in Council guidance.

Policy Env 10 Development in the Green Belt and Countryside

Within the Green Belt and Countryside shown on the Proposals Map, development will only be permitted where it meets one of the following criteria and would not detract from the landscape quality and/or rural character of the area:

- Page 377
- a) For the purposes of agriculture, woodland and forestry, horticulture or countryside recreation, or where a countryside location is essential and provided any buildings, structures or hard standing areas are of a scale and quality of design appropriate to the use.
 - b) For the change of use of an existing building, provided the building is of architectural merit or a valuable element in the landscape and is worthy of retention. Buildings should be of domestic scale, substantially intact and structurally capable of conversion.
 - c) For development relating to an existing use or building(s) such as an extension to a site or building, ancillary development or intensification of the use, provided the proposal is appropriate in type in terms of the existing use, of an appropriate scale, of high quality design and acceptable in terms of traffic impact.
 - d) For the replacement of an existing building with a new building in the same use provided:
 - 1) the existing building is not listed or of architectural / historic merit;
 - 2) the existing building is of poor quality design and structural condition,
 - 3) the existing building is of domestic scale, has a lawful use and is not a temporary structure; and

4) the new building is of a similar or smaller size to the existing one, lies within the curtilage of the existing building and is of high design quality.

- 181 It is necessary to control the type and scale of development in the green belt to enable it to fulfil its important role in terms of landscape setting and countryside recreation as described in Part 1. However, the purpose of the green belt is not to prevent development from happening. This policy sets out the circumstances in which development in the green belt can be supported.
- 182 In Edinburgh, Countryside areas i.e. land outwith existing settlements, which are not designated green belt are considered to be of equivalent environmental importance. For this reason, it is appropriate to apply the same level of protection to both green belt and Countryside areas.
- 183 The key test for all proposals in the green belt and Countryside areas will be to ensure that the development does not detract from the landscape quality and/or rural character of the area. The Council's guidance 'Development in the Countryside and Green Belt' provides more detailed advice.

Policy Env 11 Special Landscape Areas

Planning permission will not be granted for development which would have a significant adverse impact on the special character or qualities of the Special Landscape Areas shown on the Proposals Map

- 184 This policy aims to protect Edinburgh's unique and diverse landscape which contributes to the city's distinctive character and scenic value. Special Landscape Areas (SLA) are local designations, which safeguard and enhance the character and quality of valued landscapes across the Council area.
- 185 A Statement of Importance has been prepared for each SLA and can be viewed on the Council's website. This sets out the essential qualities and characteristics of the area and the potential for enhancement. The Statements of Importance should be

used to guide development proposals in SLAs and will be a material consideration in assessing planning applications. A landscape and visual impact assessment is likely to be needed in support of proposals affecting a SLA.

Policy Env 12 Trees

Development will not be permitted if likely to have a damaging impact on a tree protected by a Tree Preservation Order or on any other tree or woodland worthy of retention unless necessary for good arboricultural reasons. Where such permission is granted, replacement planting of appropriate species and numbers will be required to offset the loss to amenity.

186 This policy recognises the important contribution made by trees to character, biodiversity, amenity and green networks. In assessing proposals affecting trees, the Council will consider their value, taking into account current Scottish Government guidance – presently contained in its Policy on Control of Woodland Removal and UK Forest Standard – and their status such as Tree Preservation Order, heritage tree, Ancient Woodland and Millennium Woodland, along with information from tree surveys.

187 Where necessary to protect trees, the Council will use its powers to make and enforce Tree Preservation Orders.

Nature Conservation

Policy Env 13 Sites of International Importance

Development likely to have a significant effect on a 'Natura 2000 site' will be permitted only if either:

- a) the development will not adversely affect the integrity of the area; or
- b) it has been demonstrated that:
- c) there are no alternative solutions and
- d) there are imperative reasons of overriding public interest for permitting the development, including reasons of a social or economic nature.
- e) **compensatory measures are provided to ensure that the overall coherence of the Natura network is protected.**

188 The Plan area covers internationally important sites known as 'Natura 2000 sites', designated under the Conservation (Natural Habitats, &c) Regulations 1994. These are the Firth of Forth, Forth Islands (part), and Imperial Dock Lock Special Protection Areas. Where a proposal may affect an internationally protected site, the Council will carry out a Habitats Regulation Appraisal. If it considers the proposal is likely to have a significant effect, the Council must then undertake an appropriate assessment. The appropriate assessment will consider the implications of the development for the conservation interests for which the area has been designated. Applicants will be required to provide information to inform the appropriate assessment. Development which could harm any of these internationally important areas will only be approved in exceptional circumstances.

Policy Env 14 Sites of National Importance

Development which would affect a Site of Special Scientific Interest will only be permitted where an appraisal has demonstrated that:

- a) the objectives of the designation and the overall integrity of the area will not be compromised or
- b) any significant adverse effects on the qualities for which the area has been designated are clearly outweighed by social or economic benefits of national importance.

189 Sites of Special Scientific Interest (SSSIs) are areas of land (including land covered by water) which are considered by Scottish Natural Heritage (SNH) to be of special interest by reason of their natural features, i.e. their flora, fauna or geological or geomorphological features. Development which could harm an SSSI will be required to demonstrate reasons which clearly outweigh the nature conservation interest of the site and justify a departure from the national policy to protect such sites.

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Policy Env 15 Sites of Local Importance

Development likely to have an adverse impact on the flora, fauna, landscape or geological features of a Local Nature Reserve or a Local Nature Conservation Site will not be permitted unless it can be demonstrated that:

- a) the reasons for allowing the development are sufficient to outweigh the nature conservation interest of the site
- b) the adverse consequences of allowing the development for the value of the site have been minimised and mitigated in an acceptable manner.

190 The purpose of this policy is to protect sites of local nature conservation value and designated Local Nature Reserves from damaging development. The network of Local Nature Conservation sites and Local Nature Reserves is shown on the Proposals

Map. Many of these provide connectivity between internationally and nationally important sites and contribute to green networks. A Site Report has been prepared for each LNCS.

Policy Env 16 Species Protection

Planning permission will not be granted for development that would have an adverse impact on species protected under European or UK law, unless:

- a) there is an overriding public need for the development and it is demonstrated that there is no alternative
- b) a full survey has been carried out of the current status of the species and its use of the site
- c) there would be no detriment to the maintenance of the species at 'favourable conservation status'
- d) suitable mitigation is proposed

191 European Protected Species (EPS) are covered by the Habitats Regulations. EPS found in the Edinburgh area are bats, otters, and great crested newts. Other species-specific legislation to be taken into account includes the Protection of Badgers Act 1992 and those species listed in the Schedules of the Wildlife and Countryside Act 1981. If the presence of an EPS or other protected species is suspected, appropriate survey work must be carried out to enable the Council to assess the likely impact of development on the species.

* *The EU Habitats Directive defines 'favourable conservation status' as the distribution and population of the species being at least the same as when the Directive came into force in 1994.*

Countryside Access and Open Space

Policy Env 17 Pentlands Hills Regional Park

Development which supports the aims of the Pentlands Hills Regional Park will be permitted provided it has no unacceptable impact on the character and landscape quality of the Park.

192 This policy aims to ensure that proposals for outdoor recreation activities, whilst likely to be supported in principle, do not detract from the special rural character of the Regional Park. Proposals will also be assessed in terms of other relevant policies such as Env 10 Green Belt and Env 11 Landscape Quality.

Open Space

193 The Proposals Map shows the significant areas of open space identified in an audit of the city. The criteria in Policy Env 18 will be applied to development proposals affecting all such open spaces citywide. Proposals affecting a playing field will be considered against relevant criteria in both Policy Env 18 and Policy Env 19.

Policy Env 18 Open Space Protection

Proposals involving the loss of open space will not be permitted unless it is demonstrated that:

- a) there will be no significant impact on the quality or character of the local environment and
- b) the open space is a small part of a larger area or of limited amenity or leisure value and there is a significant over-provision of open space serving the immediate area and
- c) the loss would not be detrimental to the wider network including its continuity or biodiversity value and either

- d) there will be a local benefit in allowing the development in terms of either alternative equivalent provision being made or improvement to an existing public park or other open space or
- e) the development is for a community purpose and the benefits to the local community outweigh the loss.

194 This policy aims to protect all open spaces, both public and privately owned, that contribute to the amenity of their surroundings and the city, provide or are capable of providing for the recreational needs of residents and visitors or are an integral part of the city's landscape and townscape character and its biodiversity. The Council will only support development on open space in exceptional circumstances, where the loss would not result in detriment to the overall network and to open space provision in the locality. Such circumstances tend to exist where large areas of residential amenity space have been provided without a clear purpose or sense of ownership. The Council's Open Space Strategy sets the standards to be met for open space provision across Edinburgh and will be used to assess whether there is an over provision of open space in the immediate area (criterion b). To accord with criterion d), proposals for alternative provision or improvements to open space should normally address an identified action in the Open Space Strategy.

Policy Env 19 Protection of Outdoor Sports Facilities

In addition to the requirements of Policy Env 18, the loss of some or all of a playing field or sports pitch will be permitted only where one of the following circumstances applies:

- a) The proposed development is ancillary to the principal use of the site as outdoor sports facilities
- b) The proposed development involves a minor part of outdoor sports facilities and would not adversely affect the use or potential of the remainder for sport and training
- c) An alternative outdoor sports facility is to be provided of at least equivalent

sporting value in a no less convenient location, or existing provision is to be significantly improved to compensate for the loss

- d) The Council is satisfied that there is a clear excess of sports pitches to meet current and anticipated future demand in the area, and the site can be developed without detriment to the overall quality of provision.

195 Outdoor sports facility provision must be considered as a city-wide resource and in terms of its contribution to local needs. The Council's assessment of provision in the city as a whole has concluded that the amount of pitches, whether or not in public ownership or publicly accessible, is equivalent to the need. However, there needs to be significant improvements in quality. On this evaluation, the loss of pitches to development cannot be justified in principle. However, the loss might be acceptable if alternative equivalent provision is to be made in an equally convenient location.

Development has been allowed where other pitches serving the local community are to be equipped with all-weather playing surfaces. The Open Space Strategy identifies the locations where such investment is to be concentrated in multi-pitch venues.

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Policy Env 20 Open Space in New Development

The Council will negotiate the provision of new publicly accessible and useable open space in new development when appropriate and justified by the scale of development proposed and the needs it will give rise to. In particular, the Council will seek the provision of extensions and/or improvements to the green network.

196 This policy ensures that development proposals (other than housing which is covered by Policy Hou 3) include appropriate open space provision and, where the opportunity arises, contribute to Edinburgh's green network. The term 'open space' covers green space and civic space.

Protection of Natural Resources

Policy Env 21 Flood Protection

Planning permission will not be granted for development that would:

- a) increase a flood risk or be at risk of flooding itself
- b) impede the flow of flood water or deprive a river system of flood water storage within the areas shown on the Proposals Map as areas of importance for flood management
- c) be prejudicial to existing or planned flood defence systems.

197 This purpose of this policy is to ensure development does not result in increased flood risk for the site being developed or elsewhere. Identified areas of importance for flood management are identified on the Proposals Map. It is essential to maintain strict control over development in these areas. Proposals will only be favourably considered if accompanied by a flood risk assessment demonstrating how compensating measures are to be carried out, both on and off the site, and that any loss of flood storage capacity is mitigated to achieve a neutral or better outcome. In some circumstances, sustainable flood management or mitigation measures may not be achievable.

198 Culverting of watercourses can exacerbate flood risk and have a detrimental effect on biodiversity. Any further culverting across the city will be opposed, and the removal of existing culverts will be sought when possible.

199 New development can add to flood risk if it leads to an increase in surface water run-off. It is also at risk from water flowing over land during heavy rainfall. Policy Des 6 states that these risks should be avoided by the use of sustainable drainage techniques (SUDs).

Policy Hou 6 Affordable Housing

Planning permission for residential development, including conversions, consisting of 12 or more units should include provision for affordable housing amounting to 25% of the total number of units proposed. For proposals of 20 or more dwellings, the provision should normally be on-site. Whenever practical, the affordable housing should be integrated with the market housing.

- 230 Government policy states that where a shortage of affordable housing has been identified, this may be a material consideration for planning and should be addressed through local development plans.
- 231 Affordable housing is defined as housing that is available for rent or for sale to meet the needs of people who cannot afford to buy or rent the housing generally available on the open market. Affordable housing is important in ensuring that key workers can afford to live in the city as well as helping meet the needs of people on low incomes.
- 232 A key aim is that affordable housing should be integrated with market housing on the same site and should address the full range of housing need, including family housing where appropriate. Provision on an alternative site may be acceptable where the housing proposal is for less than 20 units or if there are exceptional circumstances. Where planning permission is sought for specialist housing an affordable housing contribution may not always be required depending on the nature of the specialist housing being proposed and economic viability considerations.
- 233 Further information on affordable housing requirements is provided in planning guidance. The details of provision, which will reflect housing need and individual site suitability, will be a matter for agreement between the developer and the Council.

Policy Hou 7 Inappropriate Uses in Residential Areas

Developments, including changes of use, which would have a materially detrimental effect on the living conditions of nearby residents, will not be permitted.

- 234 The intention of the policy is firstly, to preclude the introduction or intensification of non-residential uses incompatible with predominantly residential areas and secondly, to prevent any further deterioration in living conditions in more mixed use areas which nevertheless have important residential functions. This policy will be used to assess proposals for the conversion of a house or flat to a House in Multiple Occupation (i.e. for five or more people). Further advice is set out in Council Guidance

Policy Hou 8 Student Accommodation

Planning permission will be granted for purpose-built student accommodation where:

- a) The location is appropriate in terms of access to university and college facilities by walking, cycling or public transport
 - b) The proposal will not result in an excessive concentration of student accommodation (including that in the private rented sector) to an extent that would be detrimental to the maintenance of balanced communities or to the established character and residential amenity of the locality.
- 235 It is preferable in principle that student needs are met as far as possible in purpose-built and managed schemes rather than the widespread conversion of family

Alternative Use of Shop Units

Policy Ret 9 Alternative Use of Shop Units in Defined Centres

In the City Centre Retail Core and town centres, change of use proposals which would undermine the retailing function of the centre will not be permitted. Detailed criteria for assessing proposals for the change of use of a shop unit to a non-shop use will be set out in supplementary guidance. Supplementary Guidance will detail an approach tailored to different parts of the city centre retail core and each town centre to be informed by town centre health checks which will assess the centres strengths, vitality and viability, weaknesses and resiliencies.

The change of use of a shop unit in a local centre to a non-shop use will be permitted provided:

- a) the change of use would not result in four or more consecutive non-shop uses and;
- b) the proposal is for an appropriate commercial, community or business use, which would complement the character of the centre and would not be detrimental to its vitality and viability.

259 This plan aims to protect the important retailing function of defined centres but recognises the benefits of a wide range of complementary service, leisure and other community uses. The right mix of shopping and other uses will vary in the different centres and in the case of the city and town centres, in different parts of the centre. The policy applies to ground floor units only or basement/first floor units that are directly accessed from the pavement.

260 Within the City Centre Retail Core, a strong, high quality retail offer is a key aspect of sustaining and enhancing the city centre and policies are required to ensure that shopping continues to be the predominant use. However in order to achieve a diverse, thriving and welcoming city, a more flexible approach to the introduction of

complementary uses that support the main shopping function and encourage use into the evening is proposed. Supplementary guidance will be prepared to guide the mix of uses in different parts of the City Centre Retail Core and set out criteria for assessing proposals for uses other than shops.

261 Previous local plans incorporated a standard approach to change of use applications in town centres based on identifying primary frontages where there should be a greater proportion of units in shop use. However, each town centre is different in terms of the current mix of uses and how well it is meeting the needs of those who live, work and shop in the surrounding area. In order to take account of these differences, this plan proposes a tailored approach for each town centre. Separate supplementary guidance will be produced to guide change of use applications in each of the nine town centres. The supplementary guidance may also recommend changes to the town centre boundaries to be included in the next Local Development Plan.

262 The policy aims to avoid areas of 'dead frontage' and reduced pedestrian flow which would detract from the character and vitality of the centre by requiring that at least one unit in every four is in shop use. Beyond this requirement, the policy applies a flexible approach to change of use applications in local centres provided the use will be beneficial to the local community such as providing services, hot food or entertainment facilities. In local centres, former shop units may also be suitable for business use, providing a beneficial use for vacant properties and opportunities for small start up businesses and job creation close to where people live.

Policy Ret 10 Alternative Use of Shop Units in Other Locations

Outwith defined centres, planning applications for the change of use of a shop unit will be determined having regard to the following:

- a) where the unit is located within a speciality shopping street (defined on the Proposals Map and in Appendix B), whether the proposal would be to the detriment of its special shopping character
- b) where the unit is located within a predominantly commercial area, whether the proposal would be compatible with the character of the area
- c) whether the proposal would result in the loss of premises suitable for small business use
- d) whether there is a clear justification to retain the unit in shop use to meet local needs
- e) where residential use is proposed, whether the development is acceptable in terms of external appearance and the standard of accommodation created.

263 The purpose of this policy is to guide proposals for change of use involving shop units not located within defined centres.

264 Independent and specialist retailers may be found in secondary locations throughout the city. But their concentration in some streets in the Old Town and on the fringes of the City Centre has given these a distinctive shopping character and interest worthy of protection. The defined speciality shopping streets are Cockburn Street; High Street (parts) Lawnmarket and Canongate; Victoria Street and West Bow, Grassmarket; Jeffrey Street and St Mary's Street; Stafford Street, William Street and Alva Street in the New Town. More detailed information on the frontages to which Policy Ret 10 applies is provided in Appendix B.

265 In parts of the city, mainly the City Centre and Leith, there are concentrations of commercial uses including retail, food and drink, and entertainment uses which, although not fulfilling the role of a local centre, do make a positive

contribution to the vibrancy of the city. Proposals incompatible with the commercial character of such areas will be resisted.

266 Single convenience shops and parades of small shops play an important role in meeting neighbourhood shopping needs and creating a sense of community, particularly in areas not well served by the network of shopping centres. It may be necessary to resist the loss of shop units to ensure local needs, particularly for people without access to car, are met

267 The Council's Guidance for Business provides advice on relevant design and amenity considerations for the conversion of shop units to residential use.

Policy Ret 11 Food and Drink Establishments

The change of use of a shop unit or other premises to a licensed or unlicensed restaurant, café, pub, or shop selling hot food for consumption off the premises (hot food take-away) will not be permitted:

- a) **if likely to lead to an unacceptable increase in noise, disturbance, on-street activity or anti-social behaviour to the detriment of living conditions for nearby residents or**
- b) **in an area where there is considered to be an excessive concentration of such uses to the detriment of living conditions for nearby residents.**

268 The provision of food and drink establishments in areas where people live is a recognisable component of urban living. However, such uses can cause a number of problems for local residents. Particular care will be taken to prevent an excessive concentration of hot food shops, pubs and bars in areas of mixed but essentially residential character. The Council's Guidance for Businesses identifies sensitive areas in this regard namely Tollcross, Grassmarket, Nicolson/Clerk Street and Broughton Place/Picardy Place and their environs.

taken to mitigate any adverse effects on networks and bring accessibility by and use of non-car modes up to acceptable levels if necessary.

271 The policy applies to major offices, retail, entertainment, sport and leisure uses and other non-residential developments which generate a large number of journeys by employees and other visitors. These developments should be accessible by a choice of means of transport which offer real alternatives to the car. For this reason, a location in the City Centre will normally be preferable. Major travel generating developments will also be encouraged to locate in the identified town centres and employment centres, provided that the scale and nature of the development is such that it can be reached conveniently by a majority of the population in its catchment area by walking, cycling or frequent public transport services.

272 Out-of-centre development will only be acceptable where it can clearly be demonstrated that the location is suitable, and that access by sustainable forms of transport and car parking provision and pricing mean that the development will be no more reliant on car use than a town centre location. This means that good public transport, walking and cycling accessibility will still need to be assured.

273 Applications should be accompanied by travel plans to demonstrate how development, particularly in out of centre locations, will meet the requirements of Policy Tra 1. Travel plans should accord with Scottish Government guidance and will be monitored to assess their impact on reducing demand for car travel and maximising use of existing and new transport infrastructure. Travel plans may also be relevant when assessing residential applications in terms of Policy Hou 4 Housing Density or Policy Tra 2 Private Car Parking.

Car and Cycle Parking

Policy Tra 2 Private Car Parking

Planning permission will be granted for development where proposed car parking provision complies with and does not exceed the parking levels set out in Council guidance. Lower provision will be pursued subject to consideration of the following factors:

- a) whether, in the case of non-residential developments, the applicant has demonstrated through a travel plan that practical measures can be undertaken to significantly reduce the use of private cars to travel to and from the site
- b) whether there will be any adverse impact on the amenity of neighbouring occupiers, particularly residential occupiers through on-street parking around the site and whether any adverse impacts can be mitigated through control of on-street parking
- c) the accessibility of the site to public transport stops on routes well served by public transport, and to shops, schools and centres of employment by foot, cycle and public transport
- d) the availability of existing off-street parking spaces that could adequately cater for the proposed development
- e) whether the characteristics of the proposed use are such that car ownership and use by potential occupiers will be low, such as purpose-built sheltered or student housing and 'car free' or 'car reduced' housing developments and others providing car sharing arrangements
- f) whether complementary measures can be put in place to make it more convenient for residents not to own a car, for example car sharing or pooling arrangements, including access to the city's car club scheme.

274 The purpose of this policy is to ensure car parking provided as part of development proposals accords with the Council standards which are tailored to local circumstances, including location, public transport accessibility and economic needs, but generally fulfil the wider strategy of encouraging sustainable, non-car modes. The standards express the maximum amount of car parking that different types of development may provide.

275 The policy sets out the circumstances in which a lesser amount of car parking than the standards require may be appropriate to help reduce car use. This is only likely to be acceptable in locations where there are existing or planned on-street parking controls.

276 At least half the space saved by omitting or reducing car parking should be given over to landscape features and additional private open space (see Policy Hou 3), so that residents will have the amenity benefits of a car-free environment.

Policy Tra 3 Private Cycle Parking

Planning permission will be granted for development where proposed cycle parking and storage provision complies with the standards set out in Council guidance.

277 The provision of adequate cycle parking and storage facilities is important in meeting the objective of the Local Transport Strategy to increase the proportion of journeys made by bicycle. The Council's parking standards set out the required levels of provision of cycle parking and storage facilities in housing developments and a range of non-residential developments.

Policy Tra 4 Design of Off-Street Car and Cycle Parking

Where off-street car parking provision is required or considered to be acceptable, the following design considerations will be taken into account:

a) surface car parks should not be located in front of buildings where the building would otherwise create an active frontage onto a public space or street, and

main entrances to buildings should be located as close as practical to the main site entrance

- b) car parking should preferably be provided at basement level within a building and not at ground or street level where this would be at the expense of an active frontage onto a public street, public space or private open space
- c) the design of surface car parks should include structural planting to minimise visual impact
- d) the design of surface car parking or entrances to car parking in buildings should not compromise pedestrian safety and should assist their safe movement to and from parked cars, for example, by the provision of marked walkways.
- e) Space should be provided for small-scale community recycling facilities in the car parking area in appropriate development, such as large retail developments.

Cycle parking should be provided closer to building entrances than general car parking spaces and be designed in accordance with the standards set out in Council guidance.

278 This policy sets out important design considerations for car and cycle parking provision including environmental quality, pedestrian safety and security. Poorly located or designed car parking can detract from the visual appearance and vitality of the surrounding area. Car parking in front of supermarkets which widely separates entrances from main roads, is an added discouragement to public transport use and walking, and detracts from urban vitality and safety. A high standard of design for surface car parking will be sought, with landscaping to soften its visual impact, and in larger car parks the provision of marked walkways for ease of pedestrian movement and safety. New off-street car parking provides an opportunity to expand the city's network of small recycling points to complement larger community recycling centres. Provision of well located high quality cycle parking suitable to the type of development and to users is an essential component of the Council's efforts to encourage cycling.

Guidance for Householders

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Agenda Item 8.1

March 2018

Guidance for Householders



Misc: Student Housing, Radio Telecommunications, Open Space Strategy etc.

This document and other non-statutory guidance can be viewed at: www.edinburgh.gov.uk/planningguidelines

Introduction

This document sets out guidance for people considering altering or extending their house. It does not cover new houses even if built in the gardens of existing properties – these should meet the requirements set out in [Edinburgh Design Guidance](#).

All house extensions and alterations – including dormers, conservatories, decking, energy devices and replacement doors and windows - should be well designed and of high quality. In particular, they must meet three key requirements. They should

- complement the existing house, leaving it as the dominant element;
- maintain the quality and character of the surrounding area; and
- respect the amenity of adjacent neighbours.

The appointment of an architect is strongly encouraged in all cases.

This document follows the step-by-step sequence from your initial ideas through to obtaining consent:

Work out your space requirements



Check if you need planning permission



Fit the extension onto the site



Test its effect on the amenity of neighbours and the area



Design the detail



Submit your planning application

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Policy Context

The purpose of this guidance is to explain how new development can conform to the policy in the Edinburgh Local Development Plan (LDP) on house alterations and extensions. Developments that follow this guidance will normally be supported. The policy is as follows:

Policy Des 12

Alterations and Extensions

Planning permission will be granted for alterations and extensions to existing buildings which:

- in their design and form, choice of materials and positioning are compatible with the character of the existing building;
- will not result in an unreasonable loss of privacy or natural light to neighbouring properties;
- will not be detrimental to neighbourhood amenity and character.

Alterations and extensions to existing buildings generally raise similar design issues to those of new development. Every change to a building, a street or a space has the potential to enrich or, if poorly designed, impoverish a part of the public realm. The impact of a proposal on the appearance and character of the existing building and street scene generally must be satisfactory and there should be no unreasonable loss of amenity and privacy for immediate neighbours.

Particular attention will be paid to ensuring that such works to listed buildings and non-listed buildings in conservation areas do not damage their special character. Policies Env 4 and Env 6 of the LDP will apply in these cases.

Step 1: Do I need planning permission

Whose responsibility?

It is the householder's responsibility to make sure that all alterations and extensions they make have the necessary consents. Remember, planning permission is only one consent and you may also need a building warrant or a permit to lower your kerb. If not, you could be asked to alter or even demolish new work and put back the original.

It is also your responsibility to make sure you have evidence that the works are Permitted Development and did not need planning permission if this applies.

The Scottish Government circular [Guidance on Householder Permitted Development](#) rights sets out what is included, with examples.

If you want to be sure whether or not works are permitted, you can apply for a [Certificate of Lawfulness](#) at www.eplanning.scot both for proposed works or those already carried out. This certificate is particularly useful if you are selling your house or to avoid legal disputes. Details are given on [page 23](#).

Good enough in the past?

Extensions or alterations in the surrounding area that were granted permission in the past and which do not comply with these guidelines will NOT be taken as setting any form of precedent, and should not be used as examples to follow.

Do I need Permission?

Not all extensions or alterations require planning permission. Many small alterations and extensions can be carried out without the need for planning permission – this is known as Permitted Development (PD) and some alterations may not even be 'development' at all.

However, there are some limitations, particularly for:

Flats (*see definition on page 8*)

Houses in Conservation Areas

Listed Buildings

There are restricted permitted development rights for flats, houses in a conservation area or to a listed building, which are identified in the following pages.

Planning permission will always be required for extensions, dormers and conservatories to flatted properties and to any house in a conservation area.

New dormers on principal frontages always require planning permission, as do balconies and roof terraces.

Listed building consent is always required for an extension, dormers, rooflights or conservatory to a listed building. An application for planning permission may also be needed.

Even if planning permission is not required, other consents such as a building warrant may still be necessary.

The main provisions of the Permitted Development rights are set out on the following pages. However, this is just a summary and, particularly if you are considering unusual proposals or have an awkward site, you should check the Scottish Government Circular.

Permitted Development: the main exemptions

If your proposals exceed the constraints set out here, they may still be acceptable if they accord with Council policies and do not adversely affect amenity, but they will require permission.

Enlargement is any development that increases the internal volume of the original house. It includes a canopy or roof, with or without walls, which is attached to the house, but does not include a balcony. Therefore, a car port is an enlargement but a balcony is not.

Houses

A house can be a detached, a bungalow, semi-detached, or terraced dwelling sitting on its own ground. However, if there is any other occupant or use above or below, it is a flat – see definition on page 8. Flats do not have as wide a range of permitted development as houses. These guidelines apply to houses only, see the separate section on flats on page 7.

Single storey extensions

A single storey extension in the rear garden is permitted development if the height of the eaves is not more than 3 metres and the overall height is not more than 4 metres above the existing ground level measured at lowest part of the adjacent ground surface.

If any part of the extension is within a metre of a boundary, and extends back from the original rear wall of the house more than 3 metres for a terraced house, or 4 metres in other cases, planning permission is needed.

The area covered by any existing and proposed extension cannot be greater than the area of the original house footprint or 50% of the area of the rear “curtilage” (ie the part of the garden behind the front elevation of the original house).

Extensions of more than one storey

Typically, these are either 1½ storey (ie single storey with converted roof space) or 2 storey extensions.

The extension must be at least 10 metres from any boundary to be permitted development. The majority of extensions will not be able to meet this criterion, therefore an application for planning permission would be required.

Porches

Porches are permitted development on any external door of the house providing they are not higher than 3 metres, and the overall footprint of the porch is not more than 3 square metres.

The minimum distance between the porch and any boundary with a road must be more than 2 metres.

Enlargements of the roof

Permitted development rights allow the enlargement of a house by an addition or alteration to its roof, e.g. by a dormer, subject to certain rules.

However, dormers are not permitted development on the principal elevation (usually the front), or on a side elevation if it fronts a road. In addition, permitted development might only apply when:

- the distance from the face of the dormer to the boundary is at least 10 metres;

- the height of the dormer is not higher than the existing house;
- the dormer, or dormers, covers less than half the roof, measured at eaves level; and
- the distance between the dormer and the edges of the roof (including any common boundary with another attached property) is at least 0.3 metres.

Access ramps

Small ramps to any external door are permitted development so long as the ramp is not higher than 0.4 metres or longer than 5 metres; the overall length of the ramp and landings cannot be more than 9 metres; and the combined height of the ramp and any handrail cannot exceed 1.5 metres.

Improvements or alterations that are not enlargements

These include: replacement windows and doors, rooflights, satellite dishes, cladding, painting and new flues; and photo-voltaic or solar thermal equipment, etc.

This class is best visualised as a 1 metre “bubble” surrounding the walls and roof of the house. A householder can add a wide range of different types of development within this “bubble” without having to apply for planning permission.

Balconies, roof terraces or raised platforms are specifically excluded from this class, and require planning permission.

Remember, permitted development rights on this page do not apply if your house is a listed building or in a conservation area.

Microgeneration equipment

Permitted development rights for wind turbines and air, ground and water source heat pumps as well as flues for biomass heating and combined heat and power systems are covered in other classes of permitted development.

Ancillary buildings such as sheds, garages, sun-houses, and greenhouses

Permitted development rights allow buildings “incidental to the enjoyment of the dwelling house” within the rear garden. The height of the eaves (gutter) of any building, including sheds and greenhouses, cannot be higher than 3 metres and no part of the building can be higher than 4 metres for permitted development rights to apply.

Any part of the building within a metre of a boundary cannot be higher than 2.5 metres, to be permitted development.

The total area covered by proposed and existing development must be less than half the relevant curtilage. If not, planning permission is required.

In conservation areas or for a listed building, the footprint of the ancillary building cannot exceed 4 square metres, without permission.

Other building, engineering, installation or other operations

Typical development permitted by this class within the rear curtilage of a house would be free standing solar panels, flag poles, swimming pools and oil tanks.

The resulting height cannot be more than 3 metres, and the total area covered by proposed and existing

development must be less than half the curtilage for permitted development rights to apply.

Hard surfaces

A new or replacement hard surface located between the house and a road must either be porous; or rain water run-off must be dealt within the curtilage of the house, e.g. with a soakaway to be permitted development.

Decking

The floor level of the deck or other raised platform must not exceed 0.5 metres, and the combined height of the deck and any balustrade or screen attached to it must not exceed 2.5 metres to be permitted development.

In conservation areas or the curtilage of a listed building its maximum size is 4 square metres to be permitted development.

Gates, fences, walls or other means of enclosure

The overall height must not be more 2 metres; but if it fronts a road or is in front of the principal or side elevation nearest a road, it cannot exceed 1 metre, otherwise planning permission is required.

Flats

See the definition of a flat on [page 8](#).

Improvements or alterations that are not enlargements, such as replacement windows and doors, photovoltaic or solar panels, flues or satellite dishes, may be allowed under Permitted Development rights.

The exemption is best visualised as a 1 metre “bubble” surrounding the flat. A wide range of different types of development is permitted within this “bubble” without having to apply for planning permission providing that:

- the development does not enlarge the flat;
- the development does not project more than 1 metre from the walls or roof of the flat;
- the development is not a balcony, roof terrace or raised platform or a wind turbine.

Installing a flue forming part of biomass heating system, a flue forming part of combined heat and power system, an air source heat pump or CCTV is not permitted by this class because it is subject to restrictions identified in by other classes of permitted development.

Other classes relevant to flats include:-

- construction of gate, fences, walls and other means of enclosure;
- Closed Circuit Television Cameras (CCTV).

Further information

This is just a brief summary of the more common aspects of Householder [Permitted Development Rights](#).

There are no permitted development rights if the flat is in a conservation area or if it is a listed building.

House or Flat?

It seems obvious, but ... A flat is not only an apartment in a traditional tenement or modern block. The official definition is a “separate and self contained set of premises whether or not on the same floor and forming part of a building from some other part of which it is divided horizontally”.

So, whatever the estate agents say, “four-in-a-blocks” or “maisonettes” are also flats, not houses. So are some studios and mews. The distinction is important in deciding whether planning permission is required for extensions or alterations.

Flat properties in any part of the city have limited rights to carry out alterations.

Changes of Use

This guidance sets out the physical considerations in planning your domestic extension. However, if the alterations are to allow you to operate a business from your home, then you should consult the Council’s [Guidance for Businesses](#) to see if planning permission is required for the use.

If you intend to rent out your property, you will require to [register as a Landlord](#) with the Council.

Consulting neighbours

When a formal planning application is made, neighbours will be notified by the Council. It is usually a good idea to tell them what you are thinking of before you start, so that notification doesn’t come as a surprise – especially if you might need to negotiate access with them. You may also need your neighbours permission if your extension will adjoin their property.

The Planning Authority is obliged to consider comments and objections received from neighbours.

If, once you have permission, you need to get onto their land to build your extension, then planning permission does not grant any automatic rights – you will still need to agree terms with them.

Listed buildings

If you live in a property which is listed as being of special architectural or historical interest, then you may also require Listed Building Consent as well as planning permission. Consult the separate guidance on [Listed Buildings and Conservation Areas](#).

Listed Building or Conservation Area?

To check if your house is in a conservation area or is a listed building, use the Council’s Interactive map at

<http://www.edinburgh.gov.uk/conservation>

Other Consents

Other consents may be required before you start work. These can include:

Listed Building Consent if the property is listed as being of special architectural or historical interest – see the separate [Listed Building and Conservation Area Guidance](#) for more details.

Conservation Area Consent if you are demolishing an unlisted building in a conservation area – see [Listed Building and Conservation Area Guidance](#) for more details

Planning restrictions may have been imposed when the original consent was granted, e.g. prohibiting certain kinds of work or removing permitted development rights – check the conditions on any previous consents, including those for the original estate layout if it is relatively new. There may also be restrictions in your title deeds

Converted, new or altered buildings may require a **Building Warrant**. There is more Building Standards information at www.edinburgh.gov.uk/buildingwarrants. For detailed information please go to the [Scottish Government website](#).

A Road Permit will be required if forming a new access or driveway. Contact the Area Roads Manager in your [Locality Team](#) for more information

If there are any **trees** on the site or within 12 metres of the boundary, they should be identified in the application. Please check the [Edinburgh Design Guidance](#) for more advice. Trees with a Tree Preservation Order or in a conservation area are also protected by law, making it a criminal offence to lop, top, cut down, uproot, wilfully damage or destroy a tree unless carried out with the consent of the Council.

Some species of animals and plants are protected by law. Certain activities, such as killing, injuring or taking the species or disturbing it in its place of shelter, are unlawful as is damaging or disrupting its breeding site or resting place, even if the species is not there at the time. If the presence of a European Protected Species (such as a bat, otter or great crested newt) is suspected, a survey of the site must be undertaken. If it is identified that an activity is going to be carried out that would affect protected species, a licence may be required. More information on European Protected Species, survey work and relevant licenses is available on the [Scottish Natural Heritage website](#).

In relation to bats further guidance on when a survey may be required, can be found on page 9 of the [Bat Conservation Trust Guidelines](#)

Other factors such as old mine workings (particularly in the south-eastern suburbs), restrictions where water or gas mains have wayleaves across the site; or water/drainage consents from [SEPA](#).

If you intend to rent your property you will require to [register as a Landlord](#) with the Council. Depending on numbers, you may also require an [HMO \(Houses in Multiple Occupancy\) licence](#).

Although not a planning issue, there may be **legal restrictions** on development in your title deeds - for example feu superiors' consent may be required or you may require the consent of other joint owners – and legal advice may be required.

Certificate of Lawfulness

If you think that your proposals do not need consent, or if you are not sure that previously undertaken work has proper consent, you can apply online at www.eplanning.scot online for a [Certificate of Lawfulness](#) to confirm the position in writing.

Step 2: Fitting it on to the site

Before getting down to the detailed design, it is important to check whether your site is big enough to take the scale of extension you want to achieve.

Working out a plan

When you work up your proposals, always bear in mind the impact they might have.

What effect will the extension have on your existing house? Is it in harmony in scale and appearance? Do the doors and windows match the existing ones? If it is an attic extension, does the roof still come over as the main element rather than a dormer with a small amount of roof left around it? Is the new roof pitch the same as the existing? Are matching materials used throughout? How is the junction between old and new being handled?

What is the impact on the street and the character of the surrounding area? Is the appearance changed? Does the extended house still fit in, or will it stand out obtrusively?

What is the impact on neighbours? Will the extension still preserve their light, or will it overpower their garden and cut out their sunlight? Is the elevation they will see well designed? Will the new extension protect their privacy and avoid introducing new overlooking from windows, balconies or terracing?

All these things will be important to your neighbours, who have the right to make their views known to the

planning authority (see panel right). The Council will consider their comments when reaching a decision.

Note that there is no automatic right to extend and, if your site is too small or your proposal doesn't meet policy requirements, it may not be possible to grant permission.

Gardens

There should be enough private garden space left after extensions - normally at least 30 sq.metres, depending on the spatial pattern of neighbourhood to avoid over-development.

If the plot is small, with minimal or shared garden space, there may not be sufficient room for your extension.

The general density and scale resulting must also be in keeping with the overall spatial pattern of the area. Where there is a traditional development pattern in the area, such as villas with single storey outbuildings, this may determine the form and size of any addition.

The position and design of an extension should not prejudice the ability of neighbours to add similar or equivalent extensions.

Extension to Villas

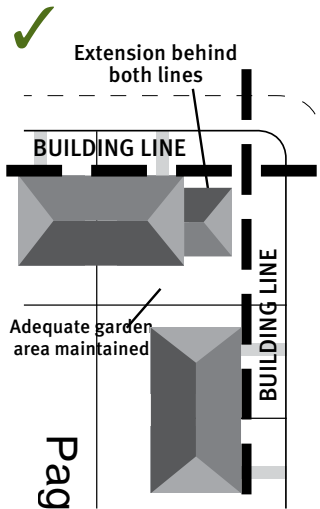
In terms of the guidance, a 'villa' is a traditional large

detached or semi-detached house built before 1914. Normally stone built, they are mainly in conservation areas or on some arterial routes. A bungalow is not a villa.

Special guidelines apply to extensions and alterations to villas:

- The character of the original villa should not be adversely changed as a result of the extension
- When complete, the whole building, including the original villa and the extension should still be in character with the scale and spacing of the surrounding properties and rhythm of the street
- The design approach – including form, scale, style, proportions including windows, storey heights and materials – should relate to the original building and be subservient to it
- Total site coverage of the new and existing building should not exceed 1.5 times the original villa, subject to:
- Maximum site coverage of all buildings, garages, parking and access driveways should not exceed 40% of the site area, and
- Distances from the main facades to the boundaries being at least 12.5m
- If the villa is listed, if there are protected trees or if it is in a corner site, you should seek pre-application advice.

Principal elevations and building lines



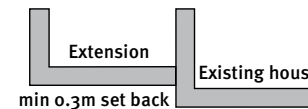
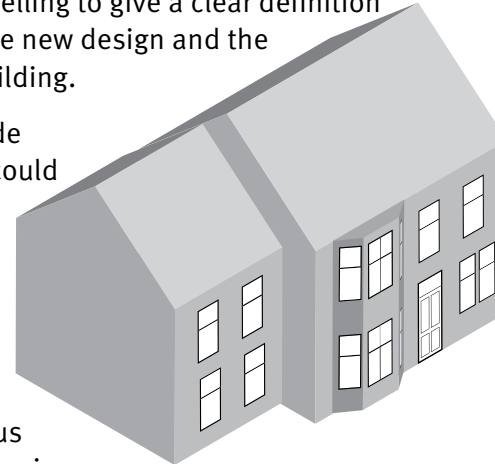
What is a building line?

It is the line formed by the frontages of the buildings along a street. Sometimes it is defined in the title deeds. Generally developments other than porches etc are not acceptable in front of the building line as they disrupt the character and appearance of the street.

Side extensions

In achieving an extension that will fit in with the original building and respect its neighbours, the extension should be set behind the front line of the existing dwelling to give a clear definition between the new design and the existing building.

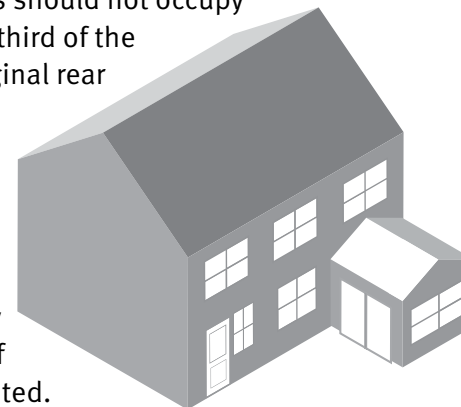
Where a side extension could visually connect separate houses so that they appear like a continuous terrace, planning permission will only be permitted if that is characteristic of the area.



Rear extensions

Rear extensions should not occupy more than one third of the applicant's original rear garden area.

For flats, including 4 in a block and maisonettes, the opportunity for extending, if any, will be limited.



Bungalow extensions

Bungalow extensions should be designed in a way that retains the character of the original property and is subservient in appearance.

Extensions must not imbalance the principal elevation of the property.

Rear extensions to bungalows should be in keeping with the existing property roof design and its ridge line should be below the ridge of the existing property. The hipped roof character of the host building should be respected. Gable end extensions will generally not be allowed unless this fits in with the character of the area, and is of a high quality innovative design.

Conservatories

Consent will not normally be granted for a conservatory on a principal, or other conspicuous, elevation. Exceptions may be justified for appropriately designed conservatories where this is part of the traditional character of the area.

In general, only ground floor conservatories will be permitted, except where underbuilding is required to achieve an appropriate height. Original abutting walls should be kept and form part of the structure. Where dwarf walls are proposed, they should be constructed with the same materials and finish as the house.

Proposals for a new conservatory on a listed building should ensure that the original stonework inside a conservatory remains unpainted and that the colour of the conservatory respects the character of the area.

Extensions that project beyond the principal elevation line are not generally allowed unless this fits in with the local character of the street.

Corner plots can present a particular problem where the majority of the house's garden space is in front of the building lines.

Where they contribute to the character of the area, their openness will be protected by resisting any significant intrusion into the corner ground.

Modest porches may be acceptable where they do not detract from the design of the original building or the character of the street.

Daylight and sunlight

Daylight and sunlight are important to health and well being. Lack of daylight contributes to depression (SAD), and sunlight helps synthesise Vitamin D which is important for bone health.

Adequate daylight can also reduce the energy requirements of development through lessening the need for electric lighting.

All extensions and alterations will be required to ensure adequate daylighting, privacy and sunlight both for themselves and to their neighbours.

Calculating daylight and sunlight is complex, but there are some simple “rules of thumb” which can be used to check whether a proposed development is likely to conform. These are set out here.

All new development should ensure that:

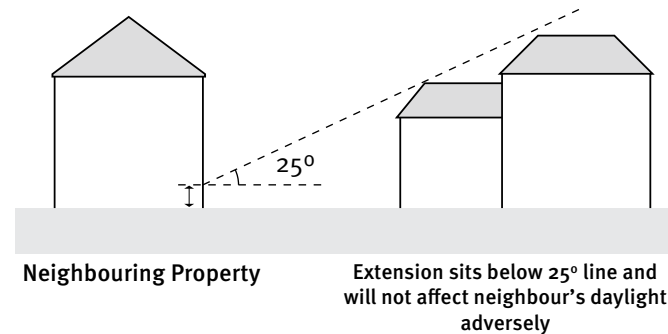
- the amenity of neighbouring development will not be adversely affected by impact on privacy, daylight, sunlight or immediate outlook from main (i.e. front and rear) windows; and,
- occupiers will have adequate daylight, sunlight, privacy and immediate outlook

If the proposal does not meet these criteria, and there are good townscape reasons for looking at other solutions (for instance, the character of an historic area), then more detailed calculations will be required. Guidance can be found in the [Building Research Establishment](#) guide Site Layout Planning for Daylight and Sunlight - A Guide to Good Practice.

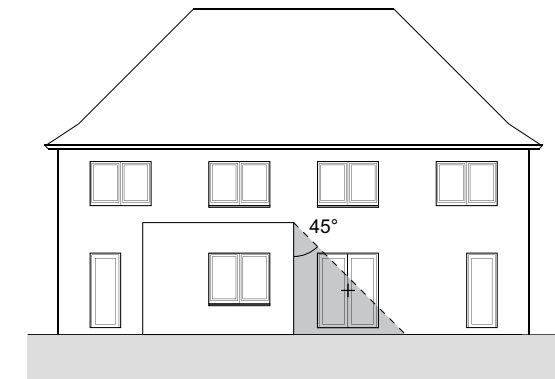
Daylight to existing buildings

Reasonable levels of daylight to existing buildings will be maintained where the measure of daylight falling on the wall (the Vertical Sky Component - VSC), does not fall below 27%. This standard can be achieved where new development is kept below a 25° line from the mid point of an existing window.

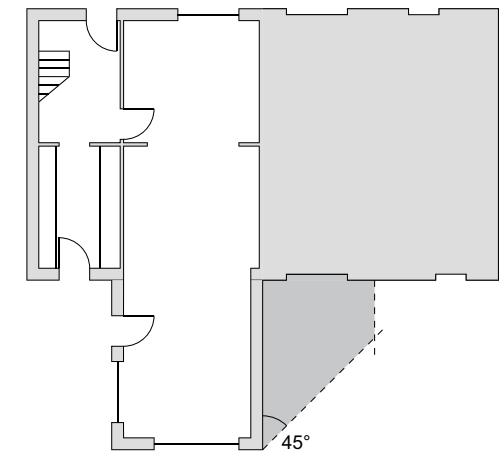
Daylighting to side or gable windows is not protected (see Side Windows, page 14)



For rear extensions on terraced or semi-detached houses, adequate daylight will be maintained to the neighbouring property if 45 degree lines drawn from the plan or section of the new extension do not enclose the centre of the neighbour's window.



Not acceptable because the centre of the window is within the 45° lines



Sunlight to existing development

How the affected area of a garden is used and its overall size, will be taken into account when determining whether any loss of sunlight from a new extension or outbuilding is acceptable.

Generally, half the area of garden space should be capable of receiving potential sunlight during the spring equinox for more than 3 hours.

The sunlight of spaces between gables will not be protected unless the affected space is of particular amenity value in comparison with the remainder of the garden. Such a space might be a patio which was designed as an integral part of the plan-form of the original house.

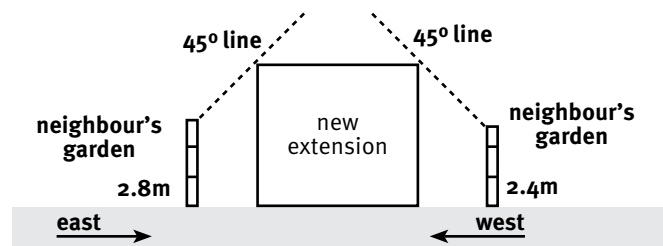
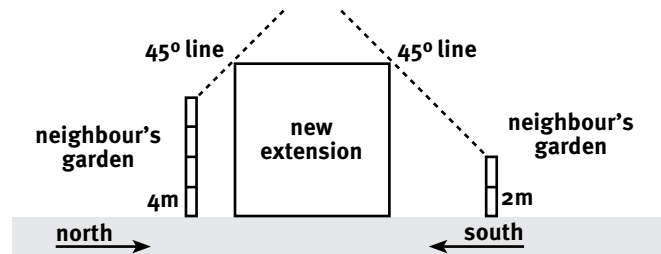
There are various methods of calculating sunlight, but a simple check is to use the 45 degree method.

Where development is located to the south or south west of a garden, if it rises above a 45° line to the horizontal which is set 2m from the ground level, the sunlight to the garden may be adversely affected.

Where development is located in other orientations in relation to a neighbouring garden, the 45° line should be set at a distance from the ground level as follows:

N 4m	NE 3.5m
E 2.8m	SE 2.3m
S 2m	SW 2m
W 2.4m	NW 3.3m

In more complex cases, or where the development fails this test, other methods may be required – for instance, a measurable hour by hour sun path analysis showing how sunlight moves through the affected space for both before and after situations.



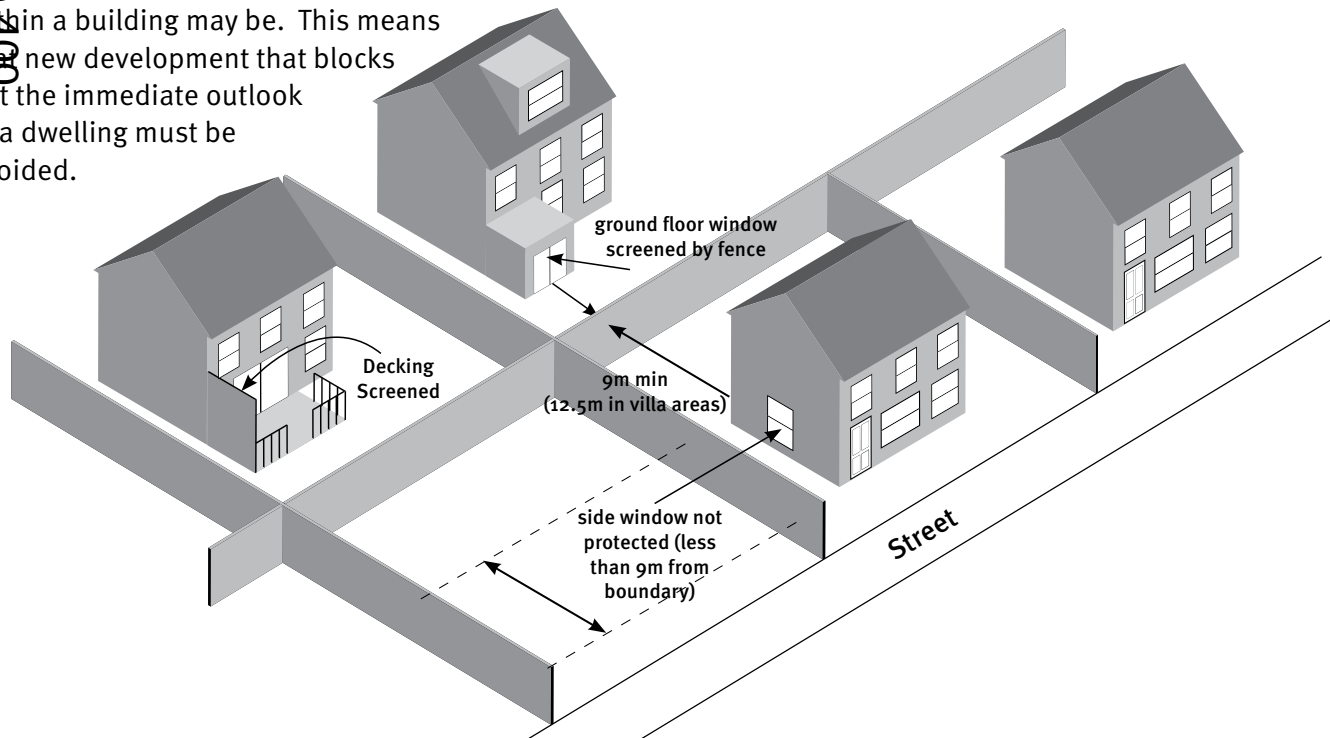
Protecting sunlight to neighbour's property

Privacy and outlook

People value privacy within their homes but they also value outlook - the ability to look outside, whether to gardens, streets or beyond. To achieve both, windows either have to be spaced sufficiently far apart so that it is difficult to see into a neighbouring property or windows have to be angled away from one another.

18m is the minimum recommended distance between windows, usually equally spread so that each property's windows are 9 metres from the common boundary.

A frequent objection to a development is loss of a particular view from the neighbour's house. Though private views will not be protected, immediate outlook of the foreground of what can be seen from within a building may be. This means that new development that blocks out the immediate outlook of a dwelling must be avoided.



Side Windows

Windows will only be protected for privacy and light if they themselves accord with policies in terms of distance to the boundary. Windows on side walls or gables - as often found on bungalows, for instance - will not normally be protected as they are not set back sufficiently from the boundary to be “good neighbours” themselves, taking only their fair share of light.

Ground floor windows can sometimes be closer than 9 metres to a boundary if they can be screened in some way, e.g. by a fence or hedge.

Decking, Roof Terraces, Balconies and Rooflights

Balconies, roof terraces and decking which are close to boundaries and overlook neighbouring properties can be a major source of noise and privacy intrusion.

Generally, decking should be at, or close to, ground level (taking account of any level changes in the garden ground), of simple design (including barriers and steps), and should not detract from the appearance of the house.

Opportunities for decking may be limited on listed buildings, as it is rarely part of the original character.

Permission for roof terraces and balconies will not be granted where there is significant overlooking into neighbouring property due to positioning and height or if the terracing results in loss of privacy to neighbouring properties.

Rooflights in new extensions that are within 9 metres of the boundary may be acceptable so long as they do not have an adverse impact on the existing privacy of neighbouring properties. Any adverse impacts on privacy may be mitigated if the rooflight(s) is set at a high level above floor level (usually above 1.8 metres).

Trees

The retention of trees and landscape can soften the impact of a new building and help it to blend in. Mature landscape should therefore be retained where possible.

If a tree would overhang the proposed development or is closer to it than a distance equal to half the tree height, it must be shown on the application plans.

The tree species and the position of the trunk and extent of branch spread must be accurately indicated. The case officer will then assess if more detailed information, such as a tree survey of the site, is required.

Garages and outbuildings

Buildings within the residential curtilage – such as garages, sheds or greenhouses – should be subordinate in scale and floor area to the main house. In many cases, they will be “permitted development”.

Proposals will be assessed for their impact on the amenity of the area and on neighbouring property (eg loss of daylight) in the same way as extensions. Some points to note when planning your development:

- the use must be ancillary to the “enjoyment of the dwelling house”; for instance, gardening, maintenance or hobbies, and not for a commercial business (see our Guidance for Businesses for advice in these cases);
- in flatted properties, the way that the garden ground is allocated and the position of

neighbouring windows may restrain the size or position of any outbuildings;

- buildings in front gardens will not usually be acceptable, because of the damaging impact on the appearance and amenity of the street and the surrounding area;
- there may be additional considerations for listed buildings and conservation areas.

Sheds for cycle storage are subject to the same principles as sheds for any other purpose. The Council has worked with Spokes to produce a fact sheet on the storage of bikes for tenement and flat dwellers, and in gardens.

Links:

[Guidance for Businesses](#)

[Listed Buildings and Conservation Areas Guidance](#)

[Spokes factsheet \(Cycle storage for tenements and flats\)](#)

[Spokes factsheet \(Cycle storage in gardens\)](#)

Step 3: Design Matters

Extensions and alterations should be architecturally compatible in design, scale and materials with the original house and its surrounding area. This does not preclude high quality innovative modern designs.

Extensions should not overwhelm or dominate the original form or appearance of the house, or detract from the character of the area.

A well-designed and attractive extension will enhance the appearance – and value – of your property and of the neighbourhood.



Extension subservient to original home in scale and size and compatible with original house in materials and form

Materials

The materials used to construct a building are one of the most important elements in helping a new extension to sit harmoniously with the original building. Material characteristic of the neighbourhood and of Edinburgh can provide a sense of quality and identity. Cheap or inappropriate materials can detract from the neighbourhood and the value of the house.

The materials to be used on an extension should normally match exactly those of the existing building. Where the existing building is constructed of stone, natural stone of the same type and colour should be used for the extension.

The use of traditional materials but in a modern design can be an effective way of respecting the character the building or area whilst still encouraging new architectural ideas.

Alternatively, a new extension may be designed to contrast with the existing building using a modern design and materials. In this instance the materials should be of the highest quality and relate well to the existing building.

It is better to set the extension slightly back so that there is a visible break between the old and new.

The use of sustainable long-lasting materials, locally sourced wherever possible, and with the potential for later recycling will be encouraged.

The use of materials that are reclaimed or recycled will be encouraged.

UPVC is not a traditional or sustainable material, and its use will not normally be acceptable in listed buildings and conservation areas.

Roof Design

In general the pitch and form of an extension roof should match that of the existing roof.

Flat roofs may be appropriate on modest, single storey extensions where not visible in public views. Side extension roofs should normally be pitched to match the house.

Otherwise flat and mansard roofs on extensions will not normally be allowed unless these are complementary to the existing roof, or in the case of flat roofs they are part of a high quality, contemporary design.

New eaves heights should either match or be lower than existing eaves, to avoid extensions being greater in storey height than the original building.

Development above the existing roof ridge will not be permitted.

Chimneys form an important feature of many roofs, often marking the subdivision of terraces or adding height to bungalows. Even if disused, they should normally be retained. New false ones can act as ventilation flues from kitchens or bathrooms.

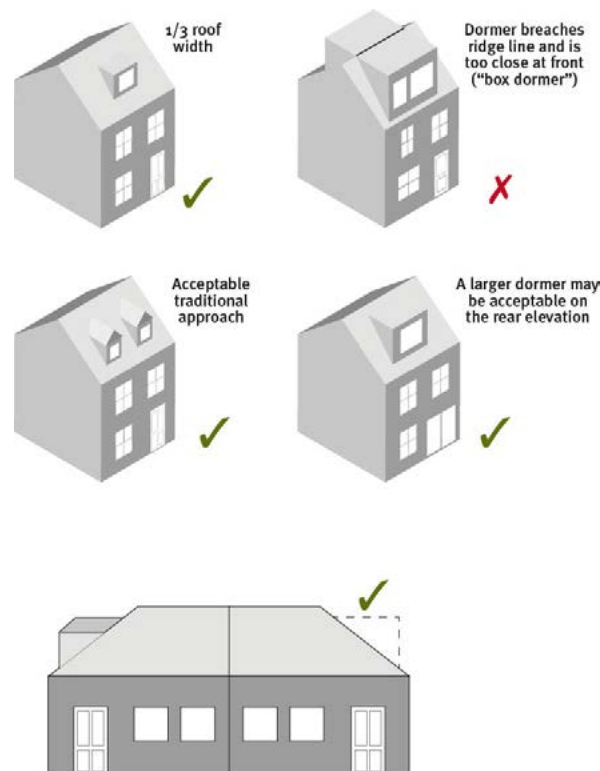
Dormers

Dormers on principal elevations, and all dormers in conservation areas or on a listed building, will require planning permission.

Dormers in conservation areas will be acceptable when they are compatible with the building and the character of the surrounding area. All glazing proportions should match the main house or flat.

Dormers on a listed building will also require listed building consent. New dormers on a listed building are not normally acceptable on front roof pitches. New dormers on rear roof pitches of listed buildings may be acceptable where compatible with the character of the listed building. Where acceptable on listed buildings, dormers should be of a historic design.

On unlisted houses that are not in conservation areas, rear and side dormers may be “permitted development”. Guidance on Householder Permitted Development Rights can be found in the [Scottish Government Guidance \(Circular 1/2012\)](#).



All proposals should comply with both general and specific guidance as set out below.

General Guidance

The relationship between a dormer and its surroundings is particularly important. Dormers should be of such a size that they do not dominate the form of the roof. Dormers should not come to the edges of the roof. There should be visible expanses of roof on all 4 sides. Where possible, the dormer should align with existing fenestration on the building's elevation.

Specific Guidance

On principal elevations a single dormer should be no greater in width than one third of the average roof width. If there are two or more dormers, their combined width should be less than 50% of the average width of the single roof plane on which they are located.

On rear elevations which are not publicly visible or not readily visible from public viewpoints a larger dormer may be acceptable where this fits in with the character of the building and surrounding area.

Dormers on side elevations will be considered acceptable where it can be demonstrated that the proposal fits in well with the character of the surrounding area.

All dormers should comply with the 'Privacy and Outlook' requirements as set out on page 14.

Doors and windows

Doors and windows should be sensitively replaced, in keeping with the character of the original building, the quality of its design and in an environmental sustainable way. The character of the area should be protected and enhanced.

Replacement windows, and new windows on an extension, should be of the same size and style as the existing ones, keeping the same proportions.

Repairs to match the original do not require planning permission or listed building consent. However, where a building is listed, consent may be required

for:
Page 404

- Double glazing;
- Secondary glazing;
- The removal or replacement of windows and doors;
- Alterations to windows such as the changes to astragals, and alterations to doors.

Window and door alterations to listed buildings may require planning permission as well as listed building consent, if they are considered to be ‘development’, eg if the new window or door is materially different and changes the character of the building. Please refer to our Guidance for Conservation Areas and Listed Buildings.

Window replacement on unlisted buildings in conservation areas may also require planning permission, as may alterations such as converting a window to doors.

Door alterations to unlisted buildings in conservation

areas may require planning permission.

Permission will not be required in the following cases:

- The replacement of doors and windows on a like-for-like basis.
- In properties which are not in a conservation area.

If you want formal confirmation that your replacement doors and windows are lawful, you can apply for a *Certificate of Lawfulness* at www.eplanning.scot

Boundary walls

Walls and fences to the street frontage should harmonise with street and the house. They should not be so high as to be intimidating or reduce security overlooking from the houses.

Front walls and fences should not be more than 1 metre in height unless there is a prevailing size already established in the neighbourhood. They will not be acceptable in estates designed as open-plan front gardens, if this forms part of the character of a conservation area.

Access and parking

Forming an access for a parking space or garage will require planning permission where it is taken from a classified road or trunk road. In all cases, a road permit will be required for works required to drop a kerb.

In flats within conservation areas and within the curtilage of a listed building, permission is also required to form a hard surface - a driveway or a parking space. For other properties, see the section on forming a hard-paved area in Permitted Development Rights.

Demolition or alteration of walls will need consent in conservation areas or for listed buildings. A building warrant is also needed where the hard paved area is more than 200 square metres.

Parking in front gardens will not normally be allowed

- within traditional tenements;
- conservation areas or listed buildings, where loss of original walls or railings and the creation of a hard surface would have an adverse effect on the character and setting of the area, or a listed building and its special architectural or historic interest;
- where the parking space would be formed in front of the windows of a habitable room owned by a different occupier.

For road safety reasons, an access must not be formed

- within 15 metres of a junction;
- where visibility would be obstructed; and
- where it would interfere with pedestrian crossings, bus stops, street lighting or existing street furniture.

Only one access will be permitted per property.

A parking space will normally be allowed if the front garden is at least 6 metres deep, with a maximum area of 21 square metres or 25% of the front garden, whichever is the greater. The design should be such as to prevent additional parking on the remainder of the garden area, eg by using kerbs, planting boxes or changes of level. The access should not be wider than 3 metres.

Materials must be of high quality and appropriate for the house and the area. The paving must be porous or combined with a soakaway within the site; the first 2 metres from the road should be paved to avoid loose chippings spilling out. Gates should be of appropriate design and open inwards, to avoid obstructing the pavement.

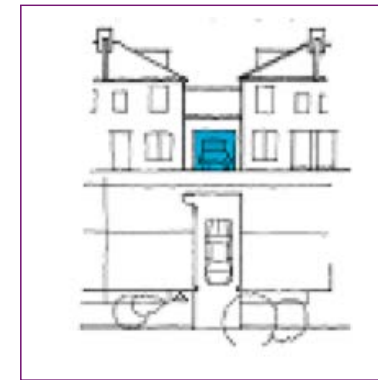
Garages or car-ports must have at least a 6 metre driveway in front to allow vehicles to draw in completely off-street.

Where the provision of parking was part of the original grant of consent, the number of parking spaces should be maintained. Loss of a parking space (eg by the conversion of a garage) may, in a controlled parking area, affect the householder's right to obtain a parking permit.

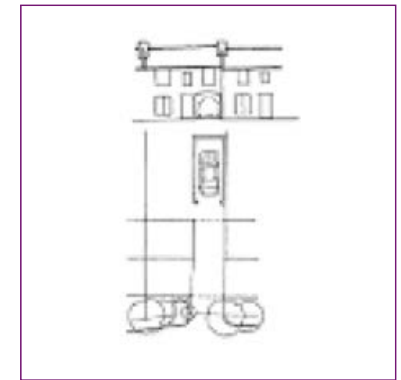
Parking solutions for bicycles are set out on page 15.

Smaller scale on-plot car parking options for residential developments:

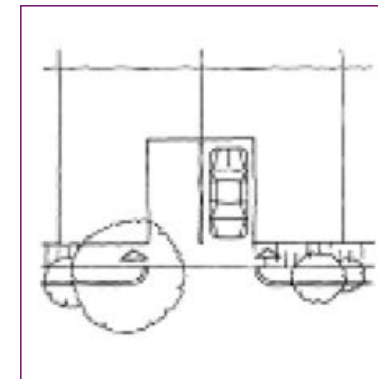
Source: [Space to Park website](#)



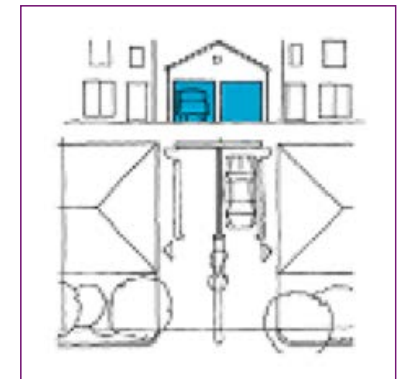
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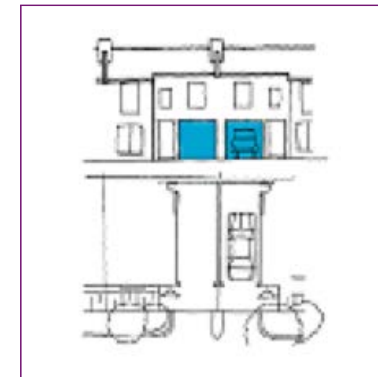
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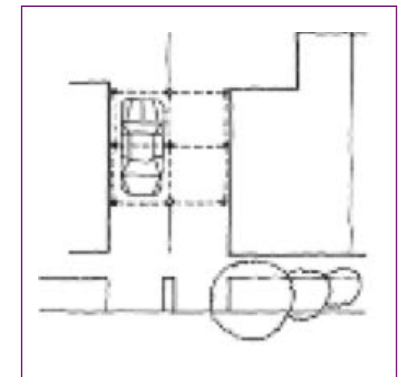
Hardstanding:



Detached Garage:



Integral Garage:



Car Port:

Sustainability

The Council encourages energy conservation, including microgeneration where appropriate. However, some devices are not always suitable on older listed properties or in conservation areas.

However, the re-use and adaptation of old buildings, which have long paid back their carbon footprint, is in itself sustainable.

Adaptable buildings, which allow for change or rearrangement in the future, are also sustainable, as they have a longer lifespan than those designed so tightly that they cannot be altered to meet future needs.

Other ways to make your extension more sustainable are to use environmentally-friendly and re-cycled materials.

Extensions must comply with Building Standards, which place a strong emphasis on energy-conservation measures such as insulation and appropriate materials. This passive energy approach is often more cost and energy-efficient than renewable technology.

Solar Panels

The provision of solar panels can contribute to sustainability. However, on listed buildings and/or within conservation areas, solar panels will not normally be permitted on any conspicuous elevations.

In other cases, where solar panels would be visible from public streets and areas, they should be designed and laid out as part of an overall architectural treatment.

Wood-burning stoves

Wood burning stoves and biomass boilers are similar appliances, both burn organic materials to create space heating. In addition, larger biomass central heating systems are available which can also heat water. The main difference between the two appliance types is that wood burning stoves burn wood, or wood pellets; and biomass stoves burn a variety of energy crops, including wood.

Provided that the wood burning stove or biomass boiler is located inside the dwelling house, the stoves themselves do not require planning permission. However, permission may be required for the flue and any storage facility required for the fuel. Where the building is listed, listed building consent may also be required if the storage is attached to the listed building. A building warrant will be required to cover installation, the flue and fuel storage.

This advice covers domestic stoves and boilers up to 45kW (heat) output. The Council's Environmental Health team can advise on acceptable types of stoves to achieve the required air quality standards.

Other services on buildings

Some new buildings, whether extensions or new-build houses or flats, spoil their exterior finishes with construction joints, outlets for flues and fans, weep holes, grilles, etc that were not taken into account at the time of design. These should be considered and planned in to minimise their impact.

Satellite Dish Aerials

Where they fall within planning control, e.g. in conservation areas and on listed buildings, dishes will not normally be acceptable on the front or street elevation of any building.

However, they may be acceptable in the following situations:

- on the ground to the rear of the building;
- on a modern extension to the rear of the building providing that no part of the dish is higher than the main building;
- in the internal valley of roof provided that no part of the dish projects above the ridge; or
- behind a parapet provided that no part of the dish projects above it.

Secured by design

The design and layout of your extension should not affect the security of your home or those of your neighbours. Blank walls, hidden corners and secluded passageways provide cover for intruders to work at gaining access.

Many break-ins take place at the rear of the house, taking advantage of the privacy of the rear garden. Ways of making your property more secure include:

- Making access to the rear difficult, using alarms and sensors;
- ensuring flat roofs do not provide access to upper windows;

- deterrent prickly planting under windows; and
- strong locks and fastenings.

You can get advice from the Architectural Liaison Officer at your local police station. It is much easier and cheaper to build in security features while you are constructing your extension, than trying to add them afterwards.

Considerations Checklist

Please consider which of the following permissions you will need, this might include:

- Planning Permission
- Listed Building Consent
- Conservation Area Consent
- Building Warrant
- Road Permit
- Licensing (landlord/HMO etc.)
- Legal rights to build

(see page 9 for details of these and other consents)

Step 4: Submitting your Application

Making an application where permission is required

How to apply for planning permission

Pre-application advice

Advice is generally only given on larger, more complex, unusual or contentious cases. We do not usually give pre-application advice on householder development.

Apply online

Applications can be submitted online at www.eplanning.scot

Once registered you can log in and begin making your application. A guide to submitting an application online is available to help you go through the process.

Apply by post

If you prefer paper forms then these can be downloaded from www.eplanning.scot

Data protection

When you submit a planning application, the information will appear on the Planning Register and will also be published on our weekly list of planning applications. This is all done in accordance with data protection law.

Preparing and Submitting your Planning Application

Paper Forms

Two sets of the planning application form are required. The same number of land ownership certificates must also be submitted. Guidance on their completion is provided with the forms.

The Council will notify all those with an interest in neighbouring land within 20 metres of the application site that you have submitted a valid planning application. They have 21 days from the date of the Council's notice to make formal representations. Note that anyone can send in comments, not just the notified neighbours.

Application Fee

Fees can be calculated at www.eplanning.scot. Cheques should be made payable to the City of Edinburgh Council, but online or phone payments are available.

Requirement for Plans and Drawings

All applications should be accompanied by a location plan, to scale and showing the application site in red and any other land owned by the applicant in blue. Almost all will also require a site plan.

You can view our [validation of applications guide](#) online.

Other plans and drawings will depend on the scale, nature and location of the proposal. For minor householder applications, such as a garden fence or a satellite dish, brochure details may be acceptable, but their precise location should be shown on a scaled drawing.

All new work should be coloured and the plans should be annotated dimensions and the proposed materials, and details such as the design and location of bin stores and recycling facilities.

For listed building consent, where new openings/ changes are proposed, details of internal elevations and sections are required. With larger applications, a photographic survey will need to be submitted.

The minimum detailed information on the plans must be as follows:

Location plan

This must identify the land to which the proposal relates and its situation in relation to the locality - in particular in relation to neighbouring land (land within 20 metres of the boundary of the land to be developed) for notification. Location plans should be a scale of at least 1:2500 and should indicate a north point.

Site Plan

This should be of a scale of at least 1:500 and should show:

- a. the direction of North;
- b. any access arrangements, landscaping, car parking and open areas around buildings;
- c. the proposed development in relation to the site boundaries and other existing buildings on the site, with written dimensions including those to the boundaries;
- d. where possible, all the buildings, roads and footpaths on land adjoining the site including access arrangements;
- e. the extent and type of any hard surfacing;
- f. boundary treatment including walls or fencing where this is proposed.

Site Surveys

Including existing site levels, will be required for all new build proposals.

Existing and proposed elevations

(at a scale of 1:50 or 1:100) which should:

- a. show the proposed works in relation to what is already there;
- b. show all sides of the proposal;
- c. indicate, where possible, the proposed building materials and the style, materials and finish of windows and doors;
- d. include blank elevations (if only to show that this

is in fact the case);

- e. where a proposed elevation adjoins another building or is in close proximity or is part of a larger building (eg flats), the drawings should clearly show the relationship between the buildings, and detail the positions of the openings on each property.

Existing and proposed floor plans

(at a scale of 1:50 or 1:100) which should:

- a. explain the proposal in detail;
- b. show where existing buildings or walls are to be demolished;
- c. show details of the existing building(s) as well as those for the proposed development;
- d. show new buildings in context with adjacent buildings (including property numbers where applicable);
- e. show existing and proposed levels.

Existing and proposed site sections and finished floor and site levels

(at a scale of 1:50 or 1:100) which should:

- a. show a cross section(s) through the proposed building(s);
- b. where a proposal involves a change in ground levels, show both existing and finished levels to include details of foundations and eaves and how encroachment onto adjoining land is to be avoided;
- c. include full information to demonstrate how proposed buildings relate to existing site levels and

neighbouring development;

- d. show existing site levels and finished floor levels (with levels related to a fixed datum point off site), and also show the proposals in relation to adjoining buildings (unless, in the case of development of an existing house, the levels are evident from floor plans and elevations).

Roof plans

(at a scale of 1:50 or 1:100) to show the shape of the roof and specifying details such as the roofing material, vents and their grilles /outlets.

I don't need permission but ...

I want to be sure that I have correctly interpreted the permitted development rules, or that alterations carried out in the past are legitimate?

To cover these situations, you can apply for a *Certificate of Lawfulness* at www.eplanning.scot

Apply on line

Applications for Certificates of Lawfulness can be made online at www.eplanning.scot

A certificate has legal status, giving certainty to prospective buyers, and immunity from future enforcement action.

Certificates of Lawfulness are particularly useful when selling properties in the housing market, where the buyer may want proof that the works are lawful and planning permission was not required.

The onus is on you to provide supporting information as to why you think that the works are lawful under

the Planning acts. When a certificate is being sought for building works - e.g. an extension to a house - drawings will be required to ascertain that the proposal is actually permitted development.

Guidance is available on the Council's web-site.

It may become apparent during the processing of the application for the certificate of lawfulness that this is not the case and planning permission will be required. In these cases, the certificate will be refused. You have a right of appeal against this decision.

Glossary

Amenity - the pleasantness or attractiveness of a place.

Balustrade - a railing supported by balusters, especially one forming an ornamental parapet to a balcony, bridge, or terrace.

Buildings Lines - a limit beyond which a house must not extend into a street.

Conservation Areas - areas of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance.

Curtilage - an area of land attached to a house and forming one enclosure with it.

Dormer Windows - a window that projects vertically from a sloping roof.

Elevation - drawings to show what the building will look like from each side.

Gable End - the triangular upper part of a wall at the end of a ridged roof.

Green Belt - an area of open land around a city, on which building is restricted.

Permitted Development - certain types of work without needing to apply for planning permission.

Public Realm - belongs to everyone. It comprises the streets, squares, parks, green spaces and other outdoor places.

Planning Permission – a formal request to a local authority for permission to build something new or to add something to an existing building.

Listed Buildings - Listed buildings are buildings of special architectural or historic interest which are protected under legislation.

Local Development Plan - A Local Development Plan (LDP) sets out policies and proposals to guide development.



HAPPY TO TRANSLATE

ترجمه کله ماهر آماندهر সঙ্গে অনুবাদ করব

يسعدنا توفير الترجمة MOŻEMY PRZETŁUMACZYĆ 很樂意翻譯

You can get this document on tape, in Braille, large print and various computer formats if you ask us. Please contact ITS on 0131 242 8181 and quote reference number 12-0931. ITS can also give information on community language translations.

Guidance for Businesses

Page 413

March 2018

Agenda Item 8.2

Guidance for Businesses



Who is this guidance for?

This guidance is intended to assist businesses in preparing applications to change the use of a property or carry out alterations to a business premises.



Policy Context

This document interprets policies in the *Edinburgh Local Development Plan*. Relevant policies are noted in each section and should be considered alongside this document.



Business Gateway

Business Gateway offers businesses free practical help and guidance. Whether you're starting up or already running a business, and provide access to business support and information services.

To get more information on help for your business, or to book an appointment with our experienced business advisers please contact our Edinburgh office.

Contact details:

Business Gateway (Edinburgh Office)
Waverley Court
4 East Market Street
Edinburgh
EH8 8BG
Tel: 0131 529 6644

Email: bglothian@bgateway.com

www.bgateway.com

Misc: Student Housing, Radio Telecommunications, Open Space Strategy etc.

This document and other non-statutory guidance can be viewed at: www.edinburgh.gov.uk/planningguidelines

Listed Buildings and Conservation Areas

If the building is listed or located within a Conservation Area, guidance on *Listed Buildings and Conservation Areas* must also be considered. Boxes throughout this guideline give specific information relating to Listed Buildings and Conservation Areas. You can check if your property is listed or located within a conservation area on the Council's website www.edinburgh.gov.uk/planning

This guidance was initially approved in December 2012 and incorporates additional text on short term commercial visitor accommodation approved in February 2013, and minor amendments approved in February 2014, February 2016 and March 2018.

Cover image courtesy of Edinburgh World Heritage.

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Do I need Planning Permission?

Planning Permission

Planning permission is required for many alterations, and changes of use. However, some work can be carried out without planning permission; this is referred to as 'permitted development'. Permitted development is set out in legislation.

Common enquiries are set out in the relevant chapters of this document.

If you believe your building work is 'permitted development', you can apply for a [Certificate of Lawfulness](#) to confirm that the development is lawful and can go ahead. This can be applied for online at www.eplanning.scot

What is a change of use?

Most properties are classified under categories known as a 'Use Class'. For example, shops are grouped under Class 1 and houses under Class 9. Some uses fall outwith these categories and are defined as 'sui generis', meaning 'of its own kind'. This is set out in The Use Classes (Scotland) Order 1997 (as amended).

Changing to a different use class is known as a change of use and may require planning permission, although some changes between use classes are allowed without planning permission. Planning permission is not required when both the present and proposed uses fall within the same 'class' unless there are specific restrictions imposed by the council. [The Scottish Government Circular 1/1998](#) contains guidance on use classes.

Listed Buildings and Conservation Areas

Fewer alterations are considered to be permitted development and most changes to the outside of a building, including changing the colour, require planning permission. More information on other consents which may be required is included on the next page.

Listed Building Consent

Listed building consent is required for works affecting the character of listed buildings and also applies to the interior of the building and any buildings within the curtilage. Planning permission may also be required in addition to Listed Building Consent. If your building is listed, specific guidance on [Listed Buildings and Conservation Areas](#) must also be considered along with this document.

What Other Consents Might Be Required?

Advertisement Consent

Advertisements are defined as any word, letter, model, sign, placard, board, notice, awning, blind, device or representation, whether illuminated or not, and employed wholly or partly for the purpose of advertisement, announcement or direction.

While many advertisements require express consent, certain types do not need express consent as they have 'deemed consent'. You can check this by consulting *The Town and Country Planning (Control of Advertisements) (Scotland) Regulations 1984*.

Advertisements displayed in accordance with the advert regulations do not require advertisement consent.

Building Warrant

Converted, new or altered buildings may require a Building Warrant. There is more Building Standards information at www.edinburgh.gov.uk/buildingwarrants. For detailed information please go to the [Scottish Government website](http://www.scottish.gov.uk).

Road Permit

You must get a permit to the Council if you want to carry out work in or to occupy a public street. A *road permit* will be required if forming a new access or driveway or if placing a skip or excavation in a public road. It will also be required for scaffolding or to occupy a portion of the road to place site huts, storage containers, cabins, materials or contractors

plant, to put up a tower crane or to operate mobile cranes, hoists and cherry pickers from the public highway. For more information contact the Areas Roads Manager in your *Neighbourhood Team*.

Licensing

Some activities, such as the sale and supply of alcohol or late hours catering, require a licence. Please contact *Licensing* for more information on 0131 529 4208 or email licensing@edinburgh.gov.uk.

The Civic Government (Scotland) Act 1982 (Licensing of houses in Multiple Occupation) Order 2000, requires operators of HMOs to obtain a licence allowing permission to be given to occupy a house as a HMO where it is the only or principal residence of three or more unrelated people.

Table and Chairs Permit

If your business sells food and drink you may be able to get a permit from the Council to put tables and chairs on the public pavement outside your business.

A *tables and chairs permit* allows you to put tables and chairs on the public pavement between 9am and 9pm, seven days a week and is issued for either six or twelve months. For more information please email TablesChairsPermits@edinburgh.gov.uk or phone 0131 529 3705.

Biodiversity

Some species of animals and plants are protected by law. Certain activities, such as killing, injuring or

capturing the species or disturbing it in its place of shelter, are unlawful. It is also an offence to damage or destroy a breeding site or resting place (or obstruct access to).

If the presence of a European Protected Species (such as a bat, otter or great crested newt) is suspected, a survey of the site must be taken. If it is identified that an activity is going to be carried out that would be unlawful, a license may be required.

More information on European Protected Species, survey work and relevant licenses is available on the [Scottish Natural Heritage website](http://www.scottishnaturalheritage.gov.uk).

Trees

If there are any trees on the site or within 12 meters of the boundary, they should be identified in the application. Please refer to *the Edinburgh Design Guidance (chapter 3.5)* for advice.

All trees in a Conservation Area or with a Tree Preservation Order are protected by law, making it a criminal offence to lop, top, cut down, uproot wilfully, damage or destroy a tree unless carried out with the consent of the council. To apply for works to trees, go to www.eplanning.scot.

Changing a Residential Property to a Commercial Use

What does this chapter cover?

Changes of use to:

- guest houses
- short term commercial visitor accommodation
- house in multiple occupation (HMOs)
- private day nurseries
- running a business from home

This guideline is not intended to address new hotel development which is covered by [Edinburgh Local Development Plan](#) (LDP) Policy Emp 10 Hotel Development.

Where an extension to a residential property is required to then run a business from home, please refer to the [Guidance for Householders](#) to understand what permissions are required.

When is planning permission required?

Some activities within a residential property can be undertaken without requiring planning permission. Some common enquiries are given below.

What should I do if it is permitted development?

If you believe planning permission is not required, you can apply for a [Certificate of Lawfulness](#) for legal confirmation.

Using your home as a guest house

Planning permission will not be required for the use of a house as a bed and breakfast or guest house if:

- The house has less than four bedrooms and only one is used for a guest house or bed and breakfast purpose
- The house has four or more bedrooms and no more than two bedrooms are used for a guest house or bed and breakfast purpose

Planning permission will always be required if a flat is being used as a guest house or bed and breakfast, regardless of the number of rooms.

Short Term Commercial Visitor Accommodation

The change of use from a residential property to short term commercial visitor accommodation may require planning permission. In deciding whether this is the case, regard will be had to:

- The character of the new use and of the wider area
- The size of the property
- The pattern of activity associated with the use including numbers of occupants, the period of use, issues of noise, disturbance and parking demand, and
- The nature and character of any services provided.

Houses of Multiple Occupation (HMOs)

The sharing of accommodation by people who do not live together as a family is controlled at the point at which there is considered to be a material change of use. For houses, Class 9 of the Town and Country Planning (Use Classes) (Scotland) Order 1997 considers this to be when more than 5 people are living together, other than people living together as a family. As with houses, the Council would also expect a material change of use to occur in flats when more than 5 unrelated people share accommodation. All planning applications for Houses in Multiple Occupancy (HMOs) are assessed using LDP Policy Hou 7: Inappropriate Uses in Residential Areas, having regard to the advice below.

Private day nurseries

The change of use from a residential property to a private day nursery requires planning permission.

Where child minding is undertaken from a residential property, whether a change to a private day nursery has occurred will be assessed on a case by case basis. Consideration will be given to the number of children, the frequency of activity and the duration of stay. The criteria under 'Running a business from home' should also be considered.

Running a business from home

Proposals which comply with all the following may not need planning permission, but always check with the council first.

- There should be no change in the character of the dwelling or the primary use of the area. For example signage, display of commercial goods, increased pedestrians and vehicular movements, noise etc.
- There should be no more than the parking of a small vehicle used for commercial and personal purposes within the curtilage of a dwelling house.
- Any ancillary business should not be detrimental to the amenity of the area by reason of noise, vibration, smell, fumes, smoke, ash, dust, or grit.
- There should be no impact on the amenity or character of the area as a result of visitors or deliveries to the property.
- The primary use of the property must be domestic and any members of staff on the premises should have no impact on the amenity and character of the property.

What to consider if planning permission is required

Policy Hou 7

Sets out when uses will not be permitted in predominately residential or mixed use areas i.e. uses which would have a materially detrimental effect on the living conditions of nearby residents.

Amenity

Proposals for a change of use will be assessed in terms of their likely impact on neighbouring residential properties. Factors which will be considered include background noise in the area and proximity to nearby residents.

In the case of short stay commercial leisure apartments, the Council will not normally grant planning permission in respect of flatted properties where the potential adverse impact on residential amenity is greatest.

In the case of private day nurseries, whether nearby residential uses overlook the garden will also be considered. This is due to the potential for increased noise to those households.

Road Safety and Parking

The *car parking standards* define the levels of parking that will be permitted for new development and depends on the scale, location, purpose of use and the number of staff. Parking levels will also be dependent on the change of use and proximity to public transport.

The existing on-street parking and traffic situation will be important considerations in this assessment. The location should be suitable to allow people and deliveries to be dropped-off and collected safely. This is especially important for children going to and from a private day nursery. The potential impact on vulnerable road users – cyclists and pedestrians – will also be a consideration.

Parking in Gardens

The provision of new car parking should have regard to character and setting of the property and should normally preserve a reasonable amount of front garden. In a conservation area parking in the front garden would only be considered if there was an established pattern and it was part of the character of the area. Parking in the front garden of a listed building is not likely to be supported and there is normally a presumption against loss of original walling and railings and loss of gardens. Further information on the design of parking in gardens can

be found in the *Guidance for Householders*.

Flatted Properties

Change of use in flatted properties will generally only be acceptable where there is a private access from the street, except in the case of HMOs. Nurseries must also benefit from suitable garden space.

Further information

If a proposal has the potential to result in impacts then these should be addressed at the outset so they can be considered by the case officer. Examples of information that may be required include:

- An acoustic report if there is potential for noise impact.
- Details of ventilation systems if the application has the potential to create odour problems, and details of the noise impact of any proposed ventilation system.
- Details of any plant and machinery
- Details of attenuation measures if structure-borne and air-borne vibrations will occur.

Changing to a Food or Drink Use

What does this chapter cover?

Uses such as:

- Restaurants, cafes and snack bars (Class 3)
- Hot food takeaways (Sui Generis)
- Cold food takeaways which are classed as a shop (Class 1)

Public houses and bars (Sui Generis)

Class 7 uses (hotels and hostels) licensed or intending to be licensed for the sale of alcohol to persons other than residents or persons other than those consuming meals on the premises. i.e. with a public bar.

It does not include:

- Class 7 uses (hotels and hostels) without a public bar.

When is planning permission required?

Some food and drink uses do not require planning permission. Information on some common enquiries is given on this page.

Changing a shop to Class 3 use or hot food takeaway

Planning permission is required for a change of use from a shop to a hot food takeaway or to a Class 3 use, such as a café or restaurant. Whether this change has, or will occur will be determined on a case by case basis. Regard will be given to:

- Concentration of such uses in the locality
- The scale of the activities and character and appearance of the property
- Other considerations are the impact on vitality and viability, the effect on amenity and potential road safety and parking problems.

Selling cold food for consumption off the premises

Businesses selling cold food for consumption off the premises, such as sandwich bars, fall within Class 1 shop use. If the building is already in use as a shop then permission is not required.

Some secondary uses alongside the main uses also do not need permission; this is dependant on the scale of the activity.

Ancillary uses which are not likely to require planning permission in addition to a Class 1 shop use are:

- The sale of hot drinks
- The provision of one microwave oven and/or one soup tureen
- Seating constituting a very minor element to the overall use. The limit will vary according to the size and layout of the premises
- An appropriately sized café in a larger unit, such as a department store, if it is a relatively minor proportion of the overall floorspace and operates primarily to service the shop's customers.

What should I do if it is permitted development?

If you believe planning permission is not required, you can apply for a *Certificate of Lawfulness* for legal confirmation.

What to consider if planning permission is required

Protecting Shops

Policies Ret 9-11

Set out which locations a non-shop use is acceptable. These policies should be considered if a shop will be lost as part of the changes. In some areas of the City, the loss of a shop use will not be permitted. In other areas, certain criteria must be met.

Policy Hou 7

sets out when uses will not be permitted in predominantly residential or mixed use areas.

Policy Ret 11

Sets out when food and drink establishments will not be permitted.

Restaurants, cafés, snack bars and other Class 3 Uses

Proposals will be supported in principle in the following locations:

- Throughout the Central Area
- In designated shopping centres
- In existing clusters of commercial uses, provided it will not lead to an unacceptable increase in disturbance, on-street activity or anti-social behaviour to the detriment of the living conditions of nearby residents.

Proposals in predominantly housing areas will not normally be permitted.

Hot Food Takeaways

With the exception of proposals within areas of restriction (shown on the next page), proposals will be supported in principle in the following locations:

- Throughout the Central Area
- In designated shopping centres
- In existing clusters of commercial uses, provided it will not lead to an unacceptable increase in disturbance, on-street activity or anti-social behaviour to the detriment of the living conditions of nearby residents.

Proposals in the areas of restriction will only be accepted if there will be no adverse impact upon existing residential amenity caused by night-time activity. Where acceptable, this will normally be controlled through conditions restricting the hours of operation to 0800 to 2000.

Proposals in predominantly housing areas will not normally be permitted.

Where a restaurant's trade is primarily in-house dining but a minor element is take-away food then this still falls within the Class 3 use. Where take-away is a minor component of the business it will not require planning permission.

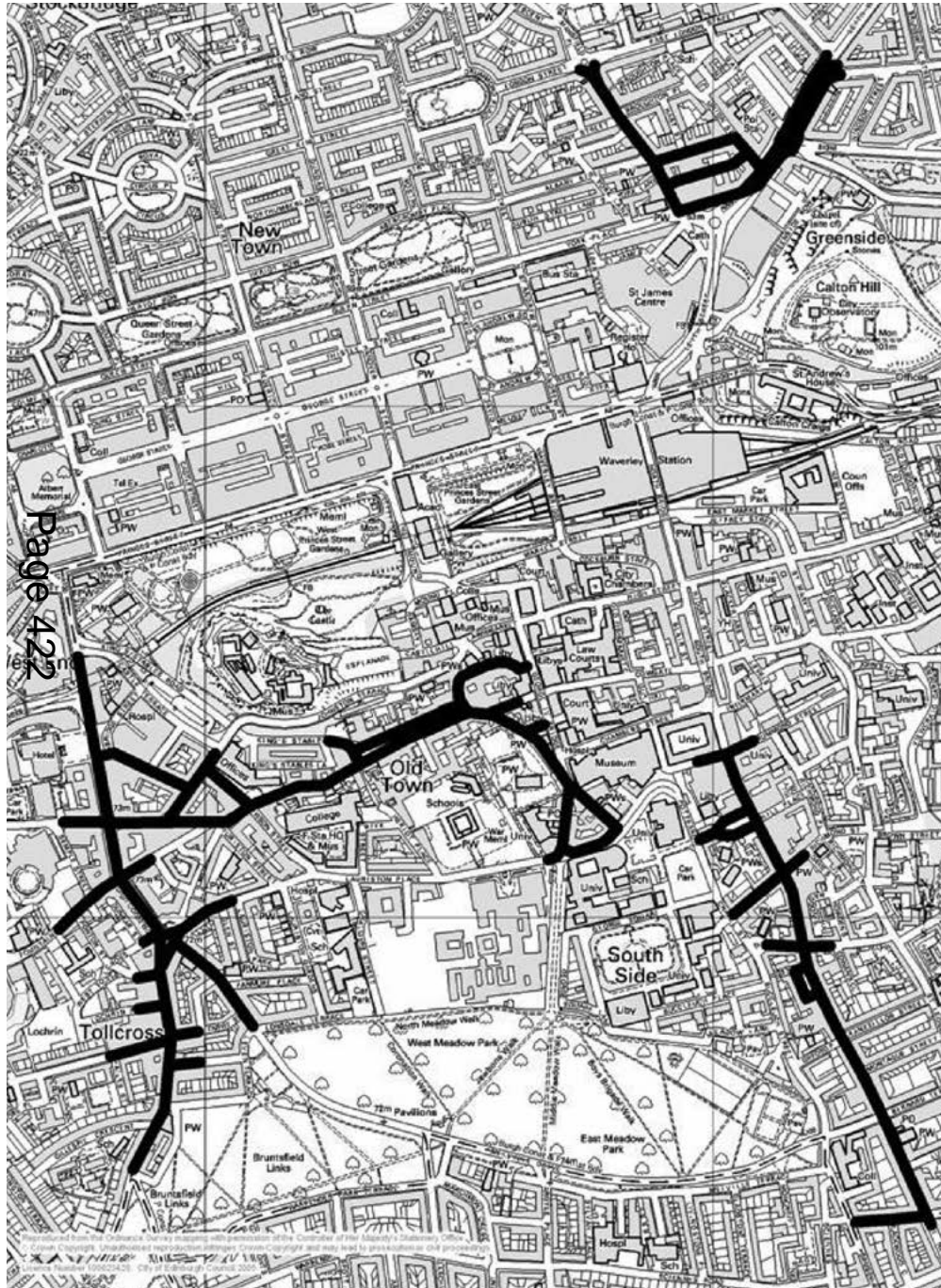
Public houses, entertainment venues and hotels outwith Class 7 (Hotels and Hostels)

In all locations, these uses should be located so as not to impinge on residential surroundings. Accordingly, such developments, with the exception of public houses designed as part of a new build development, will not be allowed under or in the midst of housing¹

There will be a presumption against new public houses and entertainment venues in the areas of restriction (shown on Page 10). Proposals for extensions to venues in the areas of restriction will only be accepted if there will be no adverse impact of the residential amenity caused by night time activity.

Proposals in predominantly housing areas and residential side streets will not normally be permitted.

[1] "Under or in the midst of housing" means a) where there is existing residential property above the application site or premises; or b) where there is existing residential property immediately adjoining two or more sides of the building or curtilage comprising the application site. "Residential property" means dwelling houses, flats or houses in multiple occupancy and includes any vacant units.



Ventilation

If the use is acceptable in principle, establishments with cooking on the premises must satisfy ventilation requirements to ensure that they do not impinge on the amenity of the residential area or other neighbourhoods.

An effective system for the extraction and dispersal of cooking odours must be provided. Details of the system, including the design, size, location and finish should be submitted with any planning application. A report from a ventilation engineer may also be required where it is proposed to use an internal route in an existing building for ventilation ducting.

The ventilation system should be capable of achieving 30 air changes an hour and the cooking effluvia ducted to a suitable exhaust point to ensure no cooking odours escape or are exhausted into neighbouring premises.

Conditions shall be applied to ensure the installation of an effective system before any change of use is implemented, and/or the restriction of the form and means of cooking where necessary.

On a listed building or in a conservation area, the use of an internal flue should be explored before considering external options. The flue would need planning permission and listed building consent in its own right.

Design

Any external duct should be painted to match the colour of the existing building to minimise its visual impact.

Location

Ventilation systems should be located internally. Where this is not practicable, systems located to the rear may be considered.

Noise

Conditions may be put in place to ensure that there is no increase in noise that will affect the amenity of the area.

The map identifies areas of restriction. These are areas of mixed but essentially residential character where there is a high concentration of hot food takeaways, public houses and entertainment venues.

Changing a Commercial Unit to Residential Use

When is permission required?

Planning permission is required to convert a business to a house or flat. Permission will also be required for physical alterations to any external elevation. Listed building consent, where relevant, may also be required.

What to consider if planning permission is required

Protected shops

Policies Ret 9-11 set out when a non-shop use is acceptable. They should be considered if a shop will be lost as part of the changes.

In some areas of the city, the loss of a shop use will not be permitted. In other areas, certain criteria must be met. These policies should be considered for more information.

Amenity

Policy Hou 5

Sets out the criteria to be met by proposals to convert to residential use.

Applications for a change of use will need to prove that the quality and size of accommodation created is satisfactory.

Units with insufficient daylight will be unacceptable; proposals should fully meet the council’s daylight requirements in the [Edinburgh Design Guidance](#). Basement apartments with substandard light will only be accepted where the remainder of the created unit represents a viable unit in its own right with regards to adequate daylight.

Dwelling sizes should meet the following minimum requirements and exceeding these standards is encouraged. Provision of cycle and waste storage is encouraged and may be required in some instances.

Number of Bedrooms	Minimum Gross Floor Area (sq m)
Studio	36
1 (2 persons)	52
2 (3 persons)	66
2 (4 persons)	81
3 (4 persons)	81
Larger Dwellings	91

Design

New designs should be of a high quality and respect their context

1. **Consider the architectural or historic merit of the shopfront and its context and identify an appropriate design from one of the following three basic approaches.**

Retain the shopfront



Henderson Street

Retaining the existing shopfront and adapting it for residential use is a simple method of conversion and ensures the property fits well within its context. Where the shopfront is of architectural or historic merit this will be the only appropriate design.

A design which retains the shop front could be used in residential areas or within a row of shops.

Simple contemporary design



Royal Park Terrace

Simple contemporary designs are often the most successful. The existing structural openings should be retained and any features of architectural or historic merit retained and restored. High quality materials should be used.

A simple contemporary design could be used in residential areas or within a row of shops.

Residential appearance

Conversions with a residential appearance are rarely successfully achieved. Attention should be paid to structural openings, materials and detailing to ensure the new residential property does not stand out from its context.

Windows which are a version of those on the upper floors in terms of proportions, location and detail are usually most appropriate. Doors should relate to the scale of the building and should not result in a cluttered appearance.

Paint work should be removed to expose the stone or toned to match the building above.

A design with a residential appearance may be appropriate in residential areas but not within a row of shops.



Consider the privacy of residents

To create privacy within the property, shutters or moveable screens behind the window could be considered as an alternative to frosted glass. Where considered acceptable, frosted glass should not occupy more than 50% of the height of the window. Retaining recessed doors also provides a degree of separation from the street. Metal gates could also be added.

Altering a Shopfront

There should always be a presumption to improve, where possible, a poor shopfront.

Understanding your shopfront

Policy Des 12

sets out the principles for altering a shopfront

1. Consider the period of the building and the style of the shopfront

Shopfronts come in many styles, reflecting the different periods of architecture in Edinburgh. Those of architectural merit or incorporating traditional features or proportions should be retained and restored.

2. Determine whether there are any original or important architectural features or proportions which need to be retained

The pilasters, fascia, cornice and stallriser form a frame around the window and should be retained. Recessed doorways, including tiling, should not be removed. Original proportions should be retained.



Pilasters



Cornice



Stallriser

3. Identify any inappropriate additions which should be removed

Large undivided areas of plate glass can be appropriate within a small shopfront, however over a larger area can appear like a gaping hole over which the upper storeys look unsupported.

Large deep fascia boards and other claddings should be removed and any original features reinstated.

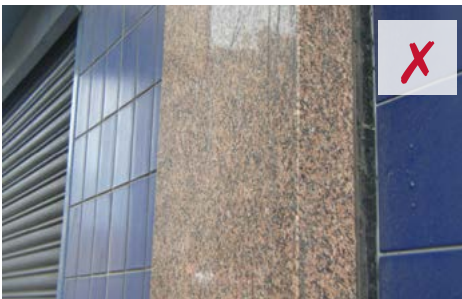
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Deep Fascia



Proportions



Cladding

Good Example

At 37-41 Nicolson Street, Edinburgh, restoration work has been carried out to remove modern additions and unveil the original Victorian shopfront of 'McIntyre's Drapery Stores'. Architectural features, including the cornice, pilasters and glazing bars have been exposed. Views into the store have now been opened up and the shop is more noticeable in the street.



Context

Shopfronts should be designed for their context

1. Consider the relationship of the frontage to the rest of the street

The relationship of the frontage to the established street pattern should be considered, particularly in terms of fascia and stallriser height and general proportions. Alterations should preserve and strengthen the unity of the street.



One shopfront across two separate buildings will not normally be acceptable as it disrupts the vertical rhythm of the facades above.



2. Consider the relationship to features on the upper floors

Where units have a narrow frontage and vertical emphasis, they should retain their individual integrity, rather than attempting to achieve uniformity with adjoining properties.



Good Examples



St Stephen Street



William Street



Grassmarket

New Design

New designs should be of high quality and respect their surroundings

1. Identify the features or proportions which will need to be retained or restored

The pilasters and frame should be retained, even if the rest of the frontage is not of sufficient quality to merit retention.

Poorly designed fascias and pilasters do not make up a well composed frame. Pilasters should not be flat to the frontage and fascias should not exceed one-fifth of the overall frontage height or be taken over common staircases. Stallrisers should be in proportion to the frontage.

Cornice which continues from the adjacent frontages will require to be restored. No part of the frontage should be located above this.

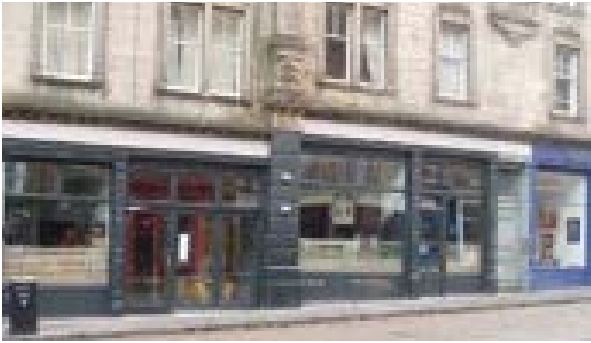
2. Consider the design and materials to be used

Where a new frontage is considered appropriate, there is no particular correct style. Modern designs will be considered acceptable providing they incorporate high quality materials, are well proportioned, and retain any features of architectural merit.

Reproduction frontages should be based on sound historical precedent in terms of archival evidence or surviving features.

Appropriate spacing and cornice should be used to create a visual break between the frontage and the building above.

Good Examples



Barclay Place



Bread Street

Paint and Colour

When is permission required?

Planning permission, and where relevant listed building consent, will be required to paint a building which is listed or within a conservation area, including a change of colour.

Planning Permission will not be required to paint an unlisted building out with conservation areas. However the painting and colour of a building should reflect its character and the area.

Good Example



Victoria Street

Listed Buildings and Conservation Areas

Paint

Unpainted stonework and other good quality materials should not be painted.

Colour Schemes

The creation of a strong identify for a business must come second to an appropriate balance with the context. Colour schemes should clarify the architectural form and not apply alien treatments and design. The most successful are simply schemes which employ only one or two colours.

Muted or dark colours are preferable.

Uniform Appearance

Coordinated paint schemes are encouraged and should be retained where present. In particular, common details, such as arches and pilasters, should have a uniform treatment. Similar lettering and signage should also be used.

The range of colours within a block should be limited.

In general, natural and traditional materials, such as timber, stone, bronze, brick and render should be used. These should be locally sourced from renewable or recycled materials, wherever possible. Frontages clad in incongruous materials will not be acceptable.

Security

1. Determine whether a security device is necessary and consider alternative solutions

Security devices should not harm the appearance of the building or street. Toughened glass or mesh grilles could be used as an alternative to security shutters.



2. If a device is considered acceptable, consider its location in relation to the window

Where shutters are not common within the immediate area, they should be housed internally, running behind the window.

Elsewhere, shutters should be housed behind the fascia or a sub-fascia.

Shutters should not be housed within boxes which project from the front of the building.



3. Identify an appropriate shutter design

Solid roller shutters are unacceptable. They do not allow window shopping at night, the inability to view the inside of the shop can be a counter security measure and they tend to be a target for graffiti.



Roller shutters of the non-solid type may be acceptable in a perforated, lattice, brick bond or open weave pattern. Shutters made up of interlocking clear polycarbonate sheets running externally to the glass may also be acceptable.



Where there is evidence of early timber shutters, they should be restored to working order or replaced to match.



Listed Buildings and Conservation Areas

Externally mounted shutters will not be considered acceptable.

The most appropriate security method is toughened glass. Internal open lattice shutters or removable mesh grilles may also be acceptable.

Metal gates are most appropriate on recessed doors.

Shutters should be painted an appropriate colour, sympathetic to the rest of the frontage and immediate area.

Blinds and Canopies

1. Consider whether a blind or canopy is appropriate on the building

Blinds and canopies should not harm the appearance of the building or street.

Traditional projecting roller blinds, of appropriate quality, form and materials, will be considered generally acceptable

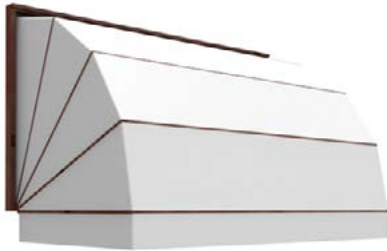
Dutch canopies will not be acceptable on traditional frontages where important architectural elements would be obscured.

Listed Buildings and Conservation Areas

Dutch canopies will not be acceptable on listed buildings or in conservation areas.

Blinds and canopies will not be considered acceptable on domestic fronted buildings.

Solar glass and film are acceptable alternative methods of protecting premises from the sun, providing they are clear and uncoloured.



Dutch canopy

2. If acceptable, consider the location of the blind or canopy

Blinds and canopies should fold back into internal box housings, recessed within the frontage. They must not be visually obtrusive or untidy when retracted.



Boxes housing blinds and canopies that project from the building frontage will not be acceptable.

Blinds and canopies will not be acceptable above the ground floor level.



3. Determine an appropriate design and materials

Blinds and canopies must be made of high quality fabric. Shiny or high gloss materials in particular will not be supported.

An advert, including a company logo or name, on a blind or canopy will need advertisement consent.



Automatic Teller Machines

1. Consider whether an ATM will be acceptable

ATMs should not impact upon the character of the building or area.

Free standing ATMs add to street clutter and will not be considered acceptable.

ATMs may be considered acceptable when integrated into a frontage, providing no features of architectural or historic interest will be affected and the materials and design are appropriate.

2. If acceptable, consider the location, design and access

Consideration should be given to pedestrian and road safety. Terminals should be sited to avoid pedestrian congestion at street corners and narrow pavements. The assessment of the impact on road safety will include any potential increase in the number of vehicles stopping, visibility and sightlines.

The use of steps for access to ATMs should be avoided and the units should be suitable for wheelchair access.

Where ATMs are removed, the frontage should be reinstated to match the original.

Listed Buildings and Conservation Areas

Consideration should first be given to locating the ATM internally. For guidance on internal alterations, consider the Listed Buildings and Conservation Area guidance.

Externally, ATMs should be located in a concealed position on the façade, within an inner vestibule or on a side elevation.

ATMs should not be fitted to finely detailed façades or shopfronts of historic or architectural merit. They will not be acceptable where stone frontages, architectural features or symmetry will be disturbed. New slappings (knocking a hole through a wall to form an opening for a door, window etc) will be discouraged.

Only one ATM will be allowed on the exterior of any building.

Where acceptable, the ATM should not be surrounded by coloured panels or other devices and signage should not be erected. The ATM and any steps or railings, where necessary, should be formed in high quality materials and be appropriate to the area. Surrounding space should match the façade in material and design.

Permissions Required

ATMs which materially affect the external appearance of a building require planning permission. Listed building consent may also be required for an ATM on a listed building. In addition, advertisement consent may be required for any additional signage.

Air Conditioning and Refrigeration

Location

Air conditioning and refrigeration units should not be located on the front elevation or any other conspicuous elevations of buildings, including roofs and the flat roofs of projecting frontages.

It will normally be acceptable to fix units to the rear wall. These should be located as low as possible.

Design

Units should be limited in number, as small as practicably possible and painted to tone with the surrounding stonework or background.

Listed Buildings and Conservation Areas

The preferred location for units on listed buildings and within conservation areas are:

- standing within garden or courtyard areas (subject to appropriate screening and discreet ducting)
- Within rear basement areas
- Inconspicuous locations on the roof (within roof valleys or adjacent to existing plant). However, in the New Town Conservation Area and World Heritage Site, aerial views will also be considered.
- Internally behind louvers on inconspicuous elevations. This should not result in the loss of original windows.

Where it is not practicably possible to locate units in any of the above locations, it may be acceptable to fix units to the wall of an inconspicuous elevation, as low down as possible.

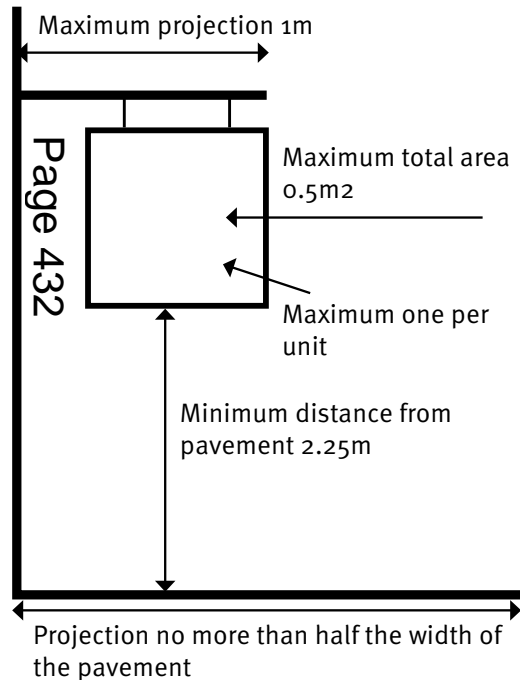
Units should be limited in number, as small as practicably possible and painted to tone with the surrounding stonework or background.

Ducting must not detract from the character of the building.

Signage and Advertisements

1. Consider the scale, location and materials of the advertisement and any lettering

High level signage is not normally considered acceptable.



NB. Dimensions may be reduced for smaller frontages

Projecting and Hanging Signs

Traditional timber designs are most appropriate on traditional frontages.



Fascia

Box fascia signs applied to existing fascias are not considered acceptable.

Individual lettering should not exceed more than two thirds the depth of the fascia, up to a maximum of 450mm.

Princes Street

Projecting signs and banners will not be supported. Illumination must be white and static.



Listed Buildings and Conservation Areas

Signage obscuring architectural details is not acceptable.

Signage should be timber, etched glass or stainless steel; synthetic materials are not appropriate.

Signage should harmonise with the colour of the shopfront.

Applied fascia boards/panels will not normally be acceptable. Lettering shall be applied directly onto the original fascia. If there is an existing applied fascia board/panel in place, this should a) be removed and the original fascia restored, or b) an appropriate new fascia applied but only where there is no original fascia.

Letters must be individual and hand painted.

On buildings of domestic character, lettering or projecting signs are not acceptable. Guidance on alternative signage is given on the next page.

2. Consider an appropriate method of illumination

External illumination will only be acceptable if unobtrusive.

Individual letters should be internally or halo lit. Discreet spotlights painted out to match the backing material or fibre optic lighting may also be acceptable. Illumination must be static and no electrical wiring should be visible from outside of the premises. White illumination is preferable.

Projecting signs should only be illuminated by concealed trough lights.

LED strip lighting to illuminate signage may be acceptable where it can be positioned discreetly on the shop front.

3. Consider alternative advertisements

Internal Advertisements

Advertisements behind the glass should be kept to a minimum to allow maximum visibility into the premises.



Directional Signs

Advance directional signs outwith the curtilage of the premises to which they relate are not acceptable unless particular circumstances justify a relaxation.

Guest Houses

Houses in residential use (Class 9) but with guest house operations should not display signs, except for an official tourism plaque or a window sticker.

For properties operating solely as a guest house (Class 7), any pole signs located in front gardens should not exceed 0.5sq metres in area.

Listed Buildings and Conservation Areas

Basement properties

Basement properties may be identified by a name plate or modest sign on the railings, or where they don't exist, discreet and well designed pole mounted signs may be acceptable.

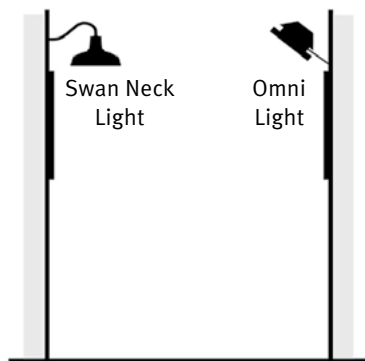


Buildings of domestic character

On buildings of domestic character, identification should consist of a brass or bronze nameplate, smaller than one stone. Where the building is in hotel use, consideration will be given to painted lettering on the fanlight or a modest sign on the railings.

Listed Buildings and Conservation Areas

Swan neck lights, omni-lights on long arms or trough lights along the fascia will not normally be acceptable. Letters should be halo or internally lit.





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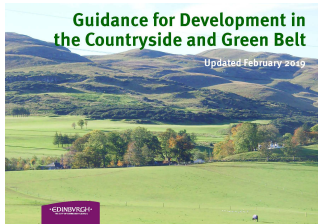
Guidance for Development in the Countryside and Green Belt

Updated February 2019

Page 435

Agenda Item 8.3

Guidance for Development in the Countryside and Green Belt



Who is This Guidance For?

This non-statutory guidance is for anyone considering modifications or extension of existing buildings and/or promotion of new uses and buildings appropriate in the countryside and green belt areas identified in the Edinburgh Local Development Plan (LDP) Proposals Map.

New development can bring a number of benefits – assisting farm diversification, supporting the local economy and making beneficial use of an existing resource. However, the countryside and green belt also needs to be protected from inappropriate development which would detract from the rural character and landscape quality of the area.

Policy Context

This document further interprets LDP Policy Env 10 Development in the Green Belt and Countryside and will be used as a material consideration when determining planning applications.

Misc: Student Housing, Radio Telecommunications, Open Space Strategy etc.

This document and other non-statutory guidance can be viewed at: www.edinburgh.gov.uk/planningguidelines

This guidance was initially published in October 2017 and incorporates a minor update approved in February 2019.

Listed Buildings and Conservation Areas

If the building is listed or located within a Conservation Area, guidance on [Listed Buildings and Conservation Areas](#) must also be considered. Boxes throughout this guideline give specific information relating to Listed Buildings and Conservation Areas. You can check if your property is listed or located within a conservation area on the Council's website www.edinburgh.gov.uk/planning

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What Consents Might Be Required?

What does this chapter cover?

Several development consents may be required for a development to proceed. This chapter lists some examples of more common consents.

Planning Permission

Some new buildings, alterations or changes of use require planning permission. You can apply for planning permission at www.eplanning.scot.

Permitted Development

Many buildings, alterations and extensions can be carried out without the need to apply for planning permission – this is known as [Permitted Development](#) (PD). For example, a range of permitted development rights apply to land or buildings of agricultural use.

Listed Building Consent

Listed building consent is required for works affecting the character of listed buildings and also applies to the interior of the building and any buildings within the curtilage built before 1 July 1948. If your building is listed, specific guidance on [Listed Buildings and Conservation Areas](#) must also be considered along with this document.

Road Permit

You must get a permit from the Council if you want to carry out work in or to occupy a public street. [A road permit](#) will be required if forming a new access or driveway or if placing a skip or excavation in a public road. It will also be required for scaffolding or to occupy a portion of the road to place site huts, storage containers, cabins, materials or contractors plant, to put up a tower crane or to operate mobile cranes, hoists and cherry pickers from the public highway. For more information contact the Areas Roads Manager in your [Locality](#).

Building Warrant

Converted, new or altered buildings usually require a Building Warrant. There is more Building Standards information at www.edinburgh.gov.uk/buildingwarrants. For detailed information please go to the [Scottish Government website](#).



Biodiversity

Some species of animals and plants are protected by law. Certain activities, such as killing, injuring or capturing the species or disturbing it in its place of shelter, are unlawful. It is also an offence to damage or destroy a breeding site or resting place (or obstruct access to).

If the presence of a European Protected Species (such as a bat, otter or great crested newt) is suspected, a survey of the site must be taken. If it is identified that an activity is going to be carried out that would be unlawful, a licence may be required.

More information on European Protected Species, survey work and relevant licenses is available on the [Scottish Natural Heritage website](#).

Trees

If there are any trees on the site or within 12 meters of the boundary, they should be identified in the application. Please refer to the [Edinburgh Design Guidance](#).

All trees in a Conservation Area or with a Tree Preservation Order are protected by law, making it a criminal offence to lop, top, cut down, uproot wilfully, damage or destroy a tree unless carried out with the consent of the council.

General Principles

What does this chapter cover?

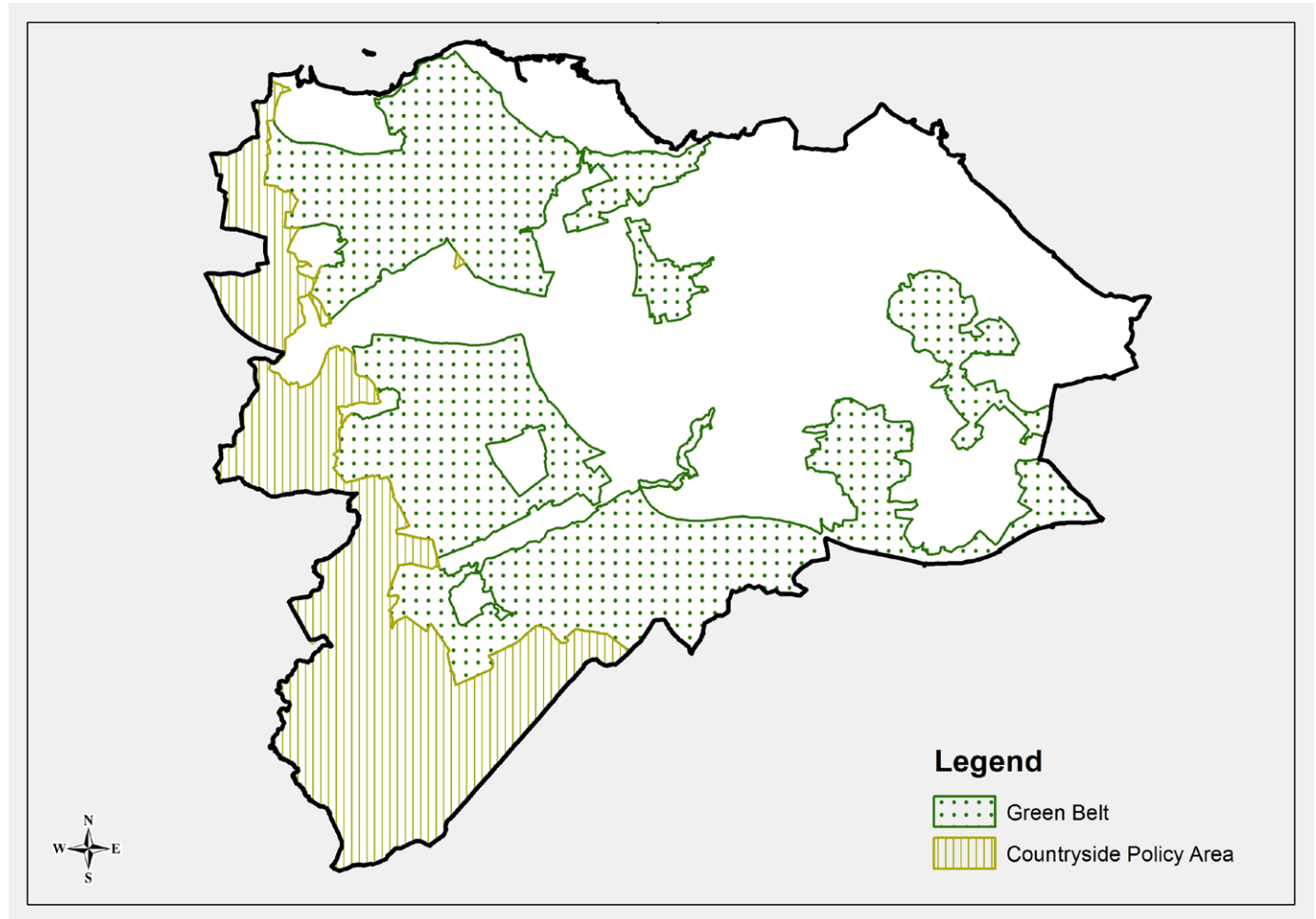
This chapter explains the general principles of acceptable development in the countryside and green belt.

Policy Env 10 of the LDP sets out the circumstances in which development will be permitted in the countryside and green belt. These include where necessary for the purpose of agriculture including farm diversification, horticulture, woodland and forestry and countryside recreation. Acceptance of the principle of a use or development does not mean that planning permission will always be granted.

Proposals also have to be assessed in terms of other relevant policies to ensure that the impact on the rural character of the countryside or green belt is acceptable. In particular, careful consideration will be given to the intensity of use and the scale, siting and design of any built elements of proposals.

This guidance does not make provision for new build housing in the countryside or green belt areas, other than the very limited circumstances identified in the section on 'Justification for New Build Dwellings'

The key test for all proposals in the countryside and green belt will be to ensure that the development does not detract from the landscape quality and/or rural character of the area.



The map identifies the areas of countryside and green belt in Edinburgh

Definitions and Clarifications

What does this chapter cover?

This chapter defines and clarifies appropriate countryside and green belt uses.

An application for a change of use between any of the uses in this chapter will be assessed on a case by case basis.

Agriculture

Agricultural Buildings

For the breeding and keeping of livestock, storage of crops or machinery (excluding for the storage of goods where this is unconnected with any form of agricultural activity).

Farm Diversification

Proposals that are clearly associated with the particular features and characteristics of the farm and help to support rather than replace, farming activities on the rest of the farm. For example, visitor accommodation, craft workshops, 'pick-your-own' and associated retail, farm parks, farm shops.

Horticulture

Development related to fruit growing, seed growing, market gardens and nursery gardens, together with ancillary retailing of the produce.

Woodland and Forestry

Includes sawmills, timber processing or timber recycling facilities where these require a location close to the wood being used.

Countryside Recreation

Uses where the proposal requires the land resource and is compatible with an agricultural or natural setting such as horse riding facilities, golf courses and golf driving ranges, touring caravan and campsites.

Other Appropriate Uses

The keeping of horses for equestrian purpose is not included in the definition of agriculture (section 277 of the Town & Country Planning (Scotland) Act 1997 (as amended)) but is, in principle, a use appropriate to rural areas. Provided it can be demonstrated that a countryside location is essential, cattery and kennel uses may also be acceptable.



Appropriate countryside recreation includes horse riding facilities

Justification for New Build Dwellings

What does this chapter cover?

This chapter sets out the circumstances where new build dwellings are acceptable.

Proposals for new build dwellings in the countryside and green belt which are associated with existing or proposed countryside uses will be permitted provided the following criteria are met:

a) a functional need for the dwelling is established;

Applicants will be asked to submit a supporting statement which states why the additional dwelling is required and how important it is to the operation of the farm or holding and why existing buildings mentioned in d) cannot fulfil the functional need of the enterprise concerned. The statement should also define the extent of the farm unit i.e. what it constitutes in terms of land and associated facilities in order to address issues such as severance.

b) the need relates to one or more full-time worker(s), or one who is employed primarily in agriculture, and does not relate to a part-time requirement;

c) the unit and the rural activity/business are financially sound, and have a clear prospect of remaining so;

Applicants will also be required to submit a business plan which must demonstrate that the business already yields (or can do so) sufficient income to support at least one full-time job. The size of dwelling proposed should relate to the functional need of the business.

d) the functional need could not be reasonably fulfilled by an existing building which is suitable and available for occupation by the workers concerned, either on the holding or nearby (this could be an existing dwelling or involve the conversion of a building currently in an alternative use);

e) the design, scale and layout of the building accords with Local Development Plan and Edinburgh Design Guidance.

New houses in the countryside

New houses not associated with countryside use will not be acceptable unless there are exceptional planning reasons for approving them. These reasons include the reuse of brownfield land and gap sites within existing clusters of dwellings.



Replacement Buildings

What does this chapter cover?

This section provides policy guidance on proposals for replacement buildings in the green belt and countryside.

Policy Env 10 provides guidance in relation to proposals for the replacement of an existing building in the same use. Subject to appropriate controls, such proposals can bring benefits, particularly in terms of visual impact on the character of the surrounding area.

Replacing a Low Quality Building

Proposals to replace an existing building which is of low quality in terms of design and structural condition with a new building will be permitted where the following criteria are met:

- i) the existing building is substantially intact (the external walls of the existing building should be intact to at least wallhead height) and has a lawful use under the Town and Country Planning Acts i.e. the use must not have been abandoned or changed from another without planning permission;
- ii) the existing building(s) is/are not listed, of architectural or historic merit, or are not a temporary structure;
- iii) the new building is within the curtilage of the existing building and preferably on the same site (unless re-siting within the curtilage offers substantial environmental improvements e.g. road safety);
- iv) the existing building is of a domestic scale (a building similar to the size of a standard dwelling house) and the new building is of a similar or

smaller size and will not detract from the open, rural character of the green belt or countryside;

v) the proposal does not (either individually or cumulatively) increase activity to a level that would detract from the rural character of the green belt or countryside in terms of traffic or amenity;

vi) the existing building is of poor quality design and structural condition and beyond reasonable repair; and

vii) the proposal is designed to a high quality which accords with the relevant LDP policies and guidance.

Demolition and Rebuilding

Demolition or rebuilding of the existing structure will not be permitted where this would materially alter its established character or its architectural or historical qualities.

A structural engineer's report should be submitted as part of the planning application to demonstrate which parts of the building are capable of conversion. Where some demolition/rebuild is proposed, a detailed schedule of down-taking is required.

Other Development

What does this chapter cover?

This chapter sets out the circumstances where other development in the countryside or green belt is acceptable.

Ancillary Development Related to an Existing Use

LDP Policy Env 10 allows ancillary buildings and development related to existing uses in the countryside and green belt, provided the proposal is appropriate in type in terms of the existing use, is of an appropriate scale, is of a high quality design and is acceptable in terms of traffic impact.

Ancillary development is defined as a building or use which is linked to and dependent upon the main use of the site/building but is of secondary importance.

Ancillary development in the green belt or countryside will be acceptable provided the proposal is appropriate in type, scale and design to the existing building and not detrimental to the rural character or landscape quality of the surrounding area.

With regards to intensification of use, the proposal should not (either individually or cumulatively) lead to an increase in a level of activity that would detract from the rural character of the countryside or green belt in terms of traffic or amenity.

Examples of ancillary development include silos, sheds, outbuildings and car parking associated with countryside recreation uses and enclosures.

Where existing use is residential the creation of an additional residential unit does not constitute intensification of use.

Steadings

In relation to steading buildings, new development may be permitted where:

- a) it reinstates a part of the original steading group altered by later development alien to its character and appearance; or
- b) it forms a logical addition to the form and layout of the steading and would complete its overall composition; or
- c) it is justified by physical and/or historic evidence which clearly demonstrates that it was an integral part of the original steading; or
- d) it provides environmental benefits such as a more sustainable, energy efficient design.

Expansion of Existing Garden Ground

Proposals for garden extensions beyond settlement boundaries are only likely to be supported in exceptional cases, where the new residential curtilage would be contained between the existing gardens of neighbouring properties. Proposed garden extensions which would detract from the character of the green belt or countryside will not be supported.

Energy Development

In order to protect the landscape setting of the city and rural character and landscape quality it is unlikely that free standing wind turbines will be acceptable in the green belt.

Proposals for micro-generation will be assessed under Policy RS1 Sustainable Energy of the Local Development Plan.

General Design

What does this chapter cover?

This section provides guidance on design principles that are acceptable in the countryside and green belt.

New Development in the Countryside and Green Belt

Proposals should accord with the design policies in the LDP and relevant guidance. Proposals will not be permitted where it would detract from the landscape quality and/or rural character of an area. Applications for development in the countryside and green belt will need to be accompanied by a design statement to demonstrate compliance with relevant policies and supplementary guidance (unless the proposal is of a minor nature).

Further information

Further guidance on design matters can be found in the Council's planning guidelines www.edinburgh.gov.uk/planningguidelines.

Development in the countryside and green belt should respect the rural character of the area. In order to protect its setting, existing landscape features should be protected and the impact of obtrusive 'suburban clutter' associated with the development such as roads, lamp posts, pavements, car parks, and boundary features should be minimised. For example, the use of hedging and traditional hard landscaping materials is encouraged. For applications involving the alteration of a listed building, Historic Environment Scotland will normally be consulted for comments.

In relation to conversions, existing openings in primary elevations should be used wherever practicable, particularly where these are features of architectural interest. New openings should only be installed where absolutely necessary and these must respect the character of the building.

The design and form, choice of materials and positioning of proposals must be compatible with the rural character of the area and respect the landscape quality. Proposals should consult the Edinburgh Design Guidance.



Dwellinghouses in the countryside and greenbelt can be sympathetic to an existing rural character through use of materials and design.



HAPPY TO TRANSLATE

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MOŻEMY PRZETŁUMACZYĆ

很樂意翻譯

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Edinburgh Design Guidance

October 2017

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Agenda Item 8.4

Foreword

Edinburgh Design Guidance - Raising the Bar

Edinburgh is a unique city of extraordinary quality. Contained between the Pentland Hills in the south and the Firth of Forth to the north, our city has grown from the medieval form of the Old Town across the Waverley Valley to the classical layout of the New Town and beyond into the tenemented and terraced stone suburbs of the 19th and 20th century.

Over the centuries architects, builders and developers have exploited the topography and the natural environment to create the stunning city we have today: a city with two world heritage sites that consistently ranks as one of the best places in the UK to live, work and study.

The task facing us now is to ensure that future developers and builders reflect on the nature of the city and design with that enduring quality in mind. Some recent developments have failed to grasp this challenge resulting in bland, universal architecture. In the context of an expanding city, this is something we need to address – just good enough will no longer be good enough.

We need to create developments that we are proud of, and not just add another suburban extension to the last one. We need to create new city suburbs and new employment areas, places which reflect and build upon the city's rich architectural and design qualities, but are places in their own right.

To achieve this we must all work with the same ambition. Councillors, planning officers and developers must all have the same aims for the city – to raise the bar, create great places and match the quality of our predecessors.

The Edinburgh Design Guidance is a tool to help achieve this.



Councillor Lewis Ritchie
Convener of Planning

It sets out the standards that must be met in the design of new buildings and spaces. The principles contained within the guidance are informed by the qualities that make Edinburgh special.

For the first time, the guidance contains advice on parking standards and merges in the Edinburgh Street Design Guidance as a new Chapter 4. This ensures a holistic approach to new development covering buildings, open space and roads.

As society changes, the city too is entering a new era of change and development. There is an opportunity for us all to play a part in creating an urban legacy for the future generations.

This document has been strengthened, reviewed and amended as a result of the time and input from several individuals, groups and partners. I would like to thank everyone who has been involved in that process.

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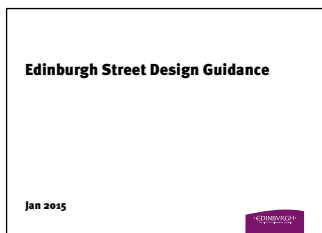
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Edinburgh Design Guidance

How does it relate to other guidance?

This document is part of a suite of non-statutory planning guidance:

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Further information

If you require any further information or clarification, please visit our website at www.edinburgh.gov.uk/planning or contact the Planning Helpdesk on 0131 529 3550.

How is it structured?

There are chapters on Context, placemaking and design; Designing places - buildings; and Designing places – landscape, biodiversity and the water environment.

The introduction to each chapter sets out over-arching aims and expectations for new development.

Each subject area has its own section.

Main design principles introduce each section.

Explanatory text is included, where relevant to provide more detail.

2. Designing Buildings

This chapter sets out the Council's expectations for how features within the built form relate to its setting. The overall composition of streets is shaped by how individual buildings work together, creating the unique visual character through repetition, variety and focal points within the street scene.

The key aims are for new development to:

- Have a positive impact on the immediate surroundings, wider environment, landscape and views through its height and form, scale and proportions, materials and detailing, positioning of the buildings on site, integration of ancillary facilities, health and amenity of occupiers.
- Repair the urban fabric, establish model forms of development and generate coherence and distinctiveness where the surrounding development is fragmented or of poor quality.
- Achieve high standards of sustainability in building design, construction and use and be adaptable to future needs.
- Support social sustainability by designing for different types of households.
- Address the street in a positive way, to create or help reinforce sense of place, urban vitality and community safety.
- Balance the needs of pedestrians, cyclists, public transport users and motorists effectively and minimise the impacts of car parking through a design-led and place specific approach.
- Enhance the environment, manage exposure to pollution and reduce overall emissions.

Technical guidance is contained in the grey pages.

Local plan policy references are included.

The navigation panel allows online users to interact with the document.

1.1 Appraising the landscape and townscape

Survey and analyse the character of the wider landscape and townscape surrounding a development site.

Survey the existing scope of visibility and the amenity value of these views within the city and surrounding landscape.

Evaluate changes to character and views that will result from development and use the findings to inform design review and finalised proposals.

Survey and analyse the historic environment and use findings to inform design proposals.

Policy References

- Edinburgh Local Development Plan - Des 1, Des 4
- Planning Advice Note 68 – Design Statements

For a proposal to respond positively to its context, it is essential that it is designed with a good understanding of its site and the surrounding area and the wider city. This will help the development of a sound concept around which the design is structured. The council expects a multi-disciplinary team consisting of architect/urban designers, landscape architects and flood engineers (historic experts if required) to be used to develop a concept and bring forward a masterplan. Schemes with a poor understanding of context will be refused.

All design should begin with a site survey and appraisal. The scope and length of this survey and appraisal should be appropriate to the nature and scale of the development proposed and its location in the city.

An appraisal should consider the wider context, as well as the immediate surroundings. Even small developments can have significant impacts when sited in sensitive locations.

Where surroundings are of poor landscape or townscape quality, the appraisal should be used to identify opportunities for how the proposal could make improvements.

Information required in a site survey and appraisal	
Landscape	Geology, topography, landform, existing vegetation, including trees (section 3.5) use of landscape by people, historical /archaeological assets, description of local landscape character and key landscape characteristics of site and context and analysis of the above
Ecology	Extended Phase One Habitat Survey and Ecological Assessment, to identify habitats and Protected species within the site and opportunities for linkage with adjacent habitats. (See Biodiversity (section 3.4))
Hydrology, drainage, services	Locations of services and utilities (above and below ground). Water features and flood extents (including culverted river courses). See Water Environment (section 3.8)
Townscape	Listed buildings, focal points, landmarks, architectural style, feu pattern & building line, conservation area appraisals
Streets / Movement	How the site relates to the wider network of streets, footways and cycle routes and how these streets and routes are used. Consideration at different scales, structural, layout and detail.
Views Survey	Visual Assessment (see following pages) The extent to which the site is visible, whether the site is in a protected view or other important local city view. Whether there are views to landmark features or other important features from site.
Microclimate / Air Quality	Sunpaths for winter & summer, prevailing wind in terms of shelter of urban blocks and tree planting, aspect and micro-climate in relation to solar gain & planting proposals. Existing air quality issues.
Planning / other designations	Is the site in the World Heritage Site? The airport exclusion zone? A site of importance for nature conservation? The extent to which it meets requirements of Council's Open Space Strategy etc.

Technical guidance

Examples using some of these density measures follow. For these examples, car parking values were simply determined by establishing how many cars actually park on the relevant street. In relation to perpendicular on-street parking, a value of 2.5/m is suggested, whilst for parallel parking, a length of 6m is suggested to accommodate cars.

Stockbridge colonies	Marchmont tenements	Lochrin Place tenements
115 Dwellings / ha	99 Dwellings / ha	114 Dwellings / ha
0.96 GFA / site area	1.32 GFA / site area	1.89 GFA / site area
0.34 Footprint / site area	0.33 Footprint / site area	0.35 Footprint / site area
2.8 Average number of storeys	4 Average number of storeys	5.3 Average number of storeys
0.5 Car parking / dwelling	0.8 Car parking / dwelling	1 Car parking / dwelling
179m ² GFA per car parking space	170m ² GFA per car parking space	115m ² GFA per car parking space

Introduction

This updated guidance sets out the Council's expectations for the design of new development in Edinburgh.

Greater emphasis has now been placed on creating places that support the development of a compact, sustainable city. Support for active travel and public transport is reflected in revised parking controls in new developments. Landscape, biodiversity and green infrastructure are given greater prominence to reflect the wider contribution they make to placemaking and wellbeing. Air quality, which is fundamental to public health and quality of life, is addressed through various mechanisms, including the requirement to make provision for electric charging points to support the use of vehicles that emit lower levels of emissions.

The Council wants new development to create great places for people to live, work and enjoy. In order to do this, we need to achieve the highest quality of design that integrates successfully with the existing city.

Many recent developments have achieved this aim and some are used as examples in the guidance. These developments establish a standard for the design quality of new development. Where appropriate, the guidance includes examples from outwith Edinburgh.

This guidance is intended for all new buildings but also includes a revision to the parking standards and will ultimately sit alongside a revised Street Design Guidance. This will allow a holistic, place-based approach to design and development. The examples given show principles and concepts that apply to a range of different building types. These will also include examples of good street design, once the Street Design Guidance has been aligned with this guidance.

The guidance should be used as a point of reference, as a basis for the planning and design of new development proposals and will be a material consideration in assessing planning applications. It aims to:

- provide guidance on how to comply with the policies in local plans;
- support good placemaking by bringing together guidance for streets, spaces and buildings;
- explain the key ideas which need to be considered during the design process;
- give examples of good quality design; and
- set out the requirements for design and access statements.

Each section provides guidance on specific topics that should be used as appropriate. It is important that it is read in conjunction with statutory

development plans and other planning guidance depending on the type and location of development.

The Council's design-related policies can be broadly divided into themes relating to context, built form, landscape and biodiversity. This is reflected in the structure of the guidance. Where appropriate, technical guidance is included. A fourth section, related to streets, will be appended to the finalised guidance.

Policy context

Scottish Government policy

A Review of the Planning System, a new National Transport Strategy and Cleaner Air for Scotland – the Scottish Governments policy document on Air Quality, all reflect a changing policy context. A more co-ordinated approach with outcomes that deliver better places is a common theme.



Creating Places and *Designing Streets* are the two planning policy documents for Scotland that relate to design. They set out government aspirations for design and the role of the planning system in delivering these. They are material planning considerations.

Creating Places sets out the six qualities of successful places as:

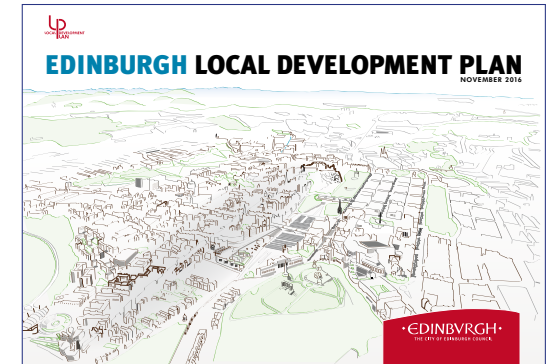
- distinctive;
- safe and pleasant;
- easy to move around;
- welcoming;
- adaptable; and
- resource efficient.

These guiding principles underpin the approach to delivering good places.

The Society of Chief Officers for Transportation in Scotland's (SCOTS) *National Roads Development Guide* provides technical guidance to support the design aspects of Designing Streets, by focusing on how to achieve Roads Construction Consent (RCC) for all new or improved roads for a local authority to adopt.



NATIONAL ROADS DEVELOPMENT GUIDE



The Development Plan

The *SESplan Strategic Development Plan* and the *Edinburgh Local Development Plan* make up the Development Plan for Edinburgh. This guidance interprets and applies the policies set out in the Local Development Plan and provides more detailed advice.

The Local Development Plan, which was adopted in November 2016, provides the main basis for determining planning applications.

Relationship to other guidance

This Design Guidance is one of a number of user-focused pieces of guidance which interpret the policies set out in the Local Development Plan. It is important that, where applicable, these are read in conjunction with one another. For example, when designing a new building in a conservation area, reference should be made to this guidance and the Guidance on Listed Buildings and Conservation Areas.

Edinburgh also has a number of site/area specific planning guidance, including Development Briefs.





View to the Pentland Hills from Edinburgh Castle

Edinburgh

Edinburgh is a unique and beautiful city - recognised by the UNESCO inscription of its two world heritage sites: the Old and New Towns of Edinburgh and the Forth Bridge. Its distinct geography and rich and varied heritage of buildings and urban design combine to create a unique cityscape. Edinburgh is a city of startling contrast – between its landscape and buildings and in its streets and spaces.

Landscape is vitally important. Containment is provided by the Firth of Forth to the North and the Pentland Hills to the South, but it is the hills within Edinburgh that create some of the most striking aspects of its setting. Castle Hill, Arthur's Seat, Calton Hill and others create a three dimensional city. Not only do they dominate views throughout the city, but they also create vistas, allowing the city



Tightly packed buildings in the Old Town—Cowgate viewed from South Bridge



A New Town Street: Northumberland Street

to be seen and understood from a series of different vantage points.

The topography of hills, ridges and valleys have enabled the development of a series of distinct areas that juxtapose with one another. Nowhere is this interplay between landscape and buildings clearer than in the city centre. Both the Old and New Town are designed around their landforms. In the Old Town, the Royal Mile slopes gently down the Old Town ridge; buildings are tightly packed together off closes that run down to the Waverley and Cowgate valleys. The New Town's more undulating landscape is reflected in its spacious and geometrically ordered streets.

Throughout history, the city has evolved in response to changing needs and growth. In the 18th and 19th centuries, bridges and streets were thrust into the medieval pattern of the Old Town to create links with the wider city and improve the environment by providing more air and light. Edinburgh has also embraced change to meet current needs.

Subsequent expansion of the city have has created distinctive neighbourhoods with their own sense of place but which also contribute to the character of the city as a whole. Areas like the Grange, Marchmont and Bruntsfield, Inverleith, Leith, Gorgie and Dalry, have different building forms, but with their consistent heights, sandstone walls, slate roofs, vertical windows and architectural motifs they feel very much part of Edinburgh.



An Old Town Improvement Street: Cockburn Street



Tenements in Marchmont—Warrender Park Terrace



Suburban housing with view to Edinburgh Castle—Greenbank Crescent

Although the later post war suburban areas of the city are less distinct, their simple layouts knit well into the wider city. Where streets align with the city's landmark features, their sense of belonging to Edinburgh is amplified.

Confident modern developments sit alongside some of the oldest buildings in the city. Ironically, this process of change means many parts of the Old Town are younger than large swathes of the New Town.

Edinburgh contains the greatest concentration of built heritage assets in Scotland, with nearly 5,000 listed items comprising over 30,000 separate buildings. These range in scale from the Forth Rail Bridge to the statue of Greyfriars Bobby, and in age from the 12th century to the late 20th century. The city accounts for about one-third of all the 'A'

listed buildings in Scotland and has a much higher proportion of 'A' listed buildings than the national average.

Edinburgh has a total of 49 conservation areas covering 25% of the urban area with a resident population of over 100,000. Each conservation area has its own unique character and appearance. The variation in character illustrates the history of Edinburgh. They range from the internationally famous New Town, which is the largest conservation area in Scotland, to small villages which have been absorbed as the city expanded.

The public realm of Edinburgh offers a wealth of streets, squares and spaces, gardens and pedestrian spaces, which act as gathering places for people and settings for the historic buildings making an important contribution to the

architectural character of the area. It can be seen as the glue that binds places together.

This combination of natural and built heritage should be maintained and enhanced. The principles presented here are informed by qualities that make Edinburgh special. They seek to achieve new development that draws on and interprets the past; with an emphasis on creativity and innovation rather than prescription.

The Challenge

The quality of our environment undoubtedly contributes towards Edinburgh's success as an international city to which people and businesses are attracted. For this to remain the case, it is vitally important that we continue to respect the existing built fabric. In doing so, Edinburgh should not become a museum piece. Instead, the city must continue to embrace change so that it can adapt to its evolving needs. However, this sets up a possible tension—between preservation and change. As many of the examples used in this guidance demonstrate, design led solutions can resolve a range of competing needs.

Where surrounding development is fragmented or of poor quality the aim is to establish a new context that better reflects the inherent character of Edinburgh. The Council encourages model forms of development that generate coherence and distinctiveness. Both the historic environment and the many modern developments shown in this guidance provide context of quality that should be reflected in these situations.

We can reduce the impact of a changing climate through innovative placemaking. For example integrating greenspaces into new and existing developments can reduce the risk of flooding and act as a buffer against noise and air emissions from vehicles, whilst providing open spaces for walking, cycling and nature.

A design process that challenges conventional ways of doing things will be key to creating successful places, particularly for new and emerging suburban areas.



Air quality has become a particular challenge in cities across the world. Considered use of design and placemaking can minimise the impacts of pollution while, at the same time, promoting spaces for walking, cycling and nature.

If the aims of this guidance are met, forthcoming developments will be more successful in the longer term - meeting the needs of all who use and experience the city.

Promoting good design

It is important to achieve the highest quality of design possible. This means committing to good quality at every stage of the design process.

Well designed developments can actively enhance the environment; manage exposure to air, noise and light pollution and reduce overall emissions. In contrast, other new developments may increase the emission of pollutants that are harmful to human health and impact on the quality of life.

Pre-application advice

The Council encourages and promotes engagement on design issues through pre-application advice. Providing advice prior to the formal submission of a planning application can ensure that the quality of development is improved and certainty in the outcome can be increased for the applicant.

This process provides an opportunity to consider the development in principle and to influence its design, so that potential problems are resolved or reduced. This will avoid the need for expensive and time-consuming retrospective re-design.

Design review

The Council supports the process of design review. Depending on the size, complexity and sensitivity of the site, proposals may be referred to either **Architecture + Design Scotland** (the Scottish Government's advisory body on urban design matters) or the Edinburgh Urban Design Panel. This should be done at the pre-application stage.

Architectural quality and competitions

The Council's policies and guidance aim to raise the urban design quality within the city. For particularly important or sensitive sites or for some nationally important uses, architectural competitions may be the best way of ensuring the highest architectural quality.

Community and place

Good design needs to take account of community needs and community aspirations. The Review of the Planning System and the Community Empowerment Act require that the community become more involved in helping to deliver better places. Use of tools like **The Place Standard** show how local needs can be incorporated into development briefs and other planning processes.



View from Meadows of new housing

1. Context, placemaking and design

This chapter sets out the Council's expectations for how new development should relate to its context; a key theme throughout this document. High quality design supports the creation of good places and has a positive impact on health and wellbeing. The highest standards of design can be achieved through the factors set out in the Scottish Government's Creating Places and Designing Streets policies, to create new vibrant places which are distinctive, safe and pleasant, easy to move around, welcoming, adaptable and sustainable.

The key aims for new development are:

- demonstrate an understanding of the unique characteristics of the city and the context within which it is located;
- demonstrate an understanding of the historical development of the site;
- reinforce its surroundings by conserving and enhancing the character and appearance of the landscape and townscape; including protecting the city's skyline and locally important views;
- ensure that adjacent development sites are not compromised and that there is a comprehensive approach to layout;
- provide appropriate densities depending on their existing characteristics;
- incorporate and use features worthy of retention, including natural features, buildings and views; and
- demonstrate a good understanding of the existing water environment on site and provide a creative response to manage future surface water.

1.1 Appraising the site and context

Survey the site and immediate context and analyse the character of the wider landscape and townscape surrounding a development site.

Survey the existing scope of visibility and the amenity value of these views within the city and surrounding landscape.

Evaluate changes to character and views that will result from development and use the findings to inform design review and finalised proposals.

Survey and analyse the historic environment and use findings to inform design proposals.

Local Development Plan policies

- *Des 1 - Design Quality and Context*
- *Des 3 - Development Design*
- *Des 4 - Development Design*
- *Des 11 - Tall Buildings*
- *Env 1 - World Heritage Site*
- *Env 6 - Conservation Areas*
- *Env 7 - Historic Gardens and Designed Landscapes*
- *Env 11 - Special Landscape Areas*
- *Env 17 - Pentland Hills Regional Park*

For a proposal to respond positively to its context, it is essential that it is designed with a good understanding of its site and the surrounding area and the wider city. This will help the development of a sound and sustainable concept around which the design is structured. The council expects a multi-disciplinary team consisting of architect/urban designers, landscape architects, flood engineers, historic experts to be involved in developing and bringing forward a masterplan. Schemes with a poor understanding of context will be refused.

Contextual evaluation should consider the impact of the proposal in terms of its physical structure: mass, density, materials, height, as well as its function and uses. Consideration should be given to whether it has a positive impact on the local community and whether that impact is local or area-wide.

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Information required in a site survey and appraisal

Landscape	Geology, topography, landform, existing vegetation, including Trees (section 3.5), use of landscape by people, historical /archaeological assets, description of local landscape character and key landscape characteristics of site and context and analysis of the above.
Ecology	Extended Phase One Habitat Survey and Ecological Assessment, to identify habitats and protected species within the site and opportunities for linkage with adjacent habitats. See 3.4 Biodiversity on page 95 .
Hydrology, drainage, services	Locations of services and utilities (above and below ground). Water features and flood extents (including culverted river courses). See 3.8 Water environment on page 106 .
Townscape	Listed buildings and their setting, focal points, landmarks, architectural style, feu pattern & building line, conservation area appraisals.
Streets / Movement	How the site relates to the wider network of streets, footways and cycle routes and how these streets and routes are used. Consideration at different scales: structural, layout and detail.
Views Survey	Visual Assessment (see following pages) The extent to which the site is visible, whether the site is in a protected view or other important local or city view. Whether there are views to landmark features or other important features from site.
Microclimate /Air Quality	Sunpaths for winter & summer, prevailing wind in terms of shelter of urban blocks and tree planting, aspect and micro-climate in relation to solar gain & planting proposals. Existing air quality issues.
Planning / other designations	Is the site in the World Heritage Site? The airport exclusion zone? A site of importance for nature conservation? The extent to which it meets requirements of Council’s Open Space Strategy etc.

Much of the city's built up area is defined by a traditional townscape character that creates a high quality, sustainable and vibrant urban environment. Consideration should be given to the way new buildings are inserted into the framework of the existing townscape; respecting its scale and producing architecture of the highest quality.

Architectural form and building heights must, therefore, be appropriate to location and function. The objective is to preserve and enhance the existing townscape character, and pursue the highest architectural and urban design quality, incorporating social; environmental and economic needs.

New development should be sensitive to historic character, reflect and interpret the particular quality of its surroundings, and respond to and reinforce locally distinctive patterns of development, townscape, landscape, scale, materials and quality. New development should strengthen the context of existing conservation areas, respecting the topography, physical features, views and vistas.

There is no simple prescription for good architecture beyond the precepts of 'commodity, firmness and delight'. Good new buildings in historic settings should not merely be fashionable, but should stand the test of time. Conformity to restrictive formulae or the dressing of modern structures in traditional forms may fail to produce quality architecture. The aim is to encourage development which reflects and creatively interprets the past. Consistency and continuity is important, and new buildings should not draw attention to themselves disproportionately.

Historic environment

The historic environment includes ancient monuments, archaeological sites and landscape, historic buildings, townscapes, parks, gardens, designed landscapes and other features.

Sites within the two World Heritage Sites (WHS), The Old and New Towns of Edinburgh and the Forth Bridge require particular consideration. Historic Environment Scotland's 'Managing Change in the Historic Environment: World Heritage' provides advice. There are management systems in place for both of the WHS.

The proposals should explain the impact on the Outstanding Universal Values within the Environmental Impact Assessment.

It is also important to understand the setting of historic assets. Historic Environment Scotland's (HES) *Managing Change in the Historic Environment Guidance* provides advice on a range of subjects. Their guidance on *New Design in Historic Setting* explains the process of design that can help deliver exciting contemporary interventions that energise and enhance our historic areas.

Conservation Area Character Appraisals explain the special architectural and historic interest for each of the City's conservation areas. Edinburgh also has a heritage of listed buildings. If these fall within or adjacent to proposed development their significance and setting should be surveyed and appraised.

Where a site is of known or suspected archaeological significance a programme of archaeological works will need to be agreed with the Council. As the archaeology may influence the extent of development, this should be done at the site appraisal stage. On some sites, excavations may be required.

Historic Environment Scotland's *national Inventory of Gardens and Designed Landscapes in Scotland* describes landscapes of national importance. Proposals should assess the impact the development will have on the Gardens and their setting. Proposals that potentially will affect local and regionally important landscapes also require assessment.

Landscape character

Characterisation is a way to describe and understand the distinct patterns of elements which combine to create a 'sense of place', including geology, landform, soils, vegetation, land use, urban form, architectural style and experiential qualities.

A landscape character assessment can assist in defining objectives to protect, manage or restructure the landscape.

Edinburgh's unique and diverse landscape contributes to the city's identity and international renown. The landscape context is described in the *Lothians Landscape Character Assessment* and in more detail in the *Edinburgh Landscape Character Assessment. Special Landscape Areas* have been identified as being of particular quality and their Statements of Importance also provide relevant information.

These should be referred to as part of a sites landscape appraisal, helping to ensure that developments interact with their surroundings and aspire to shape high quality future landscapes. The urban edge for example should be designed to conserve and enhance the special character of the city. See [page 18](#) for technical information and requirements.

Visual assessment

Visual assessment is a method to help understand the changes to views that would be experienced by people in the short, medium and long term should the development go ahead.

It is an essential tool to explore design options and assess the visibility of new proposals and how they will be viewed in relation to existing built and natural features.

In some instances the use of tethered balloons or scaffolding structures will be required to allow people to understand the visual impact.

Findings should be presented in Environmental Impact Assessments, Design Statements or Landscape and Visual Appraisals and follow the approaches set out by the document 'Guidelines for Landscape and Visual Assessment' (most recent edition).

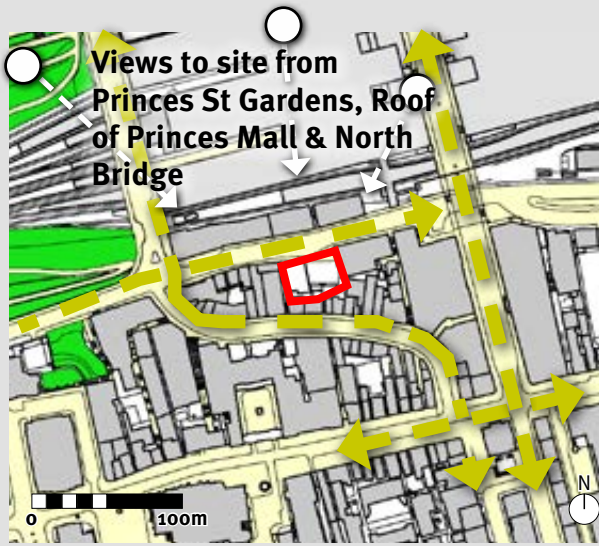
The process should identify all the views within the landscape or townscape from a range of distances and orientations from the proposed development and take into account how this will be viewed from particular vantage points. These include hill tops, paths and greenspaces, visual corridors along streets and roads, bridges and residential neighbourhoods. See [page 22 - 25](#) for technical information and requirements.



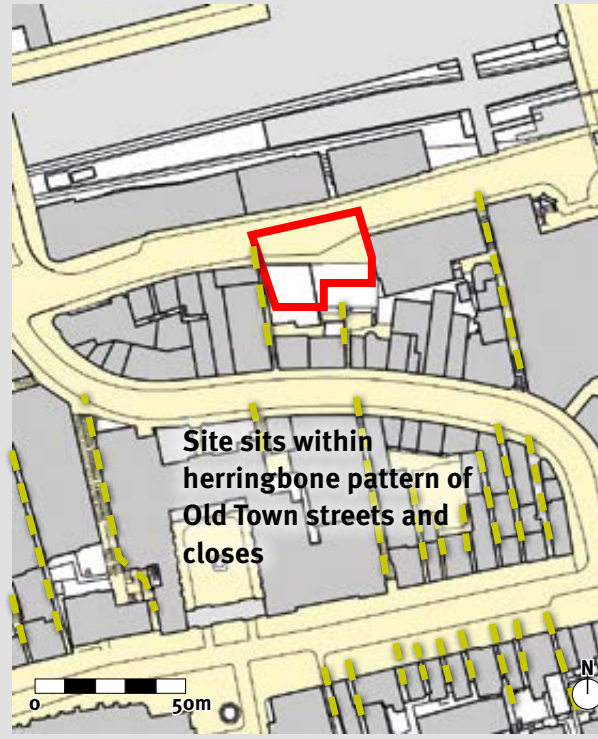
Site appraisal

These drawings and images illustrate some of the ways a site can be appraised—in this case the gap site next to the City Art Centre. Information like this helps build up an understanding of a site—it does not prescribe the way it should be developed.

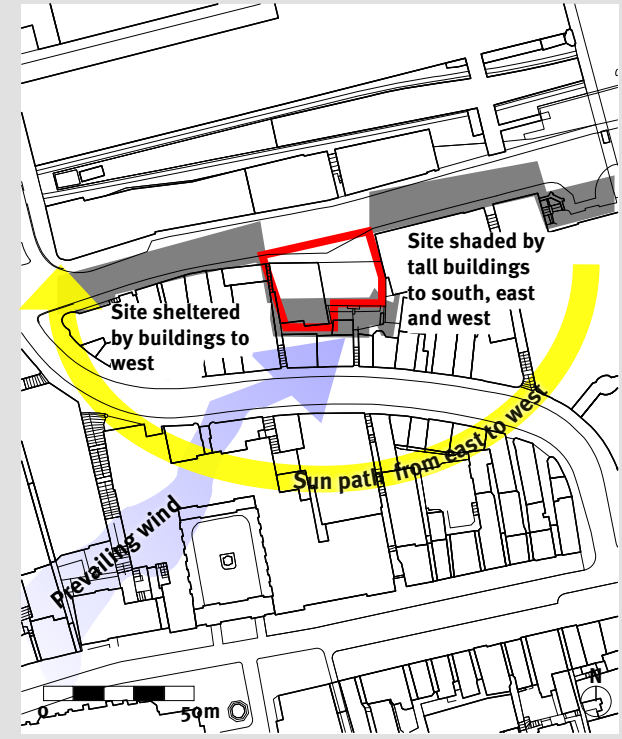
Page 462



Views to site



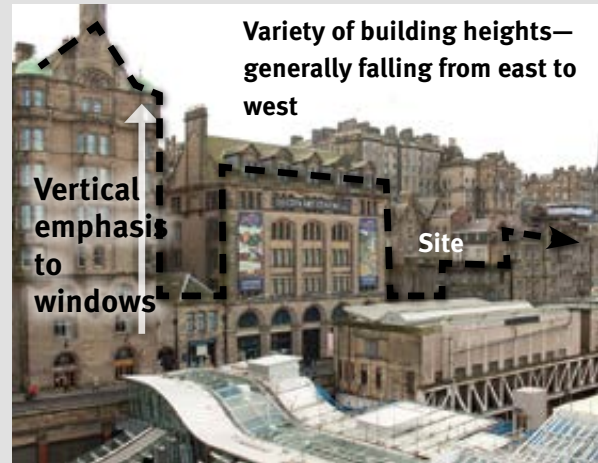
Buildings and routes



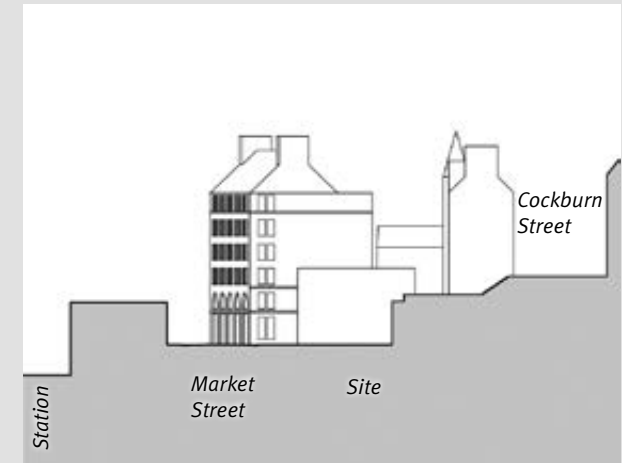
Microclimate



Important nearby features



Building heights and form



Site section

Historic Environment

Development should relate to the historic context in terms of the following principles:

- New developments should be sensitive to historic character and attain high standards in design, construction and materials.
- New buildings should be designed for a long life and soundly constructed of durable materials chosen to suit their context. They should be capable of alteration and adaptation in response to changing needs in the future.
- Historic settlement patterns, plot boundaries, pedestrian routes and enclosures should be respected, as should the form, texture, grain and general character of the site as a whole.
- Most of Edinburgh's conservation areas have a predominantly consistent design, or one which is layered and made up of diverse components, yet with an overall integrity. The consistent use of a limited range of materials for roof coverings, walls, ground surfaces, and for other elements and details, can be vital to the integrity of an area.
- New buildings should be designed with due regard to their site and surroundings using materials that will weather and age well and settle into their place in the townscape.
- Development should remain within the range of heights of historic neighbouring properties.

- Facades should respond to the rhythm, scale and proportion of neighbouring properties.
- Development should respect the established building line.
- The density and architectural style of new development should respect the scale, form and grain of the historic context.
- Roof forms and materials should reflect the tradition of the locality.
- The use of materials should respect and strengthen local traditions, reflecting the naturally predominant material.
- Traditional means of enclosure should be provided, erecting either a wall sympathetic to the local context or railings of an appropriate design.
- Development should retain significant gaps or open spaces which contribute to the street scene or provide the setting for buildings of architectural or historic importance.
- Development should retain trees which contribute the character of the streetscape.
- In exceptional circumstances, where there is a gap in a formal scheme, for example, it may be appropriate to rebuild or build to a pre-existing or reconstructed design.

In assessing whether or not unlisted buildings make a positive contribution to the special architectural or historic interest of a conservation area, the following questions will be considered:

- Does the age, style, materials or any other characteristics of the building reflect those of a substantial number of other buildings in the conservation area?
- Does it relate in age, style, materials or any other historically significant way to adjacent historic buildings and contribute positively to their setting?
- Does it reflect the development of the conservation area?
- Does it have significant historic associations with the established features such as the road layout or traditional plot sizes?
- Does it have landmark quality?
- Does it reflect the traditional functional character of the area?
- Does it have significant historic associations with local people or past events?

Technical guidance

Landscape Character

Technical checklist

Determine the relevant study area in relation to the proposed development. Agree with planning authority.

Describe and categorise the surrounding landscape and townscape based on the predominant topography, land use, eras of settlement and patterns of form, scale and enclosure. Refer to existing sources of information as necessary.

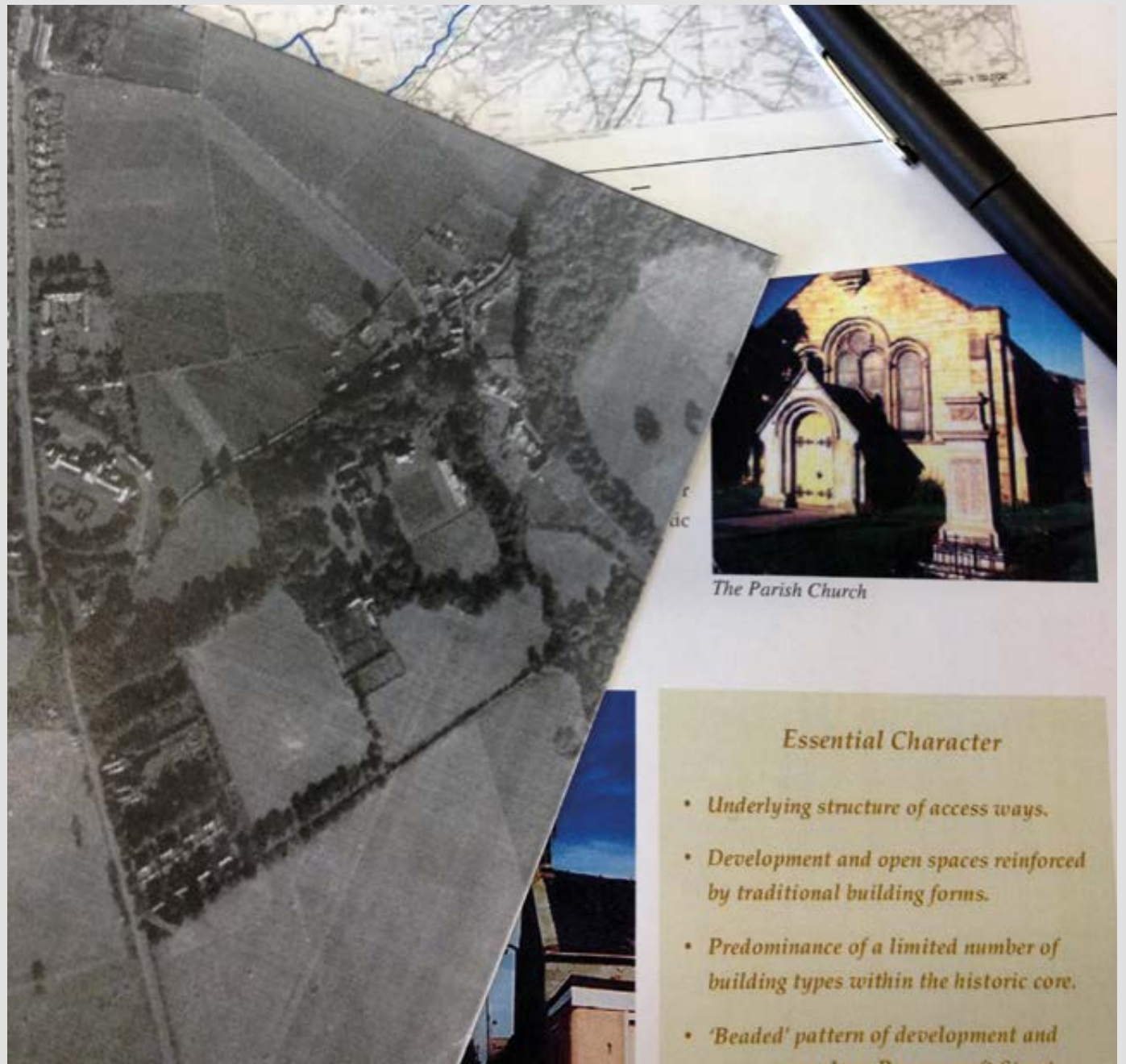
Identify sensitive receptors within the study area, such as designated sites, listed buildings and scheduled sites, existing trees and woodland and describe key characteristics of site.

Provide a succinct written appraisal assessing the landscape/townscape impact of the proposal. Describe and evaluate change to character by considering how aspects of the proposal relate to its surroundings and whether change will weaken or enhance existing character. Where relevant incorporate design mitigation measures.

Additionally, designed landscapes will require a historic landscape assessment.

*Lothians Landscape Character Assessment (1998).
Edinburgh Landscape Character Assessment (2010)*

Historic Scotland – Conservation Plans – A Guide to the Preparation of Conservation Plans (2000)



The Parish Church

Essential Character

- Underlying structure of access ways.
- Development and open spaces reinforced by traditional building forms.
- Predominance of a limited number of building types within the historic core.
- 'Beaded' pattern of development and

A range of documents and techniques can be used when preparing landscape character assessments

Technical guidance

Visual Assessment

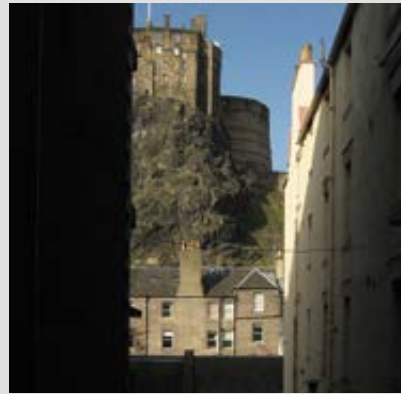
The Landscape Institute's 'Guidelines for Landscape and Visual Impact Assessment' sets out the recognised approach. It should be read in conjunction with the *Landscape Institute Advice Note 01/11—Photography and Photomontage in Landscape and Visual Assessment* and Visual Representation of Wind Farms (Scottish Natural Heritage 2014). The visual assessment should assess city and local views as well as protected views. Views within any cultural heritage assessments or assessments of setting should be to the same standard as the visual assessment. They are likely to be the same views.

The requirements set out in the technical checklist should be confirmed and agreed at an early stage.



Protecting new views

The view from Edinburgh Park Station towards Arthur's Seat & the Castle (right) has similar qualities to the view towards the Castle from Carrick Knowe railway footbridge. It should be protected.



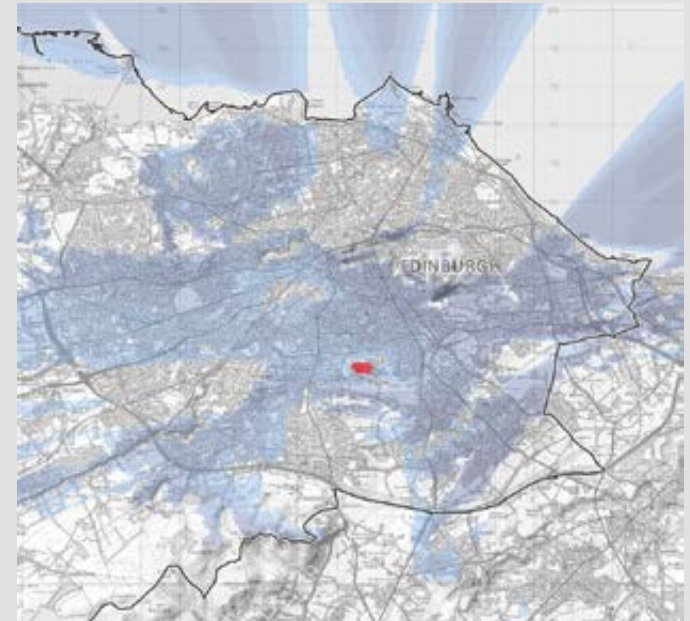
Protecting an incidental view

Although the glimpsed view to Edinburgh Castle from the West Port is not a key view, care should be taken to protect it. Limiting the height of buildings to maintain a view



Limiting the height of buildings to maintain a view

The height of buildings in the Bio-Quarter has been limited to maintain views towards the Edmonstone ridge. This helps to reinforce the landscape setting of the city by providing visual containment contributing to the sense that Edinburgh is a compact city.



Zone of theoretical visibility

Use of computer generated mapping to determine a site's zone of theoretical visibility i.e. the area across which a proposed development may have an effect on visual amenity, can inform the selection of viewpoints for visual assessment.

Technical checklist

Map the site's visual envelope or prepare a computer generated Zone of Theoretical Visibility (ZTV).

Identify viewpoints representing different visual receptors, from a range of distances and orientations from the proposed development. Any relevant protected views may be included.

Confirm viewpoint location with planning authority.

Identify night time views, if required.

Prepare baseline site photography using equivalent of a 50mm focal length, usually set at 1.8m level

It may be helpful to subsequently confirm site photography with planning authority

Present the proposals alongside baseline photography, by means of an accurately constructed 3d CAD model, including 'wire line' views and rendered photomontages.

'Before' and 'after' views should enable direct comparison in the field, and should, therefore, be printed at the appropriate perspective, resolution and size with details recorded on the title block.

Provide a written appraisal assessing the visual effects of the proposal, and where relevant

1.2 Protected views

Conserve the city's skyline, by protecting views to landmark buildings and topographical features.

Protect the setting of the Forth Bridge by protecting the characteristics of the key views.

Local Development Plan policies

- **Des 4 - Development Design**
- **Des 11 - Tall Buildings**
- **Env 1 - World Heritage Sites**

The topography of Edinburgh has shaped the way the city has evolved. The setting of the city, between the open hills and the Firth of Forth, and the impact of volcanic hills and ridges which define the built form, create a very strong sense of place. This establishes views to and from many key features around the city and allows the city to be defined by its topography rather than the height of its buildings.

The way buildings have used the topography of the city also defines what is special about Edinburgh; with the distinctive and contrasting patterns of the

Old and New Town recognised through the World Heritage Site status. In order to protect this aspect of Edinburgh's character, the city's most striking visual features and views to them from a number of public vantage points are identified. The landmark features which are to be protected include:

- The Castle, Castle Rock and Tolbooth St John's Spire.
- Calton Hill.
- The Old Town spine.
- Arthur's Seat and the Craggs.
- The New Town.
- Coastal backdrop and Firth of Forth.
- Open Hills.
- The Forth Bridges.
- St Mary's Cathedral Spires.
- Fettes College.
- Craigmillar Castle.

One mechanism for protecting the views has evolved from a study of views and skylines undertaken for the Council. Essential to implementing the guidance is an understanding of the concept of 'sky space'. Sky space is the space around the city's landmark features that will protect their integrity. Once the sky space is 'pierced' by a development, it has started to impact on a protected view. Although there is a general presumption against breaking the sky space, if a development can demonstrate that it adds to the city's skyline in a positive way and enhances the character of the city, it will be supported subject to it meeting other relevant policy considerations. It



Protected skyline view of Calton Hill from west escarpment of Long Row, Whinny Hill (view no. E05)

should also be noted that a development can have an adverse effect on the skyline, not by breaking the sky space, but through being too large in its built form or by failing to recognise the importance of rooftop detailing and modulation. Technical guidance is provided on the following page.

Forth Bridge

The Forth Bridge and its setting are also recognised as creating a very strong sense of place. The Bridge was inscribed as a World Heritage Site in July 2015, reflecting the innovation in engineering, construction and materials used to create the iconic structure, which remains in its original use. The scale and power of the Forth Bridge creates a visually dominant landmark and a number of designations around the bridge ensure that it is protected at an appropriate level.

To help further safeguard its setting, a viewshed analysis identified a total of 10 key views; four of which lie within the City of Edinburgh. The protection of these key views and their characteristics will be a key planning consideration.

In general, development in the North West and particularly in and around Queensferry and Port Edgar must take into account any possible impacts on the Forth Bridge.

The four views of the Forth Bridge from within the City of Edinburgh boundary are:

- 4 Mons Hill;
- 5 Dalmeny Water Tower;
- 6 Bankhead, Dalmeny; and
- 7 Contact and Education Centre.

Click on the map arrows to reveal further details of the viewpoint.

Other important views

It is important that other views to landmark features and important views to landscape and built features, including statues and monuments, in and around the city are also protected.

New views can be incorporated within new development.

The following pages set out the Council's expectations for incorporating existing views.



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Assessing the impact on key views

The bottom of the sky space can be measured and is calculated from Ordnance Datum, so once the height of any proposed development is known, it will be possible to assess its impact on any feature in the city by the extent to which it pierces the bottom of the sky space.

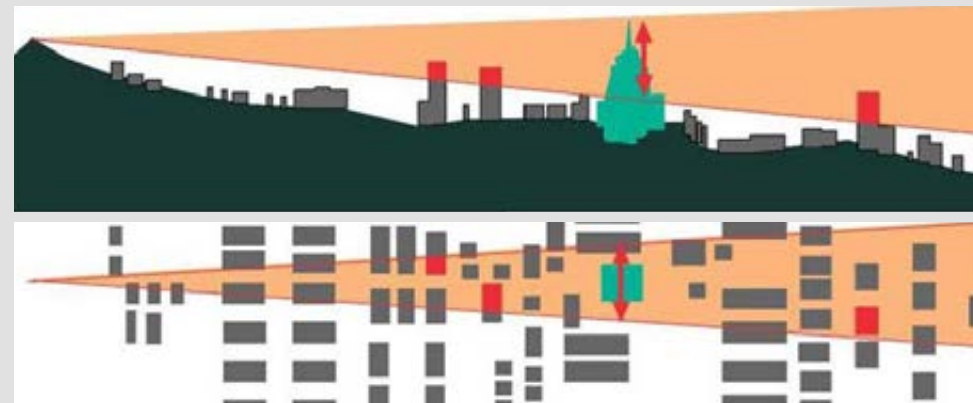
Each feature listed has different sky space around it depending on the nature of the feature. The amount of sky space around a feature will be sufficient, not just to protect a view of the feature, but to protect its context or setting. In some cases, the sky space can be accurately defined, whilst in others, it will be more of a matter of judgement. Views to the landmark features from any key view are in the form of view cones. The diagram to the right illustrates how view cones take account of topography and how proposals in different parts of the view cone might impact on a particular view.

Impacts on key views will vary depending on the nature of what needs to be protected in the key view itself, the location of the proposal and its height and form. Explaining in detail all circumstances in which the key views can be affected is beyond the scope of this guidance. However, it is possible to highlight some issues;

- Some areas are more sensitive to even small increases in height in relation to existing development due to their prominence in key views and exposure to sky space. An example of this is development in the area between Princes Street and Queen Street, where even the addition of an extra storey could impact upon views.

The concept of view cones and sky space

This diagram shows that depending on a building's position, its height and the topography surrounding, elements of a development (shown in red) can impact on the sky space around a landmark building or feature. Note that the sky space sits to the side, above and below the landmark feature.



- In other areas, there may be scope for taller buildings but care needs to be taken that impacts on key views are fully considered. For example, some parts of the Port of Leith may have the capacity for buildings that will exceed building heights typical of the immediate context. However, these areas may be very near parts of the docks within which similar development could have an adverse effect. An assessment of the suitability of these or any other proposed locations for high buildings, in terms of their contribution to the strategic development of the city, will be required.

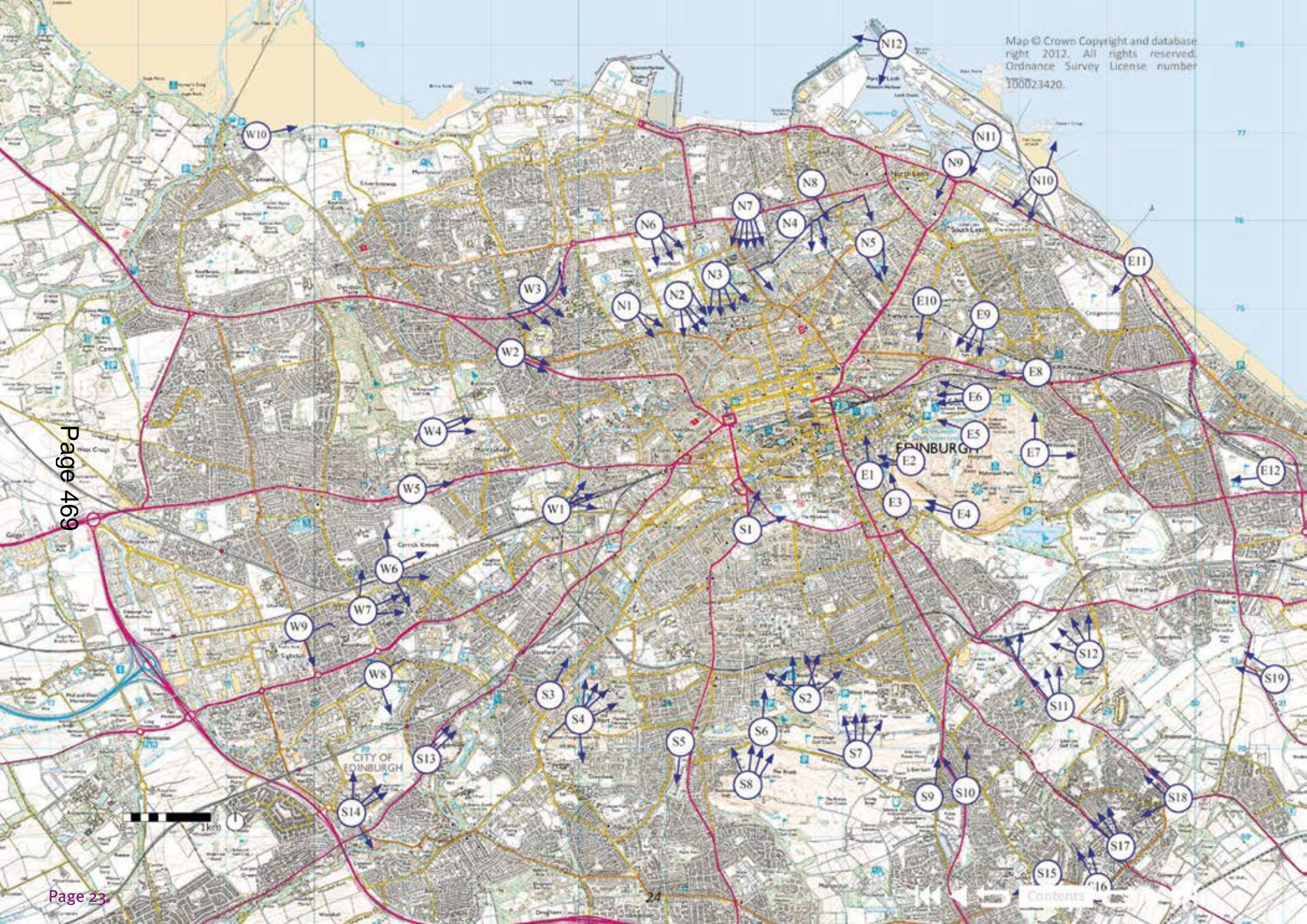
Key views that are to be protected are set out on the following pages. These are to be kept under review.

The design of any high building will be of exceptional quality and it must demonstrate an understanding of its context and impact. This should be presented in a townscape and visual impact assessment. The application should be accompanied by:

- Sight and height levels;
- An analysis of the context including a strategic justification for the proposed location;

Environmental modelling that addresses pedestrian wind safety issues related to;

- Wind force (relative velocities related to a base line study of surrounding area).
- Wind safety (turbulence, suction, lift).
- Thermal comfort (Wind chill).
- Noise level.
- Air quality.
- Streetscape aesthetics (impact of any mitigating measures).
- Photomontages showing the impact of the proposal on key views.
- A helium balloon test may be required, where the true height of the building is described by a series of markers attached to a cable suspended by a balloon filled with helium, so that a true understanding of the impact on the surrounding area can be gained.
- A statement demonstrating that there is an understanding of the impact of the development and showing how the development enhances its context.



List of Protected Skyline Views in the North of the City

- N1a Carrington Road - Arthur's Seat
- N1b Carrington Road - Charlotte Square dome, Castle & Hub spire
- N2a Inverleith Park - Arthur's Seat
- N2b Inverleith Park - Charlotte Square dome, Castle & Hub spire
- N2c Botanic Gardens, west gate - along Arboretum Place to Castle
- N2d Inverleith Park - St Mary's spires and west Edinburgh skyline
- N3a Botanic Gardens - Arthur's Seat
- N3b Botanic Gardens, in front of Inverleith House - Castle, Hub spire and Charlotte Square dome
- N3c Botanic Gardens - Pentland Hills
- N3d Botanic Gardens, in front of Inverleith House - St Mary's spires
- N4a Eildon Road - Arthur's Seat
- N4b South Fort Street - Salisbury Crags
- N4c Newhaven Road and Warriston Path - Calton Hill
- N5a Pilrig Park and Pilrig Street - Arthur's Street
- N5b Pilrig Park - Calton Hill
- N6a Ferry Road & Merchant Maiden Playing fields - Arthur's Seat
- N6b Ferry Road at Merchant Maiden Playing Fields - Castle, Hub spire and Charlotte Square dome
- N6c Ferry Road at Merchant Maiden Playing Fields - St Mary's spires
- N7a Ferry Road at Goldenacre - Arthur's Seat
- N7b Ferry Road at Goldenacre - Salisbury Crags
- N7c Ferry Road at Goldenacre - Pentland Hills
- N7d Ferry Road at Goldenacre - St Marys' spires
- N7e Ferry Road opposite Clark Road and Eildon Street - Castle and Old Town skyline
- N8 Newhaven Road and Victoria Park - Arthur's Seat
- N9 Constitution Street, north end - Calton Hill monuments
- N10a Inchkeith Island, Arthur's Seat - Arthur's Seat, Inchkeith Island
- N10b Leith Docks - Calton Hill
- N11a Leith Docks - Arthur's Seat
- N11b Leith Docks - Calton Hill and Hub spire
- N12a Leith Docks, west end - Castle and Hub spire
- N12b Leith Docks, west end - Forth Bridge

List of Protected Skyline Views in the West of the City

- W1a Western Approach Road raised bridge - St Mary's spires
- W1b Western Approach Road raised bridge - Castle
- W1c Western Approach Road raised bridge - Arthur's Seat
- W2a Queensferry Road, west of Craighleith Road junction - Castle and Arthur's Seat
- W2b Queensferry Road, west of Craighleith Road junction - St Mary's spires
- W3a Telford Road, east of old railway bridge - Arthur's Seat
- W3b Telford Road, near old railway bridge - Castle and Hub spire
- W3c Telford Road, old railway bridge - St Mary's spires

- W3d Telford Road - Pentland Hills
- W4a Corstorphine Hill - Calton Hill and New Town Monuments
- W4b Corstorphine Hill, south east end - Castle and Arthur's Seat
- W5 Corstorphine Road, south of Zoo - Castle & St Mary's spires
- W6a Carrick Knowe railway footbridge - Corstorphine Hill
- W6b Carrick Knowe railway footbridge - St Mary's spires
- W6c Carrick Knowe railway footbridge - Castle
- W6d Carrick Knowe railway footbridge - Arthur's Seat
- W6e Carrick Knowe - Pentland Hills
- W7a Saughton Road south of railway bridge
- W7b Saughton Road, south of railway - Castle and Hub spire
- W7c Playing field east of Broomhouse Community Centre - Arthur's Seat
- W8 Longstone - Pentland Hills
- W9 Sighthill and Broomhouse - Pentland Hills
- W10 Cramond foreshore looking east

List of Protected Skyline Views in the East of the City

- E1a Pleasance - Salisbury Crags
- E1b Pleasance Calton Hill
- E2a Salisbury Crags, south side - Pentland Hills
- E2b Salisbury Crags, Radical Road - St Mary's spires, Castle, Hub spire
- E2c Salisbury Crags, Radical Road - Corstorphine Hill
- E2d Salisbury Crags, Radical Road - Calton Hill
- E3 Queen's Drive - Calton Hill
- E4a Queen's Drive, Powderhouse Corner - St Mary's spires
- E4b Queen's Drive, Powderhouse Corner - Castle and Hub spire
- E5 Holyrood Park, Whinny Hill, Lonw Row - Calton Hill
- E6a Holyrood Park, Meadowbank Lawn - Castle and Old Town
- E6b Holyrood Park, St Anthony's Chapel - Castle and Old Town
- E6c Holyrood Park, Meadowbank Lawn and St Anthony's Chapel - Calton Hill
- E7a Holyrood Park, Dunsapie Loch - the sea
- E7b Holyrood Park, Dunsapie Loch - Inchkeith Island
- E8 London Road, Meadowbank - Calton Hill
- E9a Lochend Park, upper level and Lochend Road South - Arthur's Seat
- E9b Lochend Park - Arthur's Seat and Salisbury Crags
- E9c Lochend Park, upper level - Calton Hill
- E10 Easter Road - Salisbury Crags
- E11 Seafield Road, Craigentinny - Arthur's Seat
- E12 Magdalene Field - Arthur's Seat

List of Protected Skyline Views in the South of the City

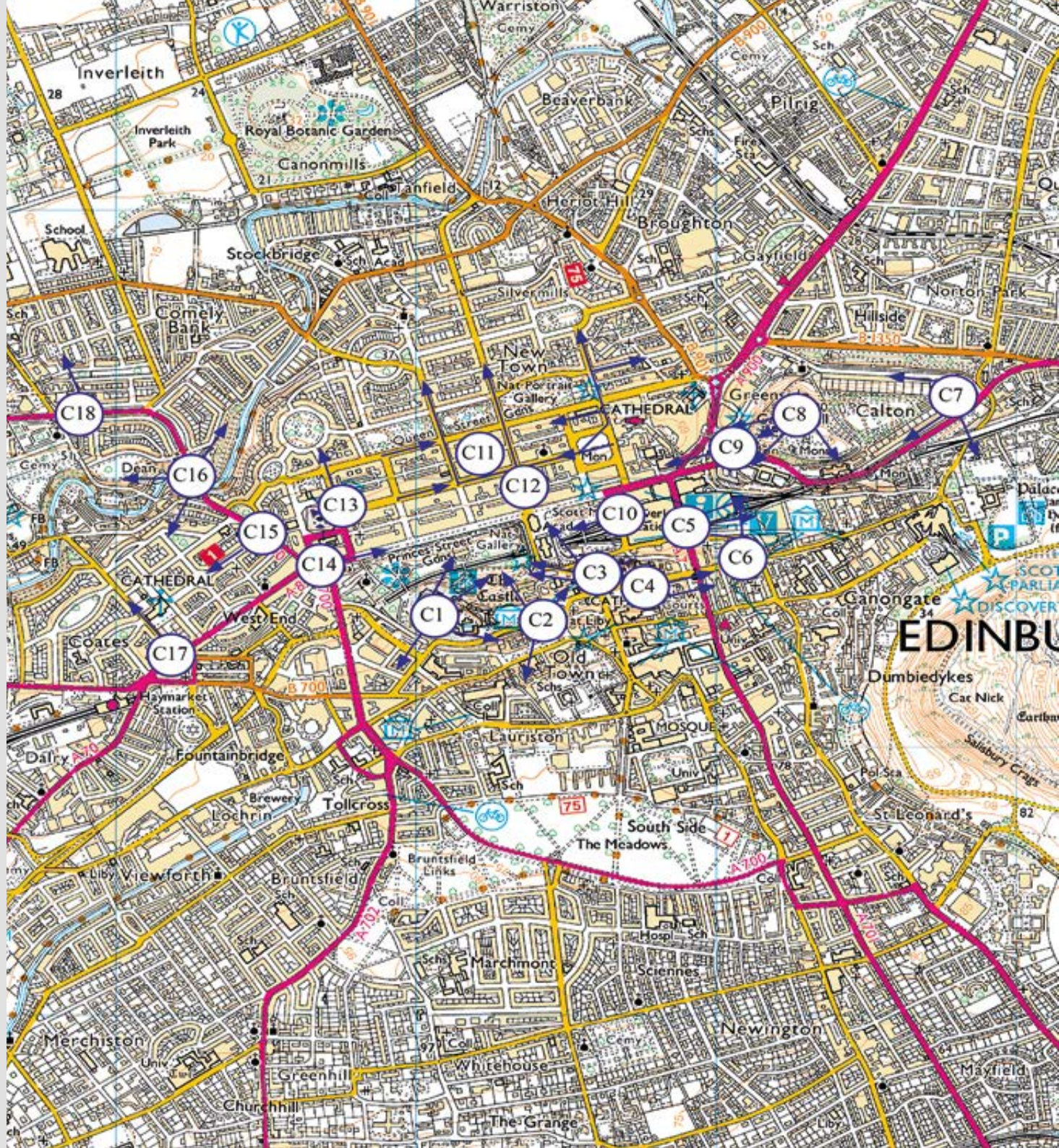
- S1a Bruntsfield Place - Castle
- S1b Bruntsfield Links, south side - Castle
- S1c Bruntsfield Links and Meadows - Arthur's Seat & Salisbury Crags
- S2a Blackford Hill crest - Castle, spires and Firth of Forth
- S2b Blackford Hill, Royal Observatory - Castle, spires & Firth of Forth

- S2c Blackford Hill - the sea with Inchkeith Island
- S2d Blackford Hill - Arthur's Seat and Salisbury Crags
- S2e Midmar Drive - Arthur's Seat and Salisbury Crags
- S2f Blackford Hill Crest - Corstorphine Hill
- S3 Colinton Road - St Mary's spires
- S4a Craiglockhart Hills - St Mary's spires
- S4b Wester and Easter Craiglockhart Hills - Castle and Hub spire
- S4c Wester Craiglockhart Hill - Salisbury Crags
- S4d Wester Craiglockhart Hill - Arthur's Seat and sea
- S4e Craiglockhart Hills - Pentland Hills
- S5 Braidburn Vale Pentland Hills
- S6 Braid Hills Drive West - Castle, Hub spire & Barclay Church spire
- S7a Braid Hills Drive East - Castle, Hub spire & distant mountains
- S7b Braid Hills Drive, east end - Calton Hill
- S7c Braid Hills Drive, east end - the sea
- S7d Braid Hills Drive, east end - Arthur's Seat and Salisbury Crags
- S7e Braid Hills Drive, east end - Pentland Hills
- S8a Buckstone Snab - Castle, Firth of Forth and distant hills
- S8b Buckstone Snab - the sea
- S8c Buckstone Snab - Arthur's Seat
- S8d Buckstone Snab - Corstorphine Hill
- S9 Liberton Drive along Alnwick Hill Road to Arthur's Seat
- S10a Liberton Cemetery - Arthur's Seat and Salisbury Crags
- S10b Junction of Liberton Brae and Kirkgate - Castle
- S11a Old Dalkeith Road, by Craigmillar Castle - Castle
- S11b Old Dalkeith Road, by Cameron Toll - Salisbury Crags
- S11c Old Dalkeith Road, south of Cameron Toll - Arthur's Seat and Salisbury Crags
- S12a Craigmillar Castle - Inchkeith Island
- S12b Craigmillar Castle, upper battlements - Castle and Hub spire
- S12c Craigmillar Castle - Salisbury Crags
- S12d Craigmillar Castle - Arthur's Seat
- S13a Lanark Road, Dovecot Park - St Mary's spires
- S13b Lanark Road, Dovecot Park - Castle and Hub spire
- S14a Clovenstone Community Woodlands - Corstorphine Hill
- S14b Clovenstone Community Woodlands, west side - St Mary's spires
- S14c Clovenstone Community Woodlands, west side - Castle and Hub spire
- S14d Clovenstone Community Woodlands - Pentland Hills
- S15 Captain's Road - Pentland Hills
- S16a Hyvots Bank, Gilmerton Dykes - Castle and Hub spire
- S16b Gilmerton Dykes Street - Arthur's Seat and Salisbury Crags
- S17a Gilmerton Road, near junction with Ferniehill Road - Castle and Hub spire
- S17b Gilmerton Road - Salisbury Crags
- S17c Gilmerton Road - Arthur's Seat
- S18a Junction of Old Dalkeith Road and Ferniehill Road and Moredun Park Road - Castle and Hub spire
- S18b Moredun Park Road - Arthur's Seat and Salisbury Crags
- S18c Ferniehill Road, east end - Pentland Hills
- S19 A68, near Wester Cowden - Castle, Hub spire and Old Town
- S20 A68, near Wester Cowden - Arthur's Seat

Technical guidance

List of Protected Skyline Views in and around the City Centre

- C1a Castle Ramparts - Calton Hill
- C1b Castle Ramparts - Inchkeith Island
- C1c Castle Ramparts - Arthur's Seat
- C1d Castle Ramparts - Pentland Hills
- C2a Camera Obscura - Calton Hill
- C2b Camera Obscura and Castle Esplanade - Pentland Hills
- C2c Junction of Ramsay Lane and Castlehill - Firth of Forth
- C3a North Bank Street - Corstorphine Hill
- C3b Milne's Close - Firth of Forth
- C4a Royal Mile, Lawnmarket - the sea
- C4b Royal Mile, North/South Bridge junction - the sea
- C5a North Bridge - Calton Hill
- C5b North Bridge - Firth of Forth
- C5c North Bridge - Salisbury Crags
- C6 Jeffrey Street and Cranston Street - Calton Burial Ground monuments
- C7a Waterloo Place and Regent Terrace - Arthur's Seat and Salisbury Crags
- C7b Carlton Terrace Tron spire - along Regent Terrace
- C7c Royal Terrace, east end - Greenside church tower
- C8a Calton Hill - Arthur's Seat and Salisbury Crags
- C8b Calton Hill - Pentland Hills
- C8c Calton Hill - Castle, Hub spire, St Giles crown and Tron spire
- C8d Calton Hill - along Princes Street
- C9 Waterloo Place and Princes Street - St Mary's spires
- C11a Junction of Queen Street and North Castle Street - east along Queen Street
- C11b Junction of Queen Street and Dublin Street - west along Queen Street
- C11c Dublin Street - east along Albany Street
- C11d Junction of George Street and Frederick Street - east to St Andrew Square column
- C11e Junction of George Street and Frederick Street - west along George Street
- C12 East half of George Street - Firth of Forth Central
- C13 George Street at Charlotte Square - Firth of Forth
- C14 Princes Street - Calton Hill
- C15 Queensferry Street - along Melville Street to St Mary's spires
- C16a Dean Bridge - north to Rhema church tower
- C16b Dean Bridge - Firth of Forth
- C16c Dean Bridge south-west view
- C16d Dean Bridge - Corstorphine Hill and Dean Gallery towers
- C17 West Maitland Street - along Palmerson Place
- C18 Queensferry - Road Fettes College



1.3 Assessments and statements

Design and Access Statements are expected for all major planning applications as well as other significant or complex proposals.

Design statements are expected for some local planning applications.

An Environmental Impact Assessment (EIA) will be required for applications with significant environmental impacts.

Landscape and visual Appraisal/Assessments will be required for most applications. The extent of the assessment will be dependent on the scale and location of the development.

Conservation Plan, Historic Landscape Assessment and Assessment of the Setting of Listed Buildings, or Assessment on the Outstanding Universal Value (OUV) of a World Heritage Site will be required when proposals include the historic environment.

Local Development Plan policies

- *Des 1 - Design Quality and Context*
- *Env1 - World Heritage Sites*
- *Env 6 - Conservation Areas*
- *Env 7 - Historic Gardens and Designed Landscapes*
- *Env 8 - Protection of Important Remains*

All development should communicate the visual and landscape / townscape change by the use of appraisals or assessments. The appraisal required depends on the scale and context of the change. In certain local applications this will be a stand

alone document, in other cases this assessment will be within a design statement. Where Design and Access Statements are required the landscape and visual information should normally be in a stand alone document. For development with a significant visual or landscape/environmental impact, the findings should be presented in an Environmental Impact Assessment.

The appraisal should show existing views, and existing natural and built features. Sections 1.6, 1.7 and 1.8 set out the Council's expectations for these matters.

Key townscape principles, such as height, form, scale, spatial structure and use of materials are set out in the Designing Buildings chapter.

The different appraisals include:

Design Statements

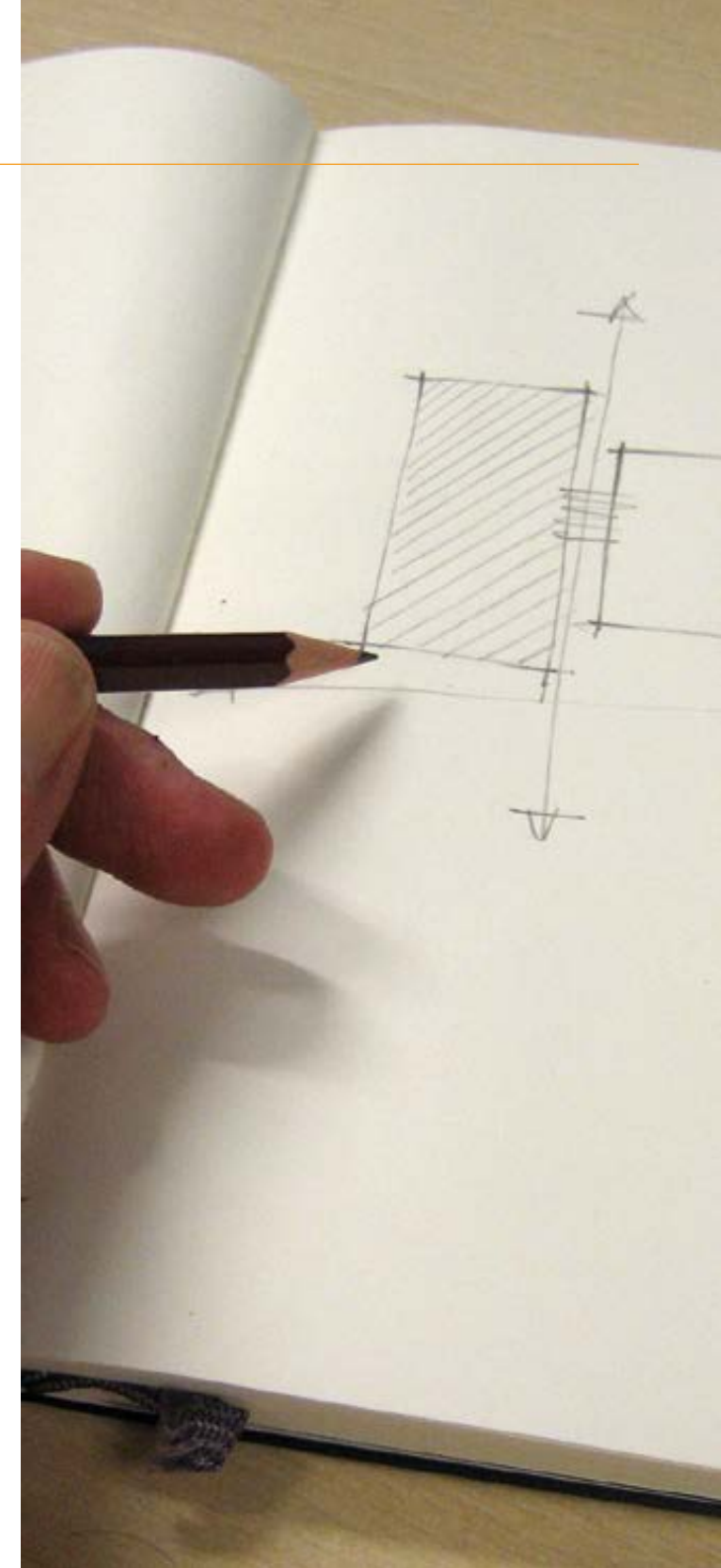
Design statements are required for local developments in the following areas:

- the World Heritage Sites;
- a conservation area;
- a historic garden or designed landscape;
- the site of a scheduled ancient monument; and
- the curtilage of a category 'A' listed building.

Design Statements are not required for:

- development of existing dwelling houses;
- changes of use; and
- applications for planning permission in principle.

Planning Advice Note (PAN) 68 - Design Statements shows how to prepare a design statement. Key headings are set out in the table overleaf.



Design and Access Statements

Design and Access Statements will be expected for all major planning applications as well as complex or significant local planning applications.

The Design and Access Statements are the same as a Design Statement except that they include a section about how issues relating to access to the development for people with disabilities have been addressed. The statement must explain the policy or approach in relation to adopted access. The table below sets out the requirements.

Information required in a Design Statement

Background information	Name of scheme; Name of applicant; Name of architect / developer / urban designers / etc. Description of client brief; Date.
Site details	Location and site plan; Description; History including planning history; Ownership.
Site and area appraisals	See section 1.1
Policy context	Relationship of proposal to national and local planning policies and guidance.
Public involvement	Outcome of consultation and public involvement.
Programme	How will the project be phased?
Concept	Diagrams illustrating key concepts and ideas that underpin the proposal.
Design solution	An explanation of the design solution, including site layout and parking provisions, and how the solution has taken account of factors above, including, site and area appraisal, policy context, public involvement and concept.

Information required in an Access Statement

Policies	It must explain how policies relating to access in the Local Development Plan have been taken into account.
Specific issues	Identify specific issues which might affect access to the development for disabled people. This should explain how the applicant's policy / approach adopted in relation to access fits into the design process.
Access to and through the site	Developers should consider setting out in the statement how access arrangements make provision both to and through the site to ensure users have equal and convenient access.
Maintenance	It must describe how features which ensure access to the development for disabled people will be maintained. The publication <i>Designing Places</i> notes that the arrangements for long-term management and maintenance are as important as the actual design. Therefore, issues regarding maintenance will help inform the planning authority in coming to a view on how best, possibly through agreements or conditions, such features are to be maintained in the longterm.
Consultation	It must state what, if any, consultation has been undertaken on issues relating to access to the development for disabled people and what account has been taken of the outcome of any such consultation.

The [Edinburgh Access Panel](#) advises on how to improve accessibility for people with disabilities in the built environment. Its advice should be sought early in the design process.

Proposals within a WHS will require an assessment. The extent of this should be agreed with the planning authority, however it will usually be within an EIA for large complex developments. Views presented to explain impacts on the Outstanding Universal Values should follow the guidance in [section 1.1](#) visual assessment.

Sites which contain listed buildings will require an assessment of the setting of the listed building. This should include an assessment of the landscape setting if appropriate, identifying key characteristics and views that create the character and define the setting. This should be presented following Historic Environment Scotland's advice. The location of the assessment should be agreed with the Planning Authority. [section 1.1](#) sets out the Council's expectations for positioning new development within historic sites.

For sites listed in [Historic Scotland's national Inventory of Gardens and Designed Landscapes in Scotland](#), or the Council's local survey records, a historic landscape assessment written by a chartered landscape architect should be submitted.

Where a Conservation Plan is required these should be written by an accredited Conservation Architect or Architectural Historian and should set out the important characteristics and evolution of the buildings and the landscape.

1.4 Coordinate development

Have a comprehensive approach to development and regeneration.

Comply with development frameworks or master plans that have been approved by the Council.

Develop masterplans with a multi-disciplinary team.

On larger sites, prepare and adhere to master plans that integrate with the surrounding network of streets, spaces and services.

On smaller sites, make connections to surrounding streets and spaces.

Local Development Plan policies

- Des 2 - Co-ordinated Development
- Des 7 - Layout Design

A comprehensive approach to development is important, if well designed and cohesive networks of streets and spaces (including the green network (section 3.2) are to be created. This is particularly important on sites which could be large enough to become neighbourhoods in their own right.

It is also important with smaller developments, where there is a possibility that neighbouring sites will be developed in the future. Applicants may be asked to demonstrate sketch layouts of how neighbouring sites could be developed. This will help ensure that the future development of neighbouring sites is not compromised.

It is expected that proposals will comply with the principles in this guidance and be prepared by a multidisciplinary team of consultants including architects, urban designers, landscape architects and flood engineers. It requires that streets must consider place before movement—a key part of establishing suitable urban layouts. An important aspect of this is to create streets and spaces that reflect the unique character and distinctiveness of Edinburgh. The Council wants new development to provide streets and spaces that are attractive for all potential users of them.

Opportunities for travel should be prioritised in the order of walking, cycling, public transport, then car, and should ensure equal access opportunities for people with disabilities. Design considerations should therefore reflect this user group hierarchy, by giving particular focus to the individual needs of pedestrians, cyclists and disabled people, while avoiding a ‘one size fits all’ approach to design.



Maintaining development potential

This new tenement housing development will allow the neighbouring land and buildings including the drive through restaurant to be redeveloped in a similar pattern. This will help create a cohesive network of streets.



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Guthrie Aerial Photography and City of Edinburgh Council—Economic Development Unit. Used with permission



New cycle routes

A new cycle route at West Granton Road helps connect this development into the wider area. It is designed so that in the future, new development can overlook it. This is important to help make the route safe.

Creating a masterplan and following it

A series of masterplans and frameworks were created to guide the development of the former industrial land and gas works site at Granton (pictured above). This allowed infrastructure - roads, cycle routes, avenues, parks and squares - to be put in place at the start of the project. All the new buildings that followed have fitted into this structure. This means it is likely that the aim of the masterplans to create a high quality new district for the city are more likely to be met.

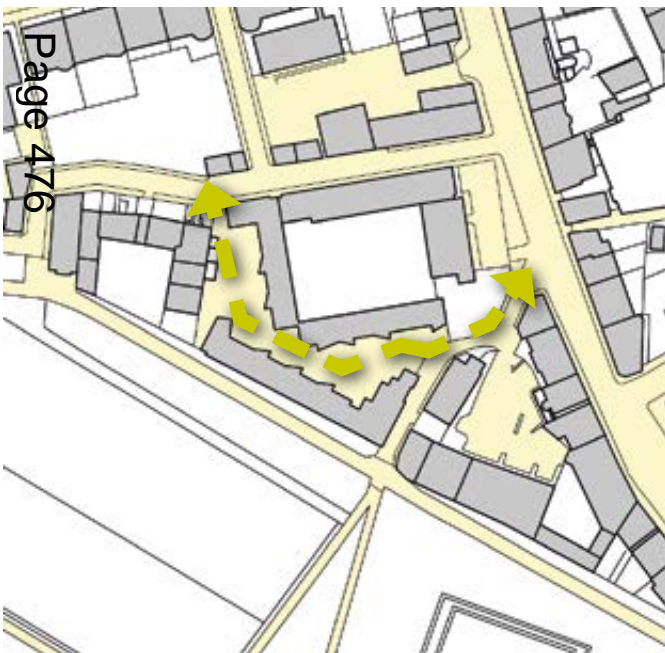
In addition, this development contains a mix of uses. These include housing, a new college, supermarket, and business space. Mixing uses within new development sites helps them to become more interesting, vibrant and sustainable places. This is because people will use them throughout the day and night. A greater mix of uses also helps to create more sustainable transport options.



This new housing at Saltire Street in the masterplanned area has a view to the sea.



The office at Waterfront Avenue has a square in front and the space for a future public transport hub.



Shared surface for new student housing—Boroughloch

Because there is very little need for car parking and, therefore, access for cars, this development was able to be designed around a shared surface street. Due to the limited amount of vehicles and the fact it is well overlooked, it is attractive for pedestrians and cyclists.

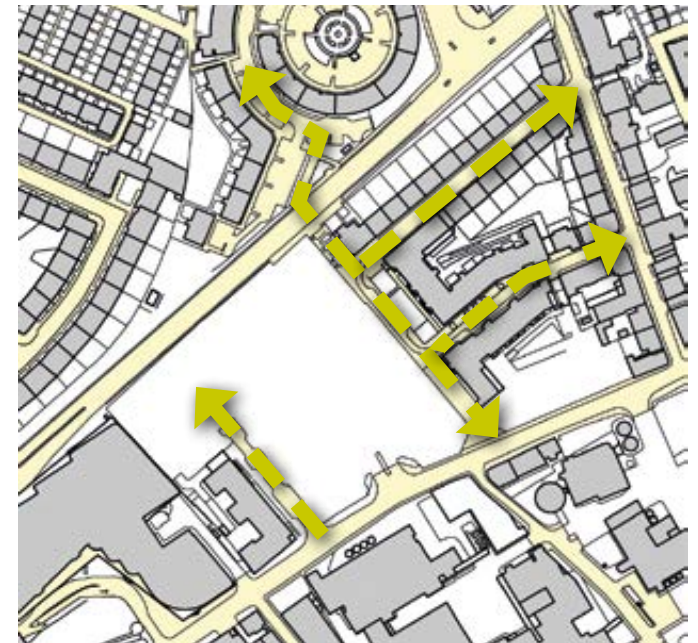
Making connections to roads and cycle routes

This development was built on the site of a former suburban station. It makes connections to the cycle route and the roads at each end of it.

Bridge for pedestrians and cyclists—Westfield Avenue

This new bridge connects the development to the Water of Leith Walkway and areas beyond.

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Shared surface in housing—Cakemuir Gardens.

The houses come right up to the edge of the carriageway. The tight space that results means that motor vehicles have to move around slowly. This helps make the space safe for pedestrians and children playing.

Pedestrian route in the city centre—Mullees Walk

This shopping and office development creates an attractive street. The shops and little square within it make it an interesting space to pass through. The Council will seek to make more routes like this where opportunities arise.

Connections outside the city centre—Brandfield St.

An important new connection has been made through the former brewery site. It is made as accessible as possible by the inclusion of the ramp. Landscape and overlooking contribute to its attractiveness.

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1.5 Density

Increased density can be achieved on sites where the surrounding density is lower provided that:

- **there is a strong urban design rationale for the increase in density; and**
- **the increased density would not have an adverse impact on neighbouring amenity or valuable natural heritage features.**

Local Development Plan policies

- *Hou 4 - Housing Density*

High density development helps Edinburgh be a compact and vibrant city. Having higher densities allows land to be used more efficiently, helps regeneration and minimises the amount of Greenfield land being taken for development. Higher densities also help maintain the vitality and viability of local services and facilities such as schools and local shops, and encourage the effective provision of public transport.

New development should achieve a density that is appropriate to the immediate site conditions and to the neighbourhood. This is particularly important in Victorian and Edwardian villa areas. Here the form of any new building and its positioning should reflect the spatial characteristics, building forms and heights within the area. Back-land development must be designed to ensure that any proposed building is subservient to surrounding buildings and it does not have an adverse impact on spatial character.

The appropriateness of high density housing to a particular site will depend on site context and on the way in which the development addresses the issues of open space (including impacts on landscape character and trees), unit mix, daylight, sunlight, privacy, outlook, house type, car parking requirements, waste management and the design and site layout of the development itself. Density should be a product of design, rather than a determinant of design. Where there is a failure to meet the Council's expectations in relation to these factors, this would indicate that the proposed density is too high and that the quantity of development on the site should be reduced or the design re-configured.

Where appropriate, higher density low rise building types like colony housing, or terraced housing could be inserted into some low density/low rise areas without adverse impact on amenity or character. There can be a rationale for a modest increase



Density in suburbia

In these examples, the street layout is similar. The left hand example has fewer houses and so is less dense. The Council encourages the approach on the right hand side where there is a mix of terraced and semi detached houses. The right hand layout is more likely to help sustain services such as shops and public transport since there will be more people to use them.

in building heights (and density) at nodes such as transport intersections of arterial and other significant roads, as the change in height can help signal the importance of the location and assist navigation.

High density development is encouraged where there is, or it is proposed to be, good access to a full range of neighbourhood facilities, including immediate access to the public transport network (i.e. within 500m of development). The map on the following page illustrates where these areas are within Edinburgh.

In new suburban developments, the Council encourages the efficient use of land and a mix of housing types. Introducing housing types such as flats, colonies, four in a block, terraces, mews houses and townhouses can help to increase densities on sites that are otherwise designed for detached and semi-detached housing.





Teraced housing—Wauchope Terrace

Teraced housing is one way of delivering houses with front doors and back gardens that makes efficient use of land.

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Mixing houses and flats—Fala Place

Having a mix of houses and flats helps to create a range of dwelling types—which improves social sustainability—and makes good use of land.



Flats in villa areas—Succoth Place

These flats integrate well into an existing villa area due to their scale and refined architectural design.

Technical guidance

Examples using some of these density measures follow. For these examples, car parking values were simply determined by establishing how many cars actually park on the relevant street. In relation to perpendicular on-street parking, a value of 2.5m is suggested, whilst for parallel parking, a length of 5m is suggested to accommodate cars.

Stockbridge colonies

115	Dwellings / ha
0.96	GFA / site area
0.34	Footprint / site area
2.8	Average number of storeys
0.5	Car parking / dwelling
179m ²	GFA per car parking space



Marchmont tenements

99	Dwellings / ha
1.32	GFA / site area
0.33	Footprint / site area
4	Average number of storeys
0.8	Car parking / dwelling
170m ²	GFA per car parking space



Lochrin Place tenements

164	Dwellings / ha
1.89	GFA / site area
0.35	Footprint / site area
5.3	Average number of storeys
1	Car parking / dwelling
115m ²	GFA per car parking space



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Technical guidance

Westfield

172	Dwellings / ha
1.23	GFA / site area
0.24	Footprint / site area
5	Average number of storeys
0.4	Car parking / dwelling
165m ²	GFA per car parking space



Margaret Rose Avenue

23.6	Dwellings / ha
0.43	GFA / site area
0.20	Footprint / site area
2.1	Average number of storeys
1.7	Car parking / dwelling
106m ²	GFA per car parking space



21st Century Homes - Gracemount

69	Dwellings / ha
0.65	GFA / site area
0.23	Footprint / site area
2.9	Average number of storeys
0.8	Car parking / dwelling
119m ²	GFA per car parking space



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1.6 Incorporate existing views

Where views to interesting or landmark features exist, incorporate them into new development.

Local Development Plan policies

- Des 3 - Development Design
- Des 4 - Development Design

This is particularly important in public areas such as streets, squares and open space.

Sometimes a potential outward view of the wider landscape/townscape might not be apparent on a site, for example because there is a building in the way.

Site analysis will help establish whether a new view can be secured through redevelopment. If it can, it should be incorporated into the design.

Private views are not generally protected through the planning system.

Notwithstanding this, there are some circumstances where views can be provided in new development and will contribute positively to the amenity of the scheme. Such circumstances include sites where it is unlikely that the view can be interrupted by subsequent development and where the view is to a landmark feature.

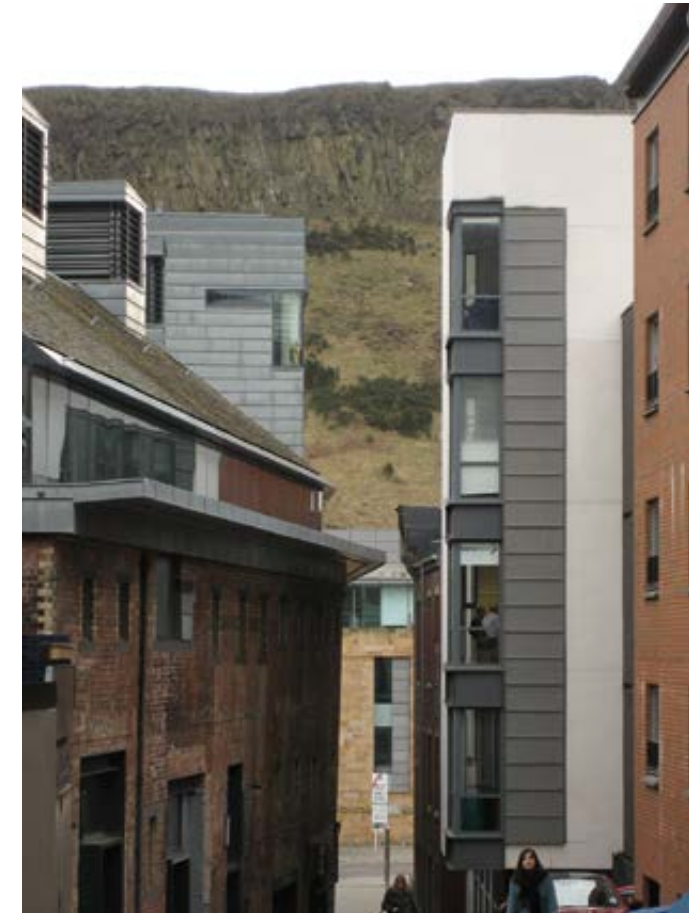
The height and massing of buildings can have a significant impact on views. The section on height and form contains specific guidance on this matter.



View to Craigmillar Castle—Castlebrae Wynd
The street is lined up to create the view to the castle.



Publicly accessible view
A publicly accessible view to Edinburgh Castle was created from the roof level of the Museum of Scotland.



Creating new views - Jackson's Entry off Canongate
Views to Salisbury Crag are framed by the retained historic buildings and the new development that resulted from the masterplan.

1.7 Incorporate natural and landscape features

Respond to existing variations in landform.

Protect and incorporate existing trees that are worthy of retention into the design of new open spaces.

Retain and incorporate other existing natural features into the design to reinforce local identity, landscape character, amenity and optimise value of ecological networks.

Address the coastal edge and watercourses positively and protect flood plains.

De-culvert watercourses and integrate them with the site layout and function.

Define the urban edge to conserve and enhance the landscape setting and special character of the city.

Local Development Plan policies

- *Des 3 - Development Design*
- *Des 7 - Layout Design*
- *Des 9 - Urban Edge Development*
- *Des 10 - Waterside Development*
- *Env 12 - Trees*
- *Env 21 - Flood Protection*

Existing landscape features can contribute strongly to the quality of new development. The layout of proposals should integrate into the design. The Council will take particular interest in the retention of historic features and existing habitat.

Watercourses should be addressed positively by incorporating them into accessible green networks, and ensuring security through natural surveillance and appropriate design such as active frontages. Waterside sites can present a unique opportunity for innovative design. Flooding issues should be fully understood.

In some instances, public access is inappropriate in some areas because of the need to protect wildlife habitat. For example, the south side of the Union Canal is of particular habitat value and care should be taken to ensure protection of its biodiversity value. Similarly, the biodiversity of the Water of Leith benefits from a lack of public access to some of its banks. In the redevelopment of sites along the Water of Leith a 15m setback or substantial ecological mitigation will be required to maintain the ecological potential of this strategic blue/green network. (see also [section 3.1](#))



Retaining trees

New mature trees were planted alongside this retained tree in the Grassmarket.

The design of the urban edge should form a clear transition between the urban area and surrounding countryside. The retention, enhancement and integration of existing trees, shelterbelts and hedgerows helps integrate development with the character of the surrounding countryside and provide opportunities to extend habitat networks (see [section 3.5](#)). Existing trees should be located in open space as opposed to residential gardens.

Where suitable landscape features do not exist it may be necessary to create a substantial woodland edge. These should provide the necessary space for native woodland habitat to achieve maturity and accommodate multi-user paths and links to the wider countryside.



Integrating trees—Glasgow Road

Trees from the former Gogarburn Hospital site were carefully integrated into the development

In some situations, where new residential and civic architecture will enhance the townscape, or the urban edge adjoins recreational facilities or greenspace, a permeable edge of parkland trees and active travel routes may be considered.

Topographical features such as ridges and valleys also combine to provide natural barriers, which can help to direct development to the most appropriate locations whilst contributing to the setting and identity of the city.



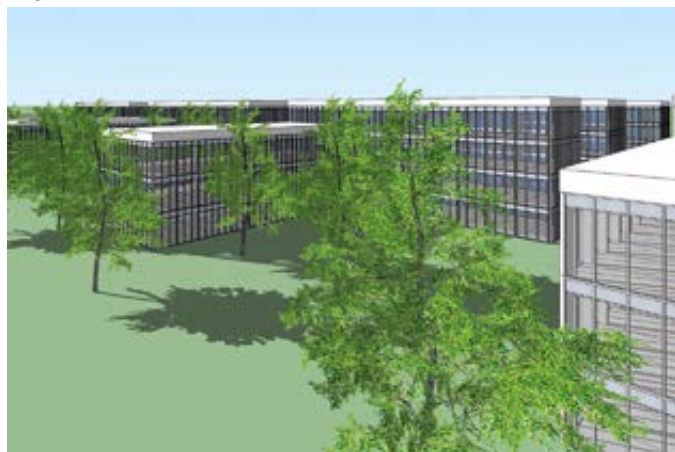
Archaeological Interpretation

The archaeological remains of the Flodden Wall are below these markings in the hard landscape of the Grassmarket. Their retention helps the understanding of the history of the city.



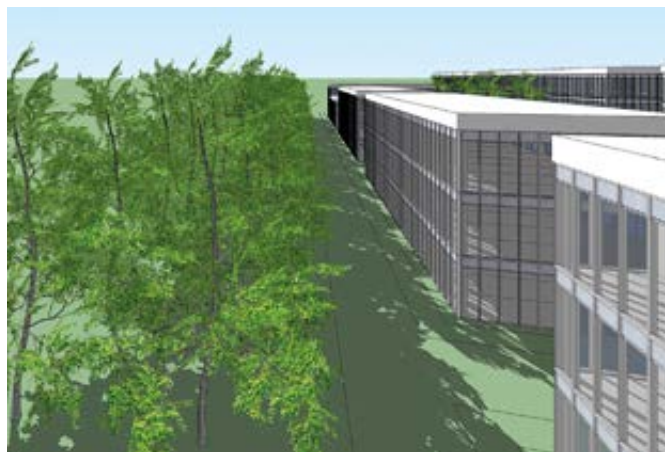
New connections—Westfield Avenue

As well as providing an attractive frontage to the Water of Leith, this development provides a new footbridge over it. This greatly improves access within the area.



A soft edge between development and landscape

By creating 'fingers' of buildings, landscape can be brought into the development, blurring the edge between the two.



A strong edge between development and landscape

Where development forms a strong urban edge it is important to create an equally robust landscape edge.



Frontage onto the Union Canal—Fountainbridge

As well as providing mooring space and so promoting the Canal's recreational use, the development at the end of the Canal provides an attractive frontage with bars and restaurants facing onto it.

1.8 Incorporate existing buildings and built features

Incorporate existing buildings and boundary elements (even if they are not listed or in a conservation area) where they will contribute positively to new development.

Re-use elements from existing buildings, particularly where there is a historical interest.

Protect and enhance existing archaeology.

The incorporation of existing built features benefits place making, sustainability and provides an identity for a development.

Local Development Plan policies

Des 1 - Design Quality and Context

Des 3 - Development Design

Des 7 - Layout Design

Des 8 - Public Realm and Landscape Design

Env 8 - Protection of Important Remains

Env 9 - Development of Sites of Archaeological Significance

There is a strong presumption in favour of retaining existing buildings which contribute to the special interest of an area. However, the replacement of individual buildings can sometimes be justified. The redevelopment of buildings, which are considered by their appearance and scale to be detrimental to the character of the area, will be encouraged. Development proposals will be assessed in relation to:

- proposed mass, scale, design and materials of the replacement building; and
- the extent to which the replacement building will enhance the character and appearance of the street scene.

Where there are known or suspected archaeological remains within the landscape surveys, evaluation and desk top studies should be carried out in consultation with the Council's Archaeological Service. The evaluations may highlight features to be considered in any design proposal and the formulation of future mitigation strategies. In some cases this should be explained by the use of interpretation or an enhanced landscape setting. (see [section 3.2](#) - Open Space)



Reusing an existing building—East Market Street
The shell of this building was transformed into a gallery.



Incorporating a boundary wall—Hart Street
This stone wall was re-used and incorporated into the new house.



Boundary walls in villa areas—Newbattle Terrace
Boundary walls are extremely important to the character and appearance of villa areas. The size and number of new openings to them should be minimised.



Transforming a building's use—Anderson Place

This bond building was transformed into flats.



Reusing building materials—Holyrood Road

Stone from the partially demolished Queensberry House was used in the walls on the exterior of the Scottish Parliament.

2. Designing places: buildings

This chapter sets out the Council's expectations for how features within the built form relate to its setting. The overall composition of streets is shaped by how individual buildings work together, creating the unique visual character through repetition, variety and focal points within the street scene.

The key aims are for new development to:

- Have a positive impact on the immediate surroundings; wider environment; landscape and views, through its height and form; scale and proportions; materials and detailing; positioning of the buildings on site, integration of ancillary facilities; and the health and amenity of occupiers.
- Repair the urban fabric, establish model forms of development and generate coherence and distinctiveness where the surrounding development is fragmented or of poor quality.
- Achieve high standards of sustainability in building design, construction and use
- Be adaptable to future needs and climate change.
- Support social sustainability, by designing for different types of households.
- Address the street in a positive way to create or help to reinforce a the sense of place, urban vitality and community safety.
- Balance the needs of pedestrians, cyclists, public transport users and motorists effectively and minimise the impacts of car parking through a design-led and place specific approach.
- Reduce exposure to pollution and where possible seek to reduce overall emissions.

2.1 Height and form

Match the general height and form of buildings prevailing in the surrounding area.

Where new developments exceed the height of neighbouring buildings ensure they enhance the skyline and surrounding townscape.

Ensure new high buildings conform to the section 1.2 on City skyline and views.

Local Development Plan policies

- *Des 4a - Development Design*
- *Des 11 - Tall Buildings*

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The Council wants new development to integrate well with existing buildings and spaces. This means new buildings that are clearly higher than their neighbours should be avoided. This helps protect the visual character of areas where there are uniform building heights. It also helps protect key views.

The height of the part of the building where the external wall meets the roof (the eaves) is at least as important to the perception of height as the height of the top of the roof (the ridge). This means that new buildings should sit within the form set by the eaves and ridge of neighbouring buildings. This is particularly important in situations where there are established building heights, for example tenement streets, mews streets and villa areas.

Well designed architectural features that rise above this height, and which would contribute to the visual interest of the city's streets and skyline and not adversely affect key views, may be acceptable in exceptional circumstances.

Existing high and intrusive buildings will not be accepted as precedents for the future. They should be replaced with more sensitively scaled buildings, when their redevelopment is in prospect.

The impacts of height in relation to aerodrome safety should be considered.



The right height—Fountainbridge

The height of the modern building is very similar to its historic neighbour. This helps it integrate with its surroundings.



Too low—Pitt Street

This recent development above could have been improved if its eaves height had matched those of its neighbours. The effect is that the building appears too small.



Matching heights in villa areas

It is important that new buildings in villa areas have similar heights to their neighbours. In this example, the modern building in the middle of the image is designed so that the height of its main walls matches the eaves heights of the buildings on both sides.



Matching the height of existing mews—Circus Lane

This newly built house matches the eaves and ridge heights of the adjacent historic mews buildings.



A landmark for the wrong reasons—Walker Street

The office tower has a negative impact on views from surrounding streets due to its inharmonious height & form.



Villa—Merchiston Park

The height and massing of this villa, which are similar to surrounding buildings, help to integrate it.



Integrating into a street and key view

The set back of the upper floors and the materials chosen help integrate the buildings in the centre of the image into view from the Castle Esplanade.

2.2 Scale and proportions

Harmonise the scale of buildings including their size and form, windows and doors and other features by making them a similar size to those of their neighbours.

Where the scale of proposed new development is different to that of surrounding buildings, ensure there is a compelling reasoning for the difference.

Local Development Plan policies

- *Des 4b - Development Design*
- *Des 11b - Tall Buildings*

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A typical example of a difference in scale being problematic is where new tenements are located next to older stone built tenements. Often the windows on the new building are smaller and a different shape and because the floor-to-floor heights are lower than the older buildings there will be an extra row of windows. This creates a visual mismatch that can erode the character of the area.

In sensitive sites, floor to floor heights of new buildings should match their neighbours.

Where elevations have large projections or recesses, three dimensional views may be sought so that the scale and proportions can be assessed.



Modern development with a similar scale—Wester Coates Gardens

This villa has large windows which help to integrate it with the scale of surrounding historic villas. The proportions of stonework help also.



Matching height, proportions and form—Hopetoun Crescent
The housing either side of the historic townhouses above has been designed to match the scale originally intended for this street.



Windows too small?

While five storey tenement has the same eaves height it has much smaller windows than those of neighbouring tenements. The small scale creates an inharmonious relationship.

2.3 Position of buildings on site

Position new buildings to line up with the building lines of neighbouring buildings.

Where building lines do not exist, position new development to engage positively with streets and spaces and where the surrounding townscape character of the area is good, it should be reflected in the layout.

Use the positioning of buildings to create interesting and attractive streets and spaces.

Where locating buildings in a historic landscape, ensure the essential characteristics of the landscape are protected.

When locating buildings adjacent or close to a historic building ensure the key views to and from the building and characteristics of the setting of the historic building are protected.

Position buildings carefully with a full understanding of the topography and environmental constraints of adjacent spaces and the site.

Local Development Plan policies

- **Des 4c - Development Design**

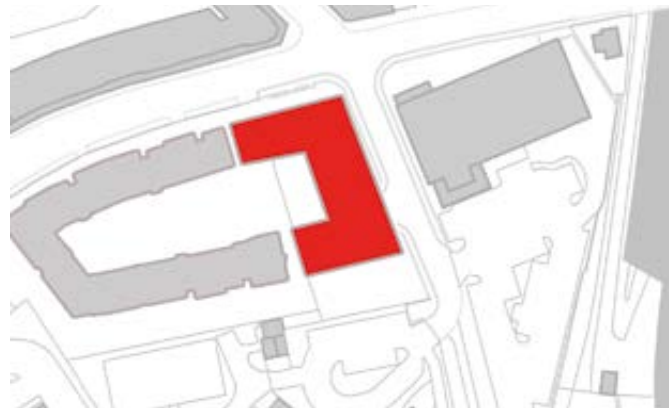
In areas of the city where buildings do not line up (for example the Old Town), plans of the wider context are extremely useful in helping to determine how well the proposed position of buildings on site is likely to make a positive contribution to the spatial character of an area.

Where back-land development would disrupt the spatial character of an area, it must be avoided.

Layouts should be designed to be attractive for all users and particularly pedestrians, cyclists and people with disabilities.

Inserting buildings into the setting of listed buildings must be done in such a way as to ensure principal elevations of the listed building remain visible from main viewpoints and the relationship of the listed building and the street is not disrupted.

Inserting buildings into a historic landscape must be done without upsetting the landscape integrity and with an understanding of the sensitive views and characteristics, and the setting of any historic buildings, in order that these can be protected. Landscape, visual and setting appraisals (section 1.1) should be used to guide the process.



Infill development in a tenement area

The proposed building completes a block of development. This will allow active frontages to be placed onto streets and allow private space for the development in the courtyard that is formed between the buildings.



The wrong position

Positioning large buildings (coloured red) in the rear of villa plots can undermine the spatial character of the area.



Infill development in a villa area:

The proposed building (shown in red) is roughly the same size in plan as its neighbours and is positioned so that its frontage is the same distance from the road as its immediate neighbours.



Varied building positions—Cakemuir Gardens

Varying the positions of the buildings in relation to the street helps create an interesting sequence of streets and spaces in the development—contributing to its attractiveness as a whole.

Creating contrasting spaces

*Positioning the flats and houses close together, provides space for a green in the middle of the development. This **large** space creates an interesting contrast with the streets around.*

Courtyards—Brighouse Park Gait

Small groups of housing can be made to form courtyards.



Image courtesy of Steve Tiesdell Legacy Collection



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15m wide street—Woolmet Place

By integrating the parking into the street and having small front gardens, the street has been made narrower than a typical suburban street.



A village green—Muirhouses Square, Bo'ness

The houses are arranged to form a space that is similar to a village green. This can be used by residents for a range of uses and has good visual amenity.



Space within a space—Dublin Street Lane North

The buildings are positioned to create a range of spaces that contrast with the ordered streets of the New Town surrounding the site.



Image © Tim Francey



Image © Tim Francey



Mews street—Donnybrook Quarter, London

This development provides terraces at upper levels, allowing relatively high density housing to come close together and achieve good quality outdoor space

Image courtesy of Steve Tiesdell Legacy Collection

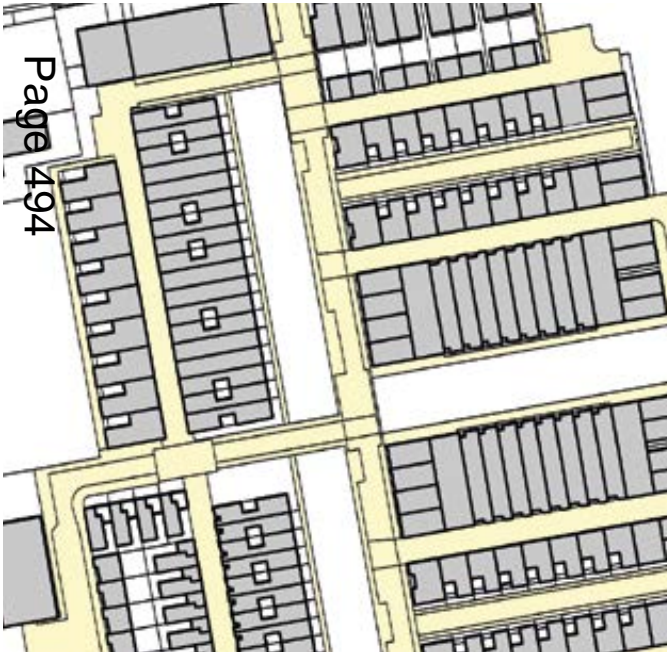


Image © Tim Francey



Ordered frontage to Canal—Amsterdam

These houses are arranged to provide an attractive frontage to the Canal. The moorings provided are set out to allow a relatively continuous strip of habitat for wildlife.

Image courtesy of Steve Tiesdell Legacy Collection

A range of spaces—Accordia, Cambridge

In this development in Cambridge, the houses are placed 6m apart to create a mews street. Its narrowness means that cars cannot be parked in the street so garages have to be used. This helps the street be more pedestrian friendly and suitable for play. The images above right show some of the open space within the development.



Positioning trees carefully—Allerton Bywater, England

Trees are an integral part of this housing development, lining the streets throughout the development.

Image courtesy of Steve Tiesdell Legacy Collection



Narrow street—Amsterdam

Pedestrians, cyclists and cars are all considered in this narrow street. A key feature are the climbing plants which add visual softness.

Image courtesy of Steve Tiesdell Legacy Collection



New suburban developments

In new suburban developments it will be expected that a variety of different housing types will be provided and that these will be laid out to give a variety of different types of streets and spaces. These should integrate with the hierarchy of the streets in the surrounding area. This layout shows that a range of different streets and spaces can be created using similar housing types: squares (1), narrow streets with garages to the side (2) and mews streets (3) can all be created with standardised house types.



2.4 Design, integration and quantity of parking

Welcoming, attractive and sustainable places balance the needs of pedestrians, cyclists and motorists effectively with priority given to creating walkable and cycle friendly environments.

Proposals for parking within new developments should be design-led and reflect the positive characteristics of the place.

Car parking within new developments should not visually dominate the streetscene.

On larger developments a range of parking solutions should be explored that use land efficiently and are set within a high quality public realm.

Pedestrian desire lines within and adjacent to the site should be identified at the outset to inform proposals which prioritise safe and convenient pedestrian movement.

Safe, secure and convenient cycle and motorcycle parking facilities should be provided as part of new developments.

Electric vehicle charge points should be provided for developments where 10 or more car parking spaces are proposed.

Car club initiatives are encouraged to promote car use as a shared resource and reduce pressure for parking.

Local Development Plan policies

- *Des 3 - Development Design*
- *Des 4 - Development Design*
- *Des 5 - Development Design*
- *Des 6 - Sustainable Buildings*
- *Des 7 - Layout Design*
- *Des 8 - Public Realm and Landscape Design*
- *Tra 1 - Location of Major Development*
- *Tra 2 - Private Car Parking*
- *Tra 3 - Private Cycle Parking*
- *Tra 4 - Design of Off-Street Car and Cycle Parking*

The design, integration and quantity of parking associated with new development has a huge impact on the quality of our places and the way we use them.

Proposals for new development should be design-led and reflect the positive characteristics of the place with an emphasis on creating walkable and cycle friendly environments.

Car parking in new developments

Reducing the impact of the car will create more sustainable, attractive places to live and will help to address congestion, air pollution and noise.

The type, location and quantity of car parking in new developments should be informed by the positive characteristics of the place and its accessibility by foot and bicycle to amenities and services, including public transport.

Sites which are within highly accessible locations close to amenities such as within the city centre or town centres will require less, or in some cases zero, car parking provision. It should be noted, however, that this does not mean that zero car parking provision will be acceptable in all cases - see [page 58](#) 'Parking Standards' for more information.

In all new developments, car parking should be designed to have a minimal visual impact on the site and surrounding area. Large expanses of uninterrupted car parking, particularly located to the front of new developments, will not be acceptable as they have an adverse visual impact and encourage non-essential car trips.

Where car parking is required on larger developments, a range of solutions that use land efficiently and are well integrated within a high quality public realm should be delivered. A number of these options are explored in the following Technical guidance.



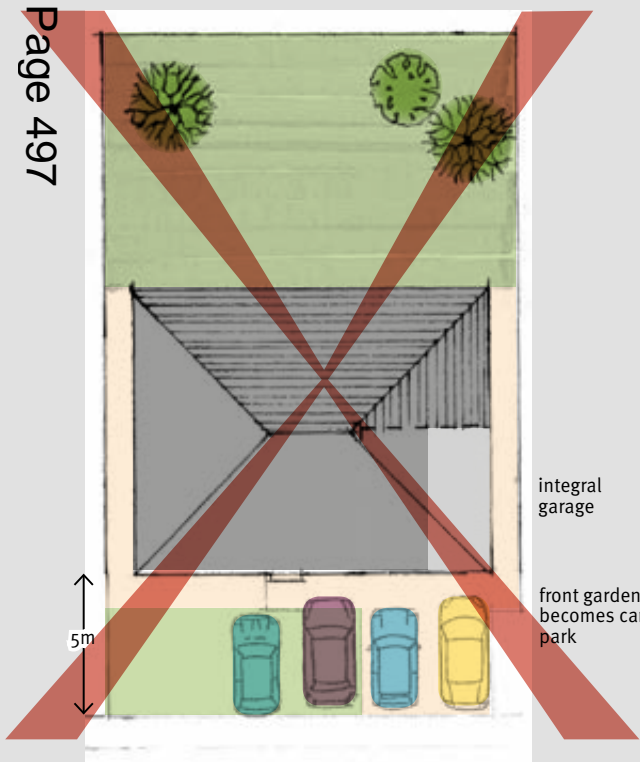
Residential development at Hopetoun Crescent respects the character of the street and incorporates underground parking to assist in minimising parking pressures on the surrounding area

Technical guidance

Exploring options for car parking in new developments

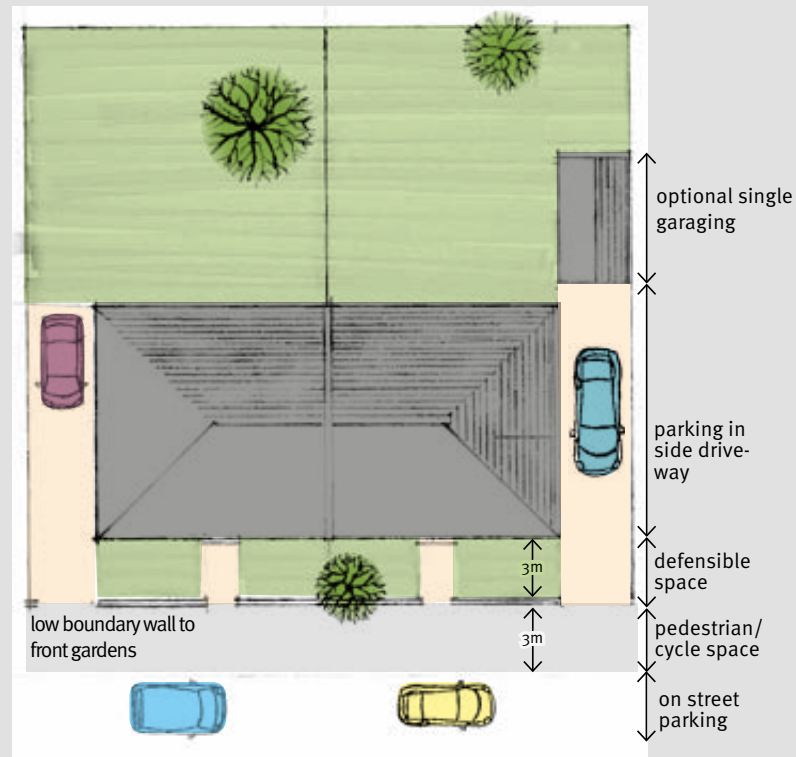
High amenity residential areas generally have car parking located on the street, set to the side or concealed from public view within the site, such as within underground or undercroft parking areas. Many modern housing developments locate the car in front of the dwelling thereby creating a streetscene which is dominated by the car. This guidance seeks to encourage sensitively located car parking and facilitate high quality places for all users.

Poor example showing the dwelling pushed back with parking to the front of the plot

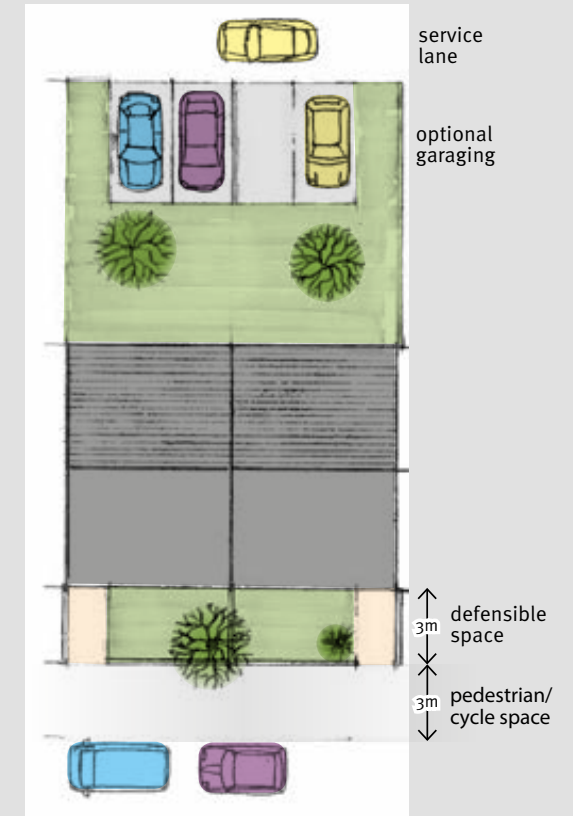


Good examples of parking options within dwelling plots where dwellings are pushed forward to create defensible space and avoid parking within the front garden

Semi detached plots example with parking to side & on street



Terraced plots example with parking to rear and on street



Dwellings at Redhall House Drive pushed forward on the plot with strong boundary treatment and defensible space to the front

Technical guidance

Alternative approaches

Alternative approaches to accommodating car parking will be supported where hard and soft landscaping creates defensible private space and helps create high quality public realm, while minimising the visual impact of car parking.



Strong boundary treatment and landscaping define plots and reduce the visual impact of parked cars at Wallace Gardens

The use of integral garages and off-street parking to the front of buildings should generally be avoided. However, Grange Loan, Eyre Place and Wallace Gardens illustrate successful approaches which deliver high quality living environments including the use of boundary treatment to form defensible space. Where the use of integral garages is appropriate such as within mews-style developments where they are an established part of the character, they should be designed so as not to over-dominate the front elevation of the building or result in 'dead frontages'. The inclusion of windows within garage doors can also assist activating the street frontage (see example at Eyre Place).

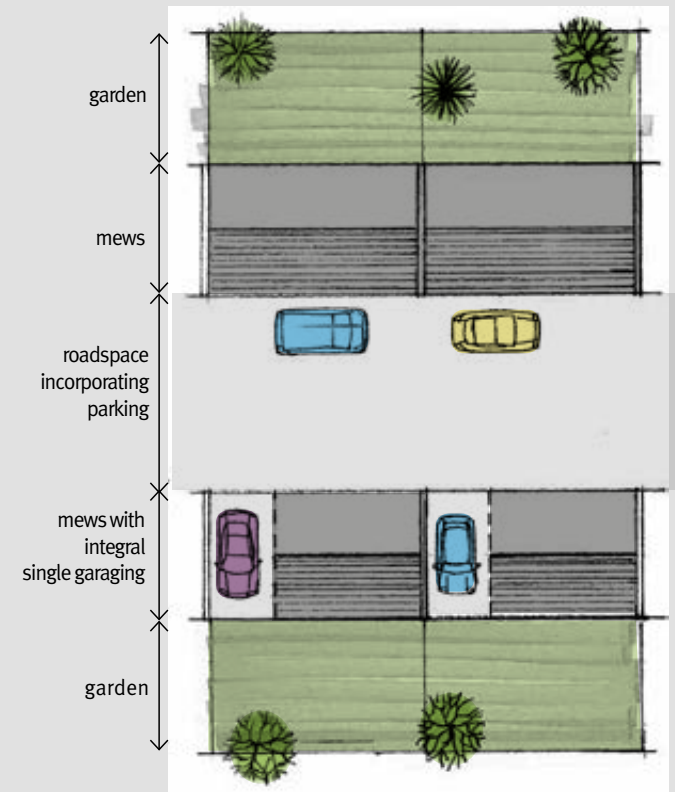


Mix of integral garages and on-street parking within the mews development at Eyre Place



Existing stone wall retained with parking area behind results in minimal visual impact of parked cars at Grange Loan

Good mews plots examples with integral garage / on street parking



Technical guidance

Rear parking courtyards should be minimised unless they are designed to help create well overlooked and attractive amenity spaces. The position and quantity of cars should not overdominate the space or reduce its usability. The use of good quality boundary treatments, landscaping and structures such as garaging can help to avoid uninterrupted areas of parking.

Use of underground, undercroft and rooftop parking

Underground and undercroft parking should be implemented for larger developments where access ramps can be accommodated or topography permits its use. This type of parking arrangement allows buildings to be located forward on the plot creating a more active street environment and maximising space for amenity to the rear.

On larger developments, rooftop parking should also be explored to maximise the efficient use of space and avoid large areas of surface car parking where underground or undercroft parking cannot be delivered.

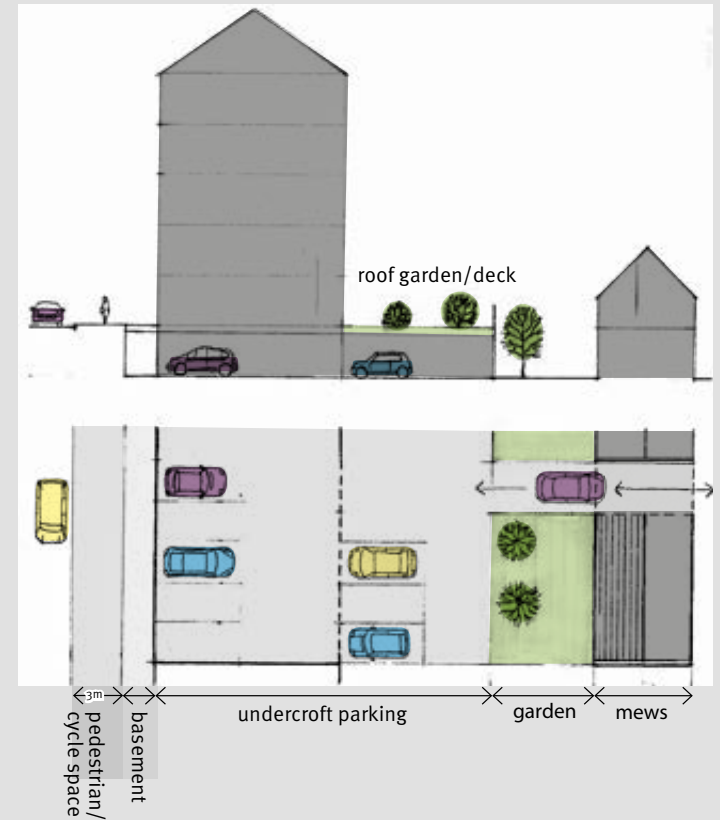
Mixed use developments

For mixed use developments, parking areas should be shared between the uses provided this works without conflict, for example, where uses are populated at different times of day. This arrangement should therefore result in a reduction in the number of total parking spaces.



Rear courtyard parking within well overlooked landscaped amenity space off Gayfield Square

Good flattened development example with undercroft parking & mews to rear



Rooftop car park for supermarket uses space efficiently and the building fully activates corner position along Morningside Road



Zero parking provided within the site for this accessible town centre retail unit on Raeburn Place

Open space and landscaping

Car parking should not be provided at the expense of delivering open space required as a setting to development.

External car parking should be enhanced by a structure of tree and hedge planting arranged both within the parking area and along its boundaries. It is expected that the quantity of planting within car parks will correspond to the number of parking spaces. 50m² of planting, incorporating four trees, is required for every 20 car parking spaces, or 250m² of parking. For each 100 car spaces an additional 100m² of planting will be required.

Where proposals justify larger areas of external car parking, planting should be used to clarify pedestrian and vehicular circulation and be subdivided into compartments of 50-100 cars for ease of orientation.

Tree planting in car parks should preferably be provided in linear trenches. If tree trenches are not feasible, large tree pits with underground support



Inclusion of robust landscape with trees and hedges helps to reduce the potentially negative visual impact of the car parking area

structures to ensure robust growth of trees should be incorporated. Accidental damage to planting by vehicles should be avoided through careful siting and design.

Parking spaces for people with disabilities

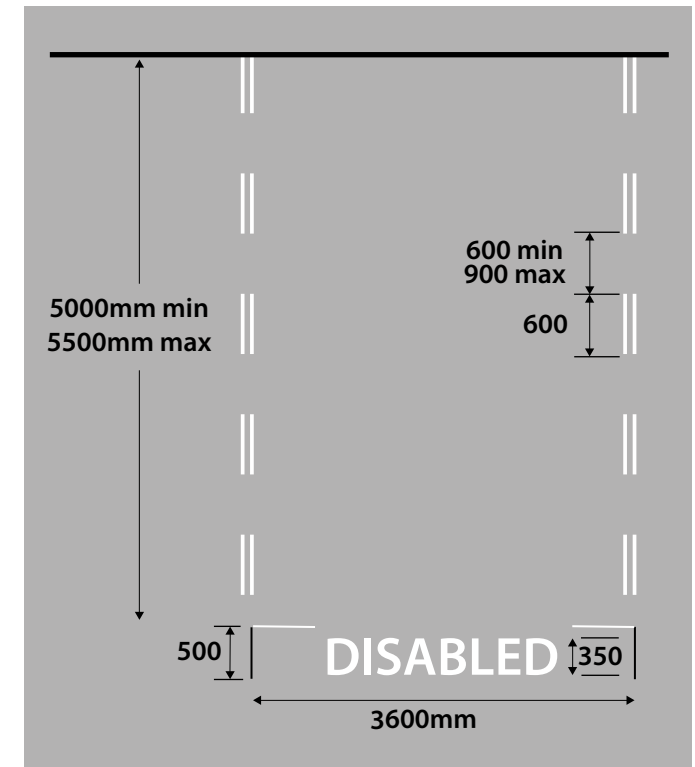
Under the Equality Act 2010 it is the responsibility of site occupiers to ensure that adequate provision is made for the needs of people with disabilities.

To ensure this, a proportion of all car parking areas must be accessible for people with mobility impairments, including wheelchair users (whether driver or a passenger).

This is achieved through a minimum accessible parking requirement for all developments. Accessible parking spaces should be created as part of the overall car parking provision, and not in addition to it. If it is known that there will be a disabled employee, spaces should be provided in addition to the minimum accessible parking requirement. A larger number of spaces may be required at facilities where a high proportion of disabled users/visitors will be expected, for example health and care facilities.

Accessible parking should be designed so that drivers and passengers, either of whom may be disabled, can get in and out of the car easily and should be located close to entrances with step-free access provided between them. **Transport Scotland's Roads for All guidance** (section 4.5.8) provides design details for off and on street parking bays. All road markings must be in accordance with **Traffic Signs Regulations and General Directions**

For on-street accessible parking bays, in accordance with the Disabled Persons' Parking Places (Scotland) Act 2009, developers are required to promote a Traffic Regulation Order, so that use of such spaces can be enforced by the Council. Developers are expected to pay for the necessary road marking, signage and Traffic Regulation Order costs.



Accessible off-street parking spaces.

Parking spaces for bicycles

The Council is committed to increasing cycling's share of travel in the city in-line with the targets set-out in the **Active Travel Action Plan**. High quality cycle parking, including secure storage, is essential in making cycling as attractive as possible.

Cycle parking should be considered in terms of two provision types – long stay and short stay.

Long-stay parking will be required in residential developments, nurseries/schools, further education centres and places of employment, as cycles are generally parked for long periods of the day. Focus should, therefore, be on the location, security and weather protection aspects of cycle parking design. It is recommended that associated facilities, including lockers, showers and changing rooms are provided at land uses where long stay cyclists require them.

Short-stay parking should, as a minimum, serve all other development types and should be available for customers and other visitors. Short-stay parking should be convenient and readily accessible, preferably with step-free access and located close to entrances.

In many cases there will be a requirement for both long and short-stay provision to accommodate the differing needs of employees, residents and students, versus the requirements of customers or visitors to a site.

Where it is not possible to provide suitable visitor parking within the curtilage of a development or in a suitable location in the vicinity agreed by the Council, the Council at their discretion may instead

accept additional long-stay provision, or as a last resort, contributions to provide cycle parking in an appropriate location in the vicinity of the site.

Where it is not possible to provide adequate cycle parking within residential dwellings, the 'Garages and Outbuildings' section of **Council's Guidance for Household**ers should be referred to as it provides links to practical cycle storage advice including on-street and garden provision.

Developers should include details of on-site cycle parking/storage on the relevant drawing(s) and early consideration of the location and type of provision is required to avoid retrofitting at the end of the design process.



Long stay cycle parking, image c/o Paul Downie, Falco

To ensure that cycle parking/storage is implemented, developers are expected to specify where the cycle parking/storage provision will be located (as agreed with the Council) and that they will be fully implemented prior to the operation or occupation of the approved development. This should be clearly stated on the relevant drawing(s) prior to the determination of the application. Developers will also be expected to set out how the facilities shall be retained throughout the lifetime of the development.

All cycle parking should be consistent with the design details set out in the forthcoming Technical Manual factsheet 'Cycle Parking in New Developments' and should also reflect section 8.3 of **Cycling by Design** which also details storage facilities.



Short stay cycle parking, image c/o Paul Downie, Falco

Parking spaces for motorcycles

Parking provision for motorcycles is likely to be in demand around educational establishments, workplaces, shopping and leisure destinations, and residential areas lacking in private car parking opportunities. If the demand for motorcycle parking is unmet, it may disincentivise motorcycling and will potentially result in informal motorcycle parking. This could prove hazardous to pedestrians by blocking footways, and may also inconvenience cyclists if cycle parking facilities are misused.

In terms of convenience, flexibility and security, motorcyclist requirements are akin to cyclists, with **good practice** design stating that motorcycle parking provision associated with new developments should be close by, clearly marked, secure and safe to use.

Sites should have anchor points, quality non-slip level surfacing, CCTV and/or natural surveillance. They should be located away from drain gratings and protected from the elements, as well as having good lighting. For long stay parking, such as workplaces, lockers to allow storage of clothing and equipment and changing facilities should be provided. **The SCOTS' Road Development Guide** (page 154) provides further design details for motorcycle parking.

For houses, provision could be in a garage or a secure rear garden with suitable exterior access. For flatted developments, covered and secure facilities should be provided.

Electric vehicle charging infrastructure

Edinburgh has made huge progress in encouraging the adoption of electric/hybrid plug-in vehicles, through deployment of extensive charging infrastructure. As plug-in vehicles make up an increasing percentage of the vehicles on our roads, their lack of fuel emissions will contribute to improving air quality, and their quieter operation will mean that a major source of noise will decrease (see **Section 2.5** - Environmental Protection).

The **Sustainable Energy Action Plan** is the main policy supporting the Council's Electric Vehicle Framework. Increasing the number of plug-in vehicles and charging infrastructure in Edinburgh will provide substantial reductions in road transport emissions.

To ensure that the infrastructure required by the growing number of electric vehicles users is delivered, one of every six spaces should include a fully connected and ready to use electric vehicle charging point, in developments where ten or more car parking spaces are proposed. Electric vehicle parking spaces should be counted as part of the overall car parking provision and not in addition to it.

Fast charging provision will be required for residential developments, whilst for all non-residential developments, rapid charging will be required (information on fast and rapid chargers is detailed in the following Technical guidance). Information on the infrastructure being provided should be included in the supporting transport submission provided with an application.

For individual dwellings with a driveway or garage, provision should be made for infrastructure to enable simple installation and activation of a charge point at a future date. This can include ducting and cabling as well as capacity in the connection to the local electricity distribution network and electricity distribution board. To further meet increasing future demand for charging points, provision for infrastructure enabling future installation should also be considered in developments where charging points are being provided.

Plans detailing who will be responsible for managing and maintaining charging infrastructure should be submitted with planning applications. Where infrastructure is installed in areas to be adopted by the Council, management and maintenance arrangements are to be aligned according to provisions detailed in the Council's Electric Vehicle Action Plan.

Location and security of charging infrastructure needs to be carefully considered – charge points should be sited in convenient locations and CCTV or other security measures should be installed, particularly near rapid chargers.

Technical guidance

Typical charging equipment tends to be in the form of charging posts or wall mounted charging units

Charging of an electric vehicle's drive battery can be performed in various ways by different charging equipment. The terms 'charging post', 'charge point' and 'charger' are not, strictly speaking, interchangeable but are used broadly to describe the process.



Source: Code of Practice on Electric Vehicle Charging Equipment Installation (IET Standards, 2012)



Fountain Park installation of underground car-park electric vehicle charging.

Charging infrastructure has developed greatly over the last few years. Whereas the first generation of electric vehicles could be found charging at a slow rate from a standard household socket, the current minimum standard is a dedicated 'Type 2' socket/ single phase AC supply offering outputs of up to 7kW per hour. Where a three phase AC supply is available, an otherwise identical higher powered unit can be installed offering up to 22kW per hour. Although not all electric vehicles are currently capable of accepting AC current at 22kW per hour, the trend has been for manufacturers to improve their vehicles AC charging ability. The highest power charge point should always be considered in order to future proof

an installation where possible. AC charging at the above noted power outputs is performed at units which are wall or ground mounted, typically (but not exclusively) with un-tethered cables specific to the vehicle.

'Rapid charging' is a term given to the fastest current method of charging an electric vehicle's battery and is performed by a much larger unit with tethered cables and adapters. Rapid charging can provide significantly higher power and output rates than described above. A typical rate of charge to 80% capacity of an electric vehicle's battery can be performed in around 30 minutes.

Guidance and advice on sourcing electric vehicle charging infrastructure is available from the following sources:

- [UK Electric Vehicle Supply Equipment Association](#)
- [British Electrotechnical and Allied Manufacturers' Association](#)

Provision for car club vehicles



Car club spaces, Quatermile

Car clubs are well established and have been in operation in Edinburgh since 1999. Car clubs are membership based and provide access to pay-as-you-go cars and vans parked in clearly marked spaces in publicly accessible locations.

An increasing number of people find that using a car club is cheaper and more convenient than owning a car, and businesses may utilise this facility to provide fleet vehicles for employees. LDP Policy Tra 2 (Private Car Parking) states that where complementary measures can be put in place to make it more convenient for people not to own a car, such as access to a car club scheme, reduced car parking provision may be justified.

Early dialogue with the Council and a car club representative should take place to establish the acceptability of the location and any practicalities in implementing a car club scheme as part of a new development. Where car club spaces are considered acceptable as part of a new development the Council will require a financial contribution towards the cost

of this provision (refer to the *Council's Guidance on Developer Contributions and Affordable Housing*).

For housing developments, prospective residents should be made aware of the car club facility as part of a welcome pack associated with a Travel Plan.

Parking Standards

Parking Standards (the Standards) are a tool for managing the levels of parking associated with new developments. To encourage a shift from the private car to more sustainable modes of travel, the Standards help by setting maximum limits for general car parking to restrict excessive provision, while setting minimum levels for accessible car parking, cycle parking, motorcycle parking and electric vehicles.

The zones and parking requirements in the Standards are aligned to public transport accessibility levels, Controlled Parking Zones, and strategic development zones. The Standards for zones with good public transport accessibility will require comparatively less car parking than for zones which are less accessible by public transport (see [page 60](#)). The Standards also align with Planning Use Classes, and are shown for different classes of development on [page 61](#).

In all developments the level of parking proposed should be lower than, or equal to the maximum limits set by the Standards. Lower provision will be justifiable in highly accessible and dense locations such as the city centre, or where detailed parking overspill mitigation measures have been proposed. In less accessible locations, low levels of parking provision may be considered where carriageway

widths are sufficiently wide to safely accommodate on-street parking (the forthcoming Technical Manual factsheet 'Carriageway Widths' provides street width details), and where it has been determined by parking surveys that there are no existing or potential parking pressures on surrounding streets.

Applications for new developments must include reasoned justification for the parking provision proposed. To enable this, comprehensive transport information is required for all developments – this should detail the impacts of the development in terms of anticipated parking levels and all forms of access to the site. Transport information provided must therefore include:

- type and scale of development (proposed use, planning use class, number of units/rooms, gross floor area);
- a detailed accommodation schedule, particularly for residential developments, listing numbers of each size of unit;
- identification of existing transport infrastructure in and around the site;
- details of proposed access to and through the site for pedestrians and cyclists, as well as links to footways, cycle paths, shared use and core paths around the site;
- details of proposed access to public transport facilities and services;
- comprehensive parking information detailing proposed parking provision (number and layout/design of spaces, including accessible spaces, electric vehicle charging points, motorcycle and cycle parking);

- parking surveys to understand the potential impact of overspill parking in surrounding streets. The surveys should identify parking space capacity and utilisation on streets surrounding the development and should ideally be 24 hour surveys over a one week period; and
- mitigation measures where low parking provision is proposed – this should include measures which reduce the impact of parking in surrounding streets, including provision of car club vehicles and travel packs detailing the accessibility of public transport and walking and cycling infrastructure.

For larger developments (50+ residential units, 10,000m²+ gross floor area for business, industry, storage and distribution developments, and 5000m²+ gross floor area for other developments), detailed transport studies are required which include all of the transport information cited previously as well as more detailed examination of potential transport impacts, along with proposed transport measures. This includes:

- trip generation and modal split forecasts;
- traffic analysis, to understand the transport impacts of the development;
- analysis of potential safety issues caused by transport generated by the development;
- how car use in and around the development will be managed;
- measures considered to influence travel behaviour in and around the development;
- transport planning and demand management measures including mode share targets; and

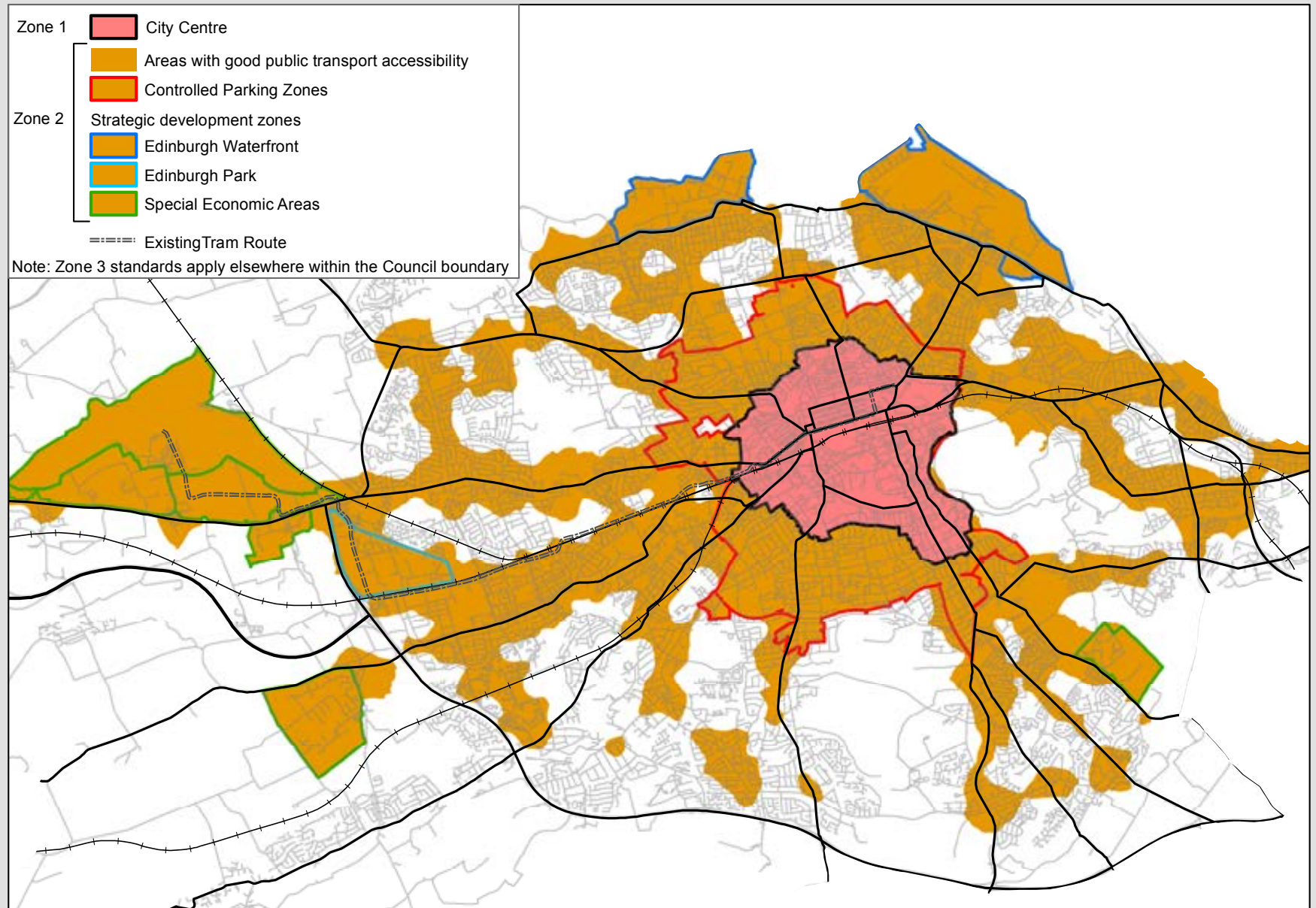
- environmental impacts caused by transport in and around the development.

Before applying for planning permission a pre-application discussion with the Council can provide an opportunity to get advice on, and agree the scope of, the parking and transport information requirements of an application. As well as discussing the detailed transport and parking information required, a pre-application meeting can explore the potential need for quality audits, road safety audits and Roads Construction Consents.

Technical guidance

Public transport accessibility levels are measured by taking account of the distance from any point to the nearest public transport stop and the service frequency at that stop. The higher the score, the greater the level of accessibility. The parking zones map should be used to inform the provision to be applied at a specific development, in a given area of the city. The map can also help when considering opportunities for higher density developments.

In calculating requirements, the Standards generally relate to gross floor areas unless otherwise stated (i.e spaces per habitable rooms in the case of residential developments). When the measurement relates to staff numbers, this should be taken as a full time equivalent member of staff.



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Parking standards for each relevant planning use class

The table below helps to determine parking allocations, based on 1 space per xm² of Gross Floor Area unless otherwise stated

Development by planning use class	Car Parking Maximum per parking zone			Cycle Minimum		Motorcycle Minimum	
Class 1 Shops	Zone 1	Zone 2	Zone 3	Employees	Customers	Employees	Customers
Retail Warehouse (public use)	1 per 500m ²	1 per 50m ²	1 per 30m ²	1 per 500m ²	1 per 1000m ²	1 per 4000m ²	1 per 2000m ²
Retail Warehouse (trade only)	1 per 3000m ²	1 per 360m ²	1 per 180m ²	1 per 1000m ²	1 per 2000m ²	1 per 8000m ²	1 per 4000m ²
Shops < 500m ²	1 per 100m ²	1 per 50m ²	1 per 25m ²	1 per 250m ²	1 per 500m ²	1 per 2000m ²	1 per 1000m ²
Shops 500m ² to 2000m ²	1 per 70m ²	1 per 30m ²	1 per 20m ²				
Shops > 2000m ²	1 per 70m ²	1 per 35m ²	1 per 20m ²				
Class 2: Financial/Professional Services	1 per 100m ²	1 per 50m ²	1 per 25m ²				
Accessible parking - minimum provision	One space for each employee who is a disabled motorist plus 8% of total capacity						
Electric vehicles - minimum provision	Where 10+ car parking spaces are proposed, one of every six proposed spaces should feature an electric vehicle charge point.						
Class 3 Food/Drink (incl. pubs & takeaways: sui generis)	1 per 20m ²	1 per 14m ²	1 per 11m ²	1 per 75m ²		1 per 20 car spaces	
Accessible parking - minimum provision	One space for each employee who is a disabled motorist plus 8% of total capacity						
Electric vehicles - minimum provision	Where 10+ car parking spaces are proposed, one of every six proposed spaces should feature an electric vehicle charge point.						
Class 4: Business	1 per 500m ²	1 per 63m ²	1 per 35m ²	1 per 150m ²	1 per 1000m ²	1 per 1000m ²	1 per 4000m ²
Class 5: General Industry	1 per 1000m ²	1 per 125m ²	1 per 70m ²	1 per 300m ²	1 per 2000m ²	1 per 2000m ²	1 per 8000m ²
Class 6: Storage/Distribution	1 per 3000m ²	1 per 385m ²	1 per 210m ²	1 per 900m ²	1 per 6000m ²	1 per 6000m ²	1 per 16000m ²
Accessible parking - minimum provision	One space for each employee who is a disabled motorist plus 6% of total capacity						
Electric vehicles - minimum provision	Where 10+ car parking spaces are proposed, one of every six proposed spaces should feature an electric vehicle charge point.						
Class 7 Hotels	1 per 5 bedrooms	1 per 2 bedrooms	1 per bedroom	1 per 10 bedrooms		1+1 per 20 car spaces	
Coach parking	1 coach space per 50 rooms (need not be on-site)						
Accessible parking - minimum provision	One space for each employee who is a disabled motorist plus 8% of total capacity						
Electric vehicles - minimum provision	Where 10+ car parking spaces are proposed, one of every six proposed spaces should feature an electric vehicle charge point.						
Class 8 Residential Institutions: residential homes	1 per 10 beds	1 per 5 beds	1 per 4 beds	1 per 15 beds		1 per 25 beds	
Accessible parking - minimum provision	One space for each employee who is a disabled motorist plus 12% of total capacity						
Electric vehicles - minimum provision	Where 10+ car parking spaces are proposed, one of every six proposed spaces should feature an electric vehicle charge point.						
Class 9 Housing (including flats: sui generis)	Zone 1 and 2	Zone 3		Cycle		Motorcycle	
Studio/ 1 room*	1 per unit	1 per unit		1 per unit		1 per 25 units	
2 rooms*				2 per unit			
3 rooms*				1.5 per unit			
4 or more rooms*				2 per unit			
3 rooms*	From a threshold of 10+ dwellings (where parking is communal): 8% of total capacity						
Electric vehicles - minimum provision	Where 10+ car parking spaces are proposed, one of every six proposed spaces should feature an electric vehicle charge point. For dwellings with a driveway/garage, passive provision should be made so that a charge point can be added in the future i.e. a 7 kw socket.						
* habitable rooms only – excludes kitchens and bathrooms							
Class 10 Non-Residential Institutions	1 per 15 staff	1 per 3 staff	1 per 2 staff	2 (+1 per 7 staff + 1 per 10 pupils)		1(+ 1 per 25 staff)	
Schools/nurseries	1 per 150m ²	1 per 68m ²	1 per 50m ²	1 per 100m ² (+1 per 7 staff)		1(+ 1 per 25 staff)	
Libraries (m ² Public Floor Area)	1 per 120m ²	1 per 50m ²	1 per 40m ²	1 per 67m ²		1	
Church/community hall	One space for each employee who is a disabled motorist plus 8% of total capacity						
Accessible parking - minimum provision	Where 10+ car parking spaces are proposed, one of every six proposed spaces should feature an electric vehicle charge point.						
Electric vehicles - minimum provision	Where 10+ car parking spaces are proposed, one of every six proposed spaces should feature an electric vehicle charge point.						
Class 11 Assembly & Leisure	1 per 24 seats	1 per 10 seats	1 per 6 seats	1 per 50 seats		1+1 per 20 car spaces	
Cinemas/theatres	N/A	2 per hole	2 per hole	2		1+1 per 20 car spaces	
Golf courses	1 per 60m ²	1 per 25m ²	1 per 15m ²	1 per 10m ²		1+1 per 20 car spaces	
Swimming (m ² pool area)	One space for each employee who is a disabled motorist plus 8% of total capacity						
Accessible parking - minimum provision	Where 10+ car parking spaces are proposed, one of every six proposed spaces should feature an electric vehicle charge point.						
Electric vehicles - minimum provision	Where 10+ car parking spaces are proposed, one of every six proposed spaces should feature an electric vehicle charge point.						
Sui Generis - Motor Trade: display area	1 per 80m ²	1 per 56m ²	1 per 50m ²	1 per 7 staff		1 (+ 1 per 25 staff)	
Sui Generis - Motor Trade: spares	1 per 40m ²	1 per 28m ²	1 per 25m ²				
Sui Generis - Motor Trade: Service/repairs	1 per 2 bays	1 per 2 bays	1 per 2 bays				
Sui Generis - Motor Trade: staff	1 per 15 staff	1 per 4 staff	1 per 1.5 staff	1 per 1 bed		1 per 25 beds	
Sui Generis - Student Flats	1 per 20 beds	1 per 6 beds	1 per 5 beds				
Accessible parking - minimum provision	One space for each employee who is a disabled motorist plus 6% of total capacity						

2.5 Environmental protection

Development should actively help enhance the environment, manage exposure to pollution and reduce overall emissions.

Adopt good design principles that reduce emissions (noise, air and light pollution) and contribute to better pollution management.

Balconies should be avoided in locations which experience poor air quality, and where there is excessive noise.

Local Development Plan policies

Env 2 - Pollution and Air, Water and Soil Quality

Air Quality

The location and design of a development has a direct influence on exposure to elevated air pollution levels. This is particularly relevant where developments include sensitive uses such as residential uses, hospitals, schools, open spaces and playgrounds. Developers should maximise the contribution the building's design, layout and orientation make to avoiding the increased exposure to poor air quality and these elements, therefore, need to be considered at the initial design stage.

Good practice principles in the design stage should be aligned to *Delivering Cleaner Air for Scotland*, and should consider the following:

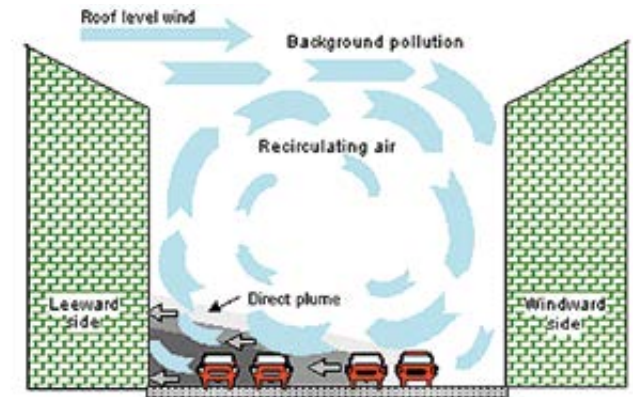
- New developments should not contravene the Council's *Air Quality Action Plan*, or render any of the measures unworkable;

- Wherever possible, new developments should not create a new "street canyon" or building layouts that inhibit effective dispersion of pollutants;
- Delivering sustainable development should be the key theme for the assessment of any application; and
- New development should be designed to minimise public exposure to pollution sources, e.g. by locating habitable rooms away from busy roads, or directing combustion exhaust through well-sited vents or chimney stacks.

Where possible, new trafficked roads should align to prevailing winds which may help with pollutant dispersal, alternatively, the creation of a buffer zone between busy roads and buildings could be another practical solution to pollution exposure.

Other relevant national guidance and policy which should be adhered to includes *Planning Advice Note 51* (Revised 2006): Planning, Environmental Protection and Regulation, and *Cleaner Air for Scotland: The Road to a Healthier Future*, November 2015.

Air flow pattern in a street canyon – where vehicular traffic is expected street canyons should be avoided



Source: *urban-air-pollution-modeling*

Developers should also consider the location of outside space including gardens, balconies and roof terraces proposed in areas of particularly poor air quality. Outside spaces should be screened by planting where practical, and be appropriately designed and positioned to minimise exposure to pollutants.

Protecting internal air quality

To protect internal air quality, developers should specify environmentally sensitive (non-toxic) building materials. The use of materials or products that produce volatile organic compounds and formaldehyde which can affect human health, should be avoided. It is also important to maintain combustion plant and equipment, such as boilers, and ensure they are operating at their optimum efficiency to minimise harmful emissions.

Noise

In addition to reducing general quality of life, excessive noise can damage health and harm the environment.

The density and mix of uses within Edinburgh contribute to the vibrancy of the place. However, noise associated with this mixture of land uses can be a nuisance to sensitive occupiers.

Where a proposed development will emit noise, the site layout should be designed to minimise future noise complaints, incorporating the most appropriate mitigation measures into the scheme.

Where a proposed sensitive development is likely to be exposed to noise, developers should design the layout to minimise noise and implement the most appropriate measures to ensure amenity is protected. This could include locating noise sensitive areas/rooms away from the parts of the site most exposed to noise or designing the building so its shape and orientation reflect noise and protect the most sensitive uses.

Reference should be made to **Planning Advice Note 1/2011 Planning and Noise** in addition to industry technical guidance and British Standards when addressing relevant issues, for example **BS4142 – Method for Rating Industrial Noise Affecting Mixed Residential & Industrial Areas** and **BS8233:2014 - Guidance on sound insulation and noise reduction for buildings**.

Lighting

Lighting is a critical component in the design of high quality public realm and it has an important role in supporting placemaking across the city. **The**



Good design for noise was used at Our Dynamic Earth to stop noise escaping from one of their function areas. Instead of installing doors they installed a triangle, zigzagged corridor.

Sustainable Lighting Strategy for Edinburgh offers lighting principles which help to encourage lighting designs that will reduce energy use and cost, and minimise light pollution.

Further guidance is contained within;

Guidance Note; Controlling Light Pollution and Reducing Lighting Energy Consumption;

PAN 51: Planning, Environmental Protection and Regulation; and

PAN 77: Designing Safer Places.

Contaminated Land

Early identification of land contamination issues enable the consideration of mitigation measures, phasing and the potential to implement less expensive, and more sustainable, in-situ clean up technologies. An assessment of the risks associated with developing contaminated or potentially contaminated land is essential to inform decisions

about the appropriate level of treatment, clean up or sustainable remediation that may be required. The Council holds details on potentially contaminated land based on historic land uses. Where a site is affected by contamination, it is the developer's or landowner's responsibility to develop the site safely.

Odour

Chimney or flue termination points located at low levels in relation to adjacent buildings, can cause problems for residential amenity, as well as having visual impacts. Consideration should be given when designing extraction for commercial kitchens, the flue system for a wood burning stove or when dealing with the industrial processes to the location and height of these points. It is more effective to address odour at the design and planning stage of a new plant or process than to seek to abate a statutory nuisance from odours retrospectively.

2.6 Minimise energy use

Minimise energy needs through a combination of energy efficiency and incorporate low or zero carbon equipment.

Ensure low and zero carbon equipment is sensitively integrated into the design.

Support appropriate energy generation to help meet national targets.

Local Development Plan policies

- *Des 6 - Sustainable Buildings*

Energy Reduction in New Buildings

All new developments will be expected to meet the carbon dioxide emissions reduction targets set out within Section 6 – Energy and Section 7 – Sustainability of the current Scottish Building Regulations through a combination of energy efficiency and low or zero carbon technology.

For all relevant applications, *the sustainability statement form (S1)* should be completed and submitted with the application. Development that has been independently assessed under BREEAM or equivalent is required to achieve a sustainability accreditation/award of at least very good. Achieving a Silver level certificate for Section 7 of the Building Regulations is considered by Planning to be equivalent to a very good accreditation for BREEAM.

Heat Mapping

Heat mapping is an important tool to help identify locations where heat distribution is most likely to be beneficial and economical. It can be used to identify individual buildings and groups of buildings which could benefit from heat distribution networks. Heat maps can utilise information on both demand (domestic, industrial and commercial) and supply for renewable heat. The Scottish Government has developed a heat mapping tool for local authorities based on using standard GIS methodologies.



Minimising energy use through careful design—Fala PI

This housing development achieved a BREEAM excellence award in recognition of its high standards of sustainability. It achieves this through a range of measures including insulation, airtightness and heat recovery.

A new heat map for Edinburgh will be produced and Supplementary Guidance will be prepared regarding heat mapping. The Guidance will consider the potential to establish district heating and/or cooling networks and associated opportunities for heat storage and energy centres. It will also look at how implementation of such initiatives could best be supported.

Edinburgh's *Sustainable Energy Action Plan 2015 - 2020 (SEAP)* shows Edinburgh's aims for minimising energy use and provides details of the actions supporting the introduction of heat mapping and district heating.



Integrating micro renewables—Kings Buildings

Solar Panels are integrated into the design of the elevation.

2.7 Materials and detailing

Harmonise materials on new development with the materials used on surrounding buildings.

Use sandstone where sandstone is the commonly used building material.

Where alternative materials are used, these should either harmonise or provide a striking contrast.

Keep the number of materials on new development to a minimum.

Detail buildings to ensure they have a good visual appearance that lasts over time.

Use greenroofs where appropriate and creative detailing to help manage surface water.

Protect and enhance biodiversity by incorporating habitat structures into the detailing of buildings.

Local Development Plan policies

- **Des 4 d) - Development Design**
- **Des 6 - Sustainable Buildings**

Materials are key to whether or not development achieves sufficient design quality, appropriate for its context.

Edinburgh's distinctive appearance and character is partly a result of the limited palette of quality traditional materials that are used in its buildings. Much of the city's built heritage is characterised by sandstone buildings and slate roofs.

Some parts of the city use a wider range of materials in addition to these. In these areas there may be more scope to use alternative high quality materials than elsewhere.

The reasoning behind the selection of materials should be set out in a design statement.

The long term visual success of building materials is dependent on how they are detailed and how they weather. Some materials are more likely to suffer from adverse weathering such as staining. Where the Council thinks this might be the case, detailed drawings may be required to fully assess the proposals. The durability of particular materials can be assessed by examining existing examples.

Construction techniques can be used to incorporate habitat structures into the design of new buildings in order to increase biodiversity, for example, bat and swift boxes. Further information can be found in 'Biodiversity for Low and Zero Carbon Buildings: A Technical Guide for New Build'.

The following pages set out in more detail the Council's technical expectations for building materials.

The choice of building materials may be a condition of planning permission.

On larger or more prominent schemes, sample panels may need to be constructed for approval. This is to demonstrate how the proposed building materials fit together. This should include hard landscaping details.

section 3.7 Hard landscape, sets out the Council's expectations for materials in hard landscaped areas.



High quality detailing and design—Circus Lane

Considerable attention to detail has helped create a very refined design. This building sets the standard for mews conversions within the city.

Technical guidance

Stone

Edinburgh's distinctive sandstone forms the basis of the city's traditional character and inherent quality.

Much of Edinburgh's sandstone was hewn from local quarries that are now closed; most famously Craigleith but also at other quarries such as Hailes, Humbie, Ravelston, Binnie and Granton.

It is expected that natural sandstone will be used as the main external building material in development where sandstone is the dominant material on neighbouring buildings or in the surrounding area. This is particularly important on facades that can be seen from the street.

This principle applies in conservation areas but also to other areas of the city with stone buildings including prominent areas such as arterial routes.



Sandstone in a villa area—Newbattle Terrace

Sandstone will be sought for new buildings in villa areas where the surrounding buildings are built of sandstone.

Scottish sandstone is still available from a few quarries, such as Clashach in Moray and Cullaloe in Fife, a good match for Craigleith stone. Pennine Sandstones – Crosland Hill can also provide suitable matches.



Where sandstone would be sought—Angle Park Ter.

If the white painted building were to be demolished, the Council would seek a sandstone for its replacement, given the site's context of sandstone buildings on each side.



Modern use of stone in an historic context

At the Museum of Scotland (above) rigorous and sculptural use of sandstone cladding provides the building with a striking contemporary aesthetic that responds positively to the surrounding historic context. Care needs to be taken with any proposal like this, that the detailing mitigates adverse weathering and staining.

Red sandstone, historically from the West of Scotland, contributes towards the city's character. It has been used effectively to help integrate modern buildings into historic areas where red sandstone is already used.

Granite is considered acceptable, where a contrast with surrounding buildings is appropriate (for example to emphasise important public buildings) and as a secondary element (for example on plinths where its robustness and good weathering characteristics helps maintain the appearance of buildings).

The size of stone used should match that of nearby buildings.



Informatics Forum—Charles Street

Sandstone is built into vertically proportioned panels which are used to order the design of the elevations.

Cast stone and concrete

Cast stone and concrete are acceptable where their uniform appearance is appropriate and where measures have been taken to avoid adverse weathering such as the build up of dirt, streaking and staining.

It is important that there is a strong underlying reason for using cast stone or concrete rather than stone. One reason is that the design may be based around an idea of having very large or unusual shaped panels that would be very difficult to construct in single blocks of stone.

Measures to avoid adverse weathering include:

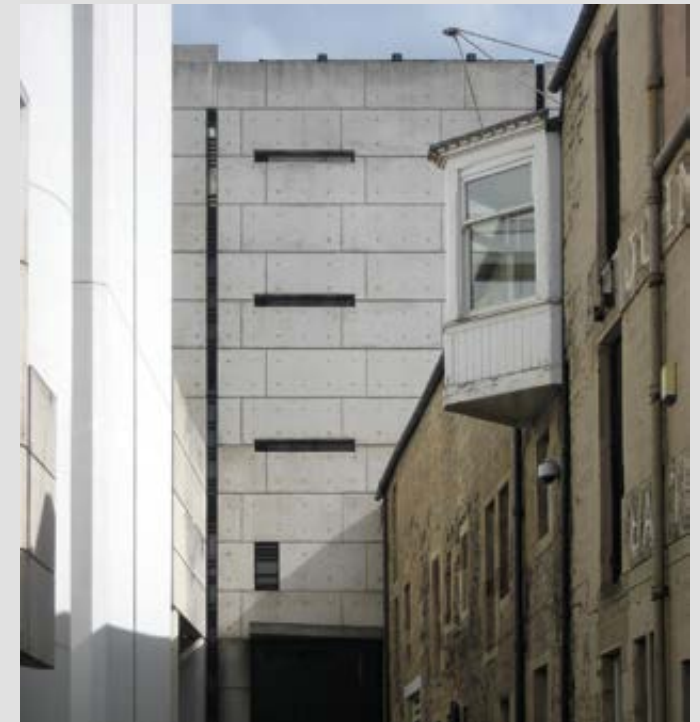
- Architectural details which control the water run-off from a facade in ways which enhance the weathering characteristics;
- The specification of the surface finish; and
- The inclusion of sealants to the surface.

Cast stone is manufactured with aggregate and a cementitious binder. Its appearance is intended to be similar to natural stone. Unlike naturally formed stone, which tends to be visually rich, blocks of cast stone appear alike. This can look dull in comparison with natural stone. This effect is emphasised over time when typically cast stone will weather in a more uniform way than similarly detailed natural stone.

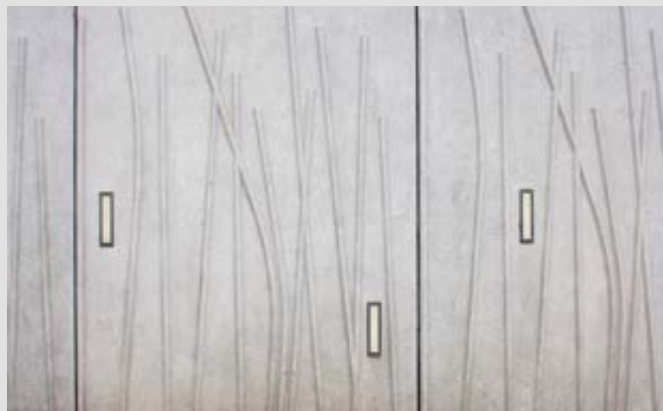
Further information about pre-cast concrete cladding can be found at www.britishprecast.org.



A mixture of cast stone & natural stone—Morrison St.
Cast stone was used at high level on the drum shaped part of the building while natural stone was used at low level on the corners.



In-Situ Concrete—Museum of Scotland
This concrete is used to sculptural effect on the museum building.



Concrete used sculpturally—Horse Wynd
The sculptural potential of concrete is exploited in the Parliament wall with the patterned surface and integration of lights



Textures created with concrete—Princes Street
Concrete panels with a textured surface treatment are used on this recent building on Princes Street.

Cladding

High quality metal cladding may be acceptable in some historic environments where there is already a range of building materials. It may also be acceptable where overt contrast is sought and considered appropriate. Appropriateness depends on the quality of the finish and detailing as well as the character of the surrounding environment. High quality metal cladding might be acceptable in some locations in the Old Town, it is less likely to be acceptable amongst the palatial frontages of the New Town. The surface finish of the cladding should be raw or treated metal which does not have a patina. The fixings of any cladding should be hidden.

There are a range of cladding materials and ways in which these can be constructed. Metal cladding can provide buildings with a striking contemporary appearance, however, if used inappropriately it can have a negative visual effect.

Resin and cement based panels can be used on less sensitive sites and where their use is limited or will have a minimal visual impact. Because of their poorer visual characteristics in comparison with metal claddings like anodised aluminium, stainless steel and zinc—these should be avoided in conservation areas including those with villas.

Where resin based panels are used as cladding, synthetic prints which aim to emulate wood should be avoided. These are not considered to have as positive a visual effect as natural timber.



Using zinc to provide striking contrast—Infirmiry St.
The zinc cladding combined with the modern building form provides a positive contemporary contrast to the historic former Infirmiry Street Baths building.



Aluminium—Simpson Loan
Multi-toned anodised aluminium cladding provides a striking and positive contrast to the historic buildings making the distinction between new and old very clear.



Too many materials
The cladding, blockwork and render and their detailing used at this development would not now meet the Council's expectations for appropriate quality.



High quality detailing—Sighthill Court
Construction of a sample panel and approval were required by condition in order to ensure the design intent of a high quality finish was executed.

Timber

Timber should be appropriately detailed to ensure that it retains a good visual appearance over time, and that durable species should always be used. Sensitive sites include conservation areas and arterial routes into the city. Durable species include European Oak, Western Red Cedar and Sweet Chestnut. Moderately durable species can be used on smaller proposals which are not in sensitive sites. Moderately durable species include Larch, Douglas Fir and European redwood.

Tropical hardwoods should be avoided unless it can be clearly demonstrated that these are sourced sustainably. More information about timber can be found at www.trada.co.uk.

For local developments in sensitive locations and all major developments durable species should be used. Sensitive sites include conservation areas and arterial routes into the city.

Specification and architectural details at a 1:5 or 1:10 scale of the proposed timber cladding may be sought. These should set out the thickness of the timber (which should not be less than 19mm finished size) and the types of fixings, which should be specified to ensure no staining. The details should show how water will be shed clear of the ends of timber to ensure moisture absorption is prevented.



Careful detailing—Arboretum Place

The timber cladding overhangs cladding on lower levels of the building. This helps shed water from its surface, and protects it from adverse weathering.



Durable species—Informatics Forum

The timber cladding is Oak. This is a durable species that is appropriate for use in prominent or sensitive areas.



Sculptural effect—Upton

The timber cladding is used to give these houses a striking appearance. Image courtesy of Steve Tiesdell Legacy Collection

Brick

Brick generally has good weathering characteristics, and can be specified so that its colour and texture harmonises with surrounding buildings. In sites outwith conservation areas and where the design proposed is of a high quality, brick can be used positively.

Where brick is used in an existing context of stone buildings it is expected that the brick and mortar will be specified to harmonise with the range and tone of colours in the surrounding buildings. Note that generally, the expectation is for the use of natural stone where natural stone is the prevalent building material.

Brick can also be used to provide contrast, however, care needs to be taken with this approach to ensure that the architectural effect is not at the expense of the quality of the design of the street as a whole.

The proportions of windows play a major role in giving brick buildings an Edinburgh character. Traditional tenements have large vertically proportioned windows. Using windows of the same size and alignment can help integrate brick buildings into their surroundings.



Subtle variation—Telford March

Two different mixes of brick have been used to provide variation in colour within the elevations.

Although not a prevalent building material, brick has been used in certain locations within Edinburgh to positive effect. Brick is commonly used in industrial structures such as maltings and as a secondary element, for example on side and rear elevations or chimney stacks. Many traditional Edinburgh examples used locally produced Portobello brick which was produced into the early 20th Century.

Care needs to be taken with the specification of brick and also during construction to avoid efflorescence. This is the build up of salts present in the brick material appearing on the surface of the wall as the mortar cures.



Modern use of brick in an historic environment—McEwan Square / Fountainbridge

Brick has been used to integrate this development into its historic surroundings. The development is overtly contemporary in its appearance. The colour of bricks was chosen to harmonise with the stone of the adjacent tenements. Combined with the vertical emphasis to the window and the building's scale, the material choice has helped ensure this development adds to Edinburgh's sense of place. This development sets the standard for the use of brick within Edinburgh.

Render/harl

When appropriately specified and in appropriate locations, render can be used as an external building material which can contribute towards Edinburgh's sense of place.

Appropriate specifications include:

- Ensuring it does not discolour or fade over time and it does not suffer from algae growth or lime bloom;
- Consideration of the location of all expansion and movement joints, slim vents, boiler flues, extract ducts and rain water goods etc to ensure these do not have an adverse visual impact; and
- Consideration of architectural detailing to shed water from the surface of the render. Note that details may be sought.

There is a strong tradition of rendered buildings in parts of the city area which predate the building of the New Town, for example, the Old Town and the centre of Queensferry. This use has continued and render can be used to provide contrast in locations like these on contemporary buildings. Where render would make a building stand out in longer views, this should generally be avoided.

Render also has a contemporary appearance that is appropriate in areas where the overall character is modern.

In some areas, because of levels of vehicular traffic and microclimate, pronounced weathering is evident. On rendered buildings this can look

adverse. An example area is the Cowgate, where the canyon-like form of the street contains pollution which stains external wall surfaces. Render tends to highlight these effects rather than suppress them. For this reason contextually appropriate alternative

materials with better weathering characteristics may be a better choice in areas or streets like this.

Traditional lime renders and lime harling can be used in appropriate locations.



Integrating the new with the old—High Street

The controlled use of render, combined with sandstone, create a positive modern addition to the Old Town



Positive contrast—Old Fishmarket Close, off High St

The use of render and timber contrast positively with surrounding stone buildings.



Impacting adversely on views—Calton Hill

The rendered buildings stand out against the surrounding stone and slate buildings. Alternative materials may have allowed the buildings to integrate better into the view.

Hard roofing materials

Slate, pantiles and metals such as lead, stainless steel, zinc and copper contribute to Edinburgh's roofscape. All these materials are generally considered appropriate. Synthetic versions of these materials should be avoided in conservation areas.

The use of synthetic materials will be considered on a case by case basis in other areas of the city and their appropriateness will be assessed against:

- The extent of use;
- Their prominence on the building; and
- The prominence of the building on the setting of the city and setting of the street.

Edinburgh has a strong tradition of using slate (such as Ballachulish) as a roofing material. The palette of darker greys of slate helps to draw out the warmth of sandstone.



Metal roofing in a historic context—Canongate
Stainless Steel roofing has been used on the Scottish Parliament.

Synthetic materials inadequately replicate the characteristics of materials they seek to emulate and as a consequence have a poorer appearance.

The vulnerability of metal roofing to theft should be considered at the design stage.



Traditional roofing materials (right)
Slate, Lead and zinc are traditional roofing materials used in Edinburgh—seen here from the Museum of Scotland's roof.

Green roofs

Green roofs are flat or sloping roofs with some form of vegetation placed on them. They are intensively or extensively managed; the former with a deep soil profile supporting shrubs, trees and grass, and the latter with a shallow soil profile growing drought tolerant self seeding vegetation. Both are encouraged in appropriate locations, particularly adjacent to green/blue corridors and will be encouraged in locations adjacent (within 15m) of river corridors. They have numerous benefits that include prolonging the life of the roof, attenuating water, reducing sound transmission, improving thermal efficiency, enhancing air quality, and habitat creation. Green roofs should not be regarded as an alternative to open space provision on the ground. Care should be taken to ensure that they do not have an adverse visual effect, for example, disrupting a visually cohesive existing roofscape. Green walls can also be used in certain circumstances and provide many of the benefits of green roofs.



Extensively green roof—Botanic Gardens
The planting on this green roof helps integrate the building into its surroundings.

Aircraft Safety

The impacts of requirements for aircraft safety—for example the need to deter birds from roofs—should be considered at the outset to ensure any resulting features are sensitively incorporated.

Other Materials

To help the sustainability of development, uPVC should not be used as a material for windows on major planning applications unless it can be demonstrated that they are recycled and achieve a minimum rating of 'A' in the BRE 'Green Guide'. Thermally broken aluminium, aluminium / timber composites, and timber windows may provide sustainable alternatives. For listed buildings and conservation areas refer to the Council's Guidance on Listed Buildings & Conservation Areas.

Timber should be from a sustainable source. The reuse and recycling of materials is encouraged. When making an application, the **Sustainability Statement Form (S1)** should be completed.

Opaque panels in glazing systems or windows should be avoided.

Consideration should be given to 'bat friendly' roof membranes to support bat populations.



Frameless glazing—Festival Theatre, Nicolson Street
The refined detailing of the frameless glazing helps create a striking modern addition to the street.



Curtain Walling—Beccleuch Place
The potential offered by glazing systems with variations in the window widths, patterning of the glass and mullion depths is fully taken advantage of here.



Frameless glazing—George Square Lane
Glazing is used to create the effect of a floating roof on this building.

2.8 Adaptability

Ensure buildings are adaptable to the future needs of different occupiers.

Local Development Plan policies

- Des 5 b) - Development Design



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Adaptable laboratory building—Old Dalkeith Road

This building was designed to allow different types and sizes of laboratory space and all their associated services to be fitted out and changed over time.

Adaptability

Many buildings are designed with specific uses in mind. If the design becomes too specific it can become very difficult to make changes to the building and give it a new use at a later date. Examples of making buildings more adaptable include:

- Creating level access so that buildings can be used by all;
- Ensuring there is sufficient space for changing needs;
- Making floor to ceiling heights high enough to accommodate a range of different uses;
- Providing space for extensions; and
- Designing roof spaces so that they can easily be turned into floor spaces.



Adaptability in suburbia

The houses are designed with sufficient space that extensions can be added while retaining relatively large gardens. In addition, attics have been converted.

2.9 Mix of uses

If appropriate, create a mix of uses.

Local Development Plan policies

- *Des 2b - Co-ordinated Development*
- *Des 5 b) - Development Design*

Mix of uses

Having a mix of uses in a development can help both its sustainability and the sustainability of an area as a whole. If the services that people use are located in close proximity to where they are, there will be less reliance on transport as people will be more likely to walk.

Making places vibrant and interesting through providing a mix of uses, will help them resilient to changes in the economy and more attractive to new development.



Mix of uses—Middle Meadow Walk

This new development incorporates a mix of uses including housing, offices, gym, shops and cafes.



Mix of uses—Newhall, England

This office integrates into this suburban development. Image courtesy of Steve Tiesdell Legacy Collection.

2.10 Daylight, sunlight, privacy and outlook

Design the building form and windows of new development to ensure that the amenity of neighbouring developments is not adversely affected and that future occupiers have reasonable levels of amenity in relation to:

- daylight;
- sunlight; and
- privacy and immediate outlook.

Local Development Plan policies

Des 5 a) - Development Design

It is important that buildings are spaced far enough apart that reasonable levels of privacy, outlook, daylight and sunlight can be achieved. However, care should be taken that buildings do not become so far apart that the townscape becomes uninteresting. Therefore, achieving reasonable amenity needs to be balanced against achieving good townscape.

Trees have an effect on daylight and sunlight. This can be positive - for example, deciduous trees provide shading from the sun in summertime but let sunlight into buildings in winter. However, if buildings are too close to trees daylight can be adversely affected.

To achieve reasonable levels of daylight, windows must be big enough and interiors must be designed to a deep enough level that ensures daylight can penetrate within them. Reasonable levels of sunlight to buildings and spaces will be achieved if sufficient account is taken of orientation.

Edinburgh has a wealth of successful areas where good levels of daylighting, sunlight, privacy and outlook have been achieved. These can be used as a guide to the layout and form of new development. When comparing proposed new development against existing situations, scale drawings, showing layout including external spaces, building height and elevations should be provided along with the relevant calculations and methodology. It is the responsibility of the agent/applicant to ensure that this information is provided and that all affected properties are clearly shown and tested.

This section applies to all new development where these aspects of amenity are particularly valued including housing, schools, nurseries, hospitals and clinics.



Marchmont—Arden Street

These tenements manage to provide good levels of daylight to all the properties. This is a result of the high floor to ceiling heights and relatively large and tall windows which allow daylight to go deep into the rooms.



Gables—Haymarket Terrace

The upper floors of the modern office are set back from windows on the tenements' gable. This allows some daylight to reach the windows, but importantly maintains the street frontage.

Protecting daylight to existing buildings

New buildings should be spaced out so that reasonable levels of daylight to existing buildings are maintained. The layout of buildings in an area will be used by the Council to assess whether the proposed spacing is reasonable. When there is concern about potential levels of daylight, the Council will refer to the **BRE Guide, Site Layout Planning for Daylight and Sunlight – A Guide to good practice**. This shows how to measure daylight and sunlight. A copy is available to view at the Council’s Planning Helpdesk.

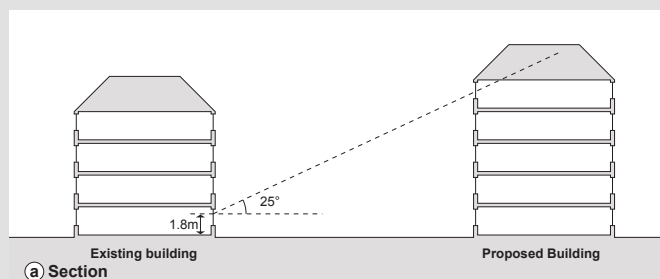
The amount of daylight reaching an external wall is measured by the Vertical Sky Component (VSC). The Council requires this to be more than 27% or 0.8 of its former value. If this is not the case, changes to the building design, including a reduction in building height may be required. 27% VSC is achieved where new development does not rise above a 25° line drawn in section from the horizontal at the mid-point of the existing window to be tested. It can be measured using more complex methods that are set out in the BRE guide.

If the townscape surrounding a development site would not meet these requirements, the Council may require information on the likely amount of daylight in affected rooms in existing buildings. This will be assessed using the Average Daylight Factor (ADF) methodology. It is expected the following criteria will be used for calculations:

Minimum ADF for bedrooms	1%
Minimum ADF for living rooms	1.5%
Minimum ADF for kitchens	2%
Transmittance of double glazing	0.65
Correction factor for dirt, curtains etc.	0.9
Net to gross area of window	0.7
Average reflectance of room surfaces	0.5

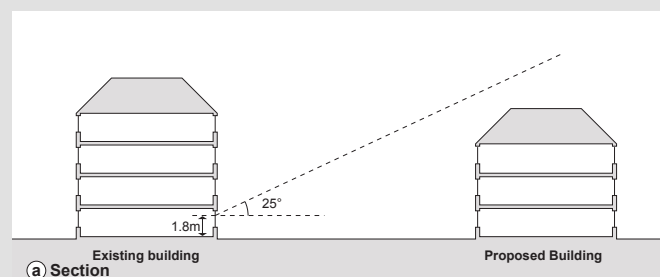
Daylight to bathrooms, stores and hallways will not be protected.

Daylight to gables and side windows is generally not protected.



25 degree method example 1

This situation may fail to provide reasonable levels of daylight to the existing building.



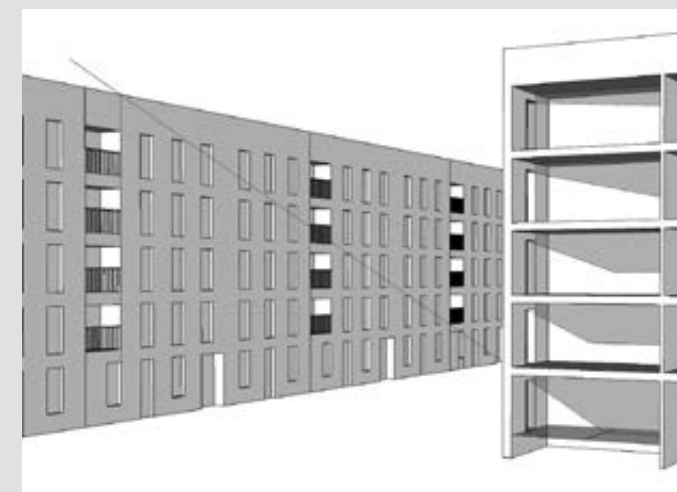
25 degree method example 2

This situation would provide reasonable levels of daylight to the existing building.

Providing daylight to new buildings

Another measure of daylight is known as the position of the “no sky line”. The BRE guide explains this in detail. If drawings can be provided that show that direct skylight will penetrate at least half way into rooms within new development at the height of the working plane (0.85m above floor) and where windows make up more than 25% of the external wall area, this will ensure that adequate daylight is provided to new development.

Providing adequate daylight to new development does not guarantee that adequate daylight will be maintained to existing development. This could be the case in instances where the existing building is lower.



No sky line method

The new development to the right of the image is positioned so that the sky can be seen within the front half of the room on the ground floor. This has been achieved by providing the ground level with a higher floor to ceiling height than the floors above.

Sunlight to existing gardens and spaces

New buildings should be laid out so that reasonable levels of sunlight are maintained to existing gardens and spaces.

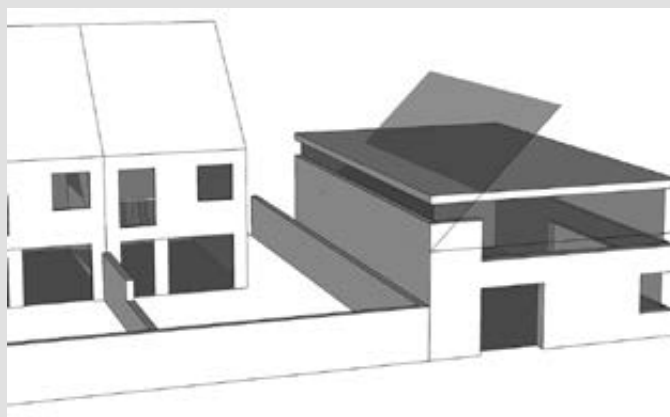
Whether sunlight to neighbouring gardens will be affected can be tested by checking whether a building rises above a 45° line drawn in section from the site boundary. If a development rises above this line, the sunlight of the neighbouring garden might be affected. To take account of orientation, draw the 45° line at the following distances above the ground level:

Orientation of boundary in relation to potentially affected garden	Height of 45° line above boundary
E	4m
SE	3.5m
S	2.8m
SW	2.3m
W	2m
NW	2.4m
	3.3m

The use of the affected area of the garden and the size of the garden as a whole will be taken into account when assessing whether any loss of sunlight is adverse. The sunlight of spaces between gables will not be protected unless the affected space is of particular amenity value in comparison with the remainder of the garden. Such a space may include one that has been designed with the house as a patio.

Note that these heights do not indicate whether a development will be acceptable when assessed against other considerations.

Where there is an established high quality townscape which in itself would not satisfy the requirements of the 45° method for sunlight (such as the Old Town) sunlight will be assessed using before and after plans showing shadows for each hour on 21 March. The qualities of the existing space and the effects of sunlight, both before and after will inform whether any loss of sunlight is considered adverse.



45 degree method for sunlight

This sketch shows a proposed development located on the north side of an existing garden. The sunlight to the neighbouring garden might be adversely affected because it rises above the 45 degree line set from 4m above the boundary.

Sunlight to new gardens and spaces

Half the area of new garden spaces should be capable of receiving potential sunlight during the spring equinox for more than three hours. This will be assessed using hour by hour shadow plans for each hour of 21 March.

Privacy and outlook

People value privacy within their homes but they also value outlook - the ability to look outside, whether to gardens, streets or more long distance views. To achieve both, windows should be set out so that direct views between dwellings are avoided.

The rearward side of development often provides a better opportunity for privacy and outlook than the streetward side of development. This is because on the streetward side, privacy to some degree is already compromised by the fact that people in the street can come relatively close to the windows of dwellings. Privacy is generally achieved in these situations through the installation of blinds, curtains and translucent glass, etc.

The pattern of development in an area will help to define appropriate distances between buildings and consequential privacy distances. This means that there may be higher expectations for separation in suburban areas than in historic areas such as the Old Town.

On the rearward side, as well as spacing windows far apart, reasonable levels of privacy can be achieved by setting out windows on opposing buildings so that there are not direct views between them, angling windows and erecting screens between ground floor windows. In assessing this, the Council will look at each case individually and assess the practicalities of achieving privacy against the need for development.

Though private views will not be protected, immediate outlook of the foreground of what can be seen from within a building may be. Unless there are exceptional circumstances, this means that new development that blocks out the immediate outlook of an existing dwelling must be avoided.

This guidance does not seek to protect the privacy of gables of existing housing.

2.11 Housing mix and size, and supporting facilities

Ensure there is a mix of dwelling types and sizes to meet a range of housing needs including those of families, older people and people with special needs.

Make sure the size of homes are adequate for the numbers of people that could be living there.

Provide adequate storage for general needs, waste and recycling, and bicycles.

Ensure the design of new housing is “tenure blind”.

A mix of unit sizes and housing types will have a positive impact on ensuring the delivery of varied and sustainable communities. This mix should respond to the differing needs of residents, immediate site conditions and citywide objectives. It is expected that within all developments of 12 or more units at least 20% of these units will have a minimum internal floor area of 91m² and should be designed for growing families. These will have direct access to private garden, from either ground or first floor level; enhanced storage and convenient access to play areas.

In larger development sites, the provision of facilities and services to support the existing and proposed community may be required. These may include local healthcare facilities, childcare facilities and meeting places. Commercial units may be needed, if these do not already exist in the area.

Affordable housing will be required in accordance with the policy in the Edinburgh Local Development Plan and associated guidance.

Local Development Plan policies

Hou 2 - Housing Mix

Hou 10 - Community Facilities

Page 525



Tenure blind housing at Gracemount—Fala Place

Here the market housing and affordable housing is integrated by using the same materials for buildings and street and designing the housing to have a similar appearance.

Housing mix

In schemes with 12 units or more, 20% of the total number of homes should be designed for growing families. These types of homes should have three or more bedrooms, have good levels of storage, have direct access to private gardens (for example via patio doors or private external stairs) or safe play areas for children, and have a minimum internal floor area of 91m².

In order to ensure satisfactory amenity, dwellings should not fall below the following minimum internal floor areas:

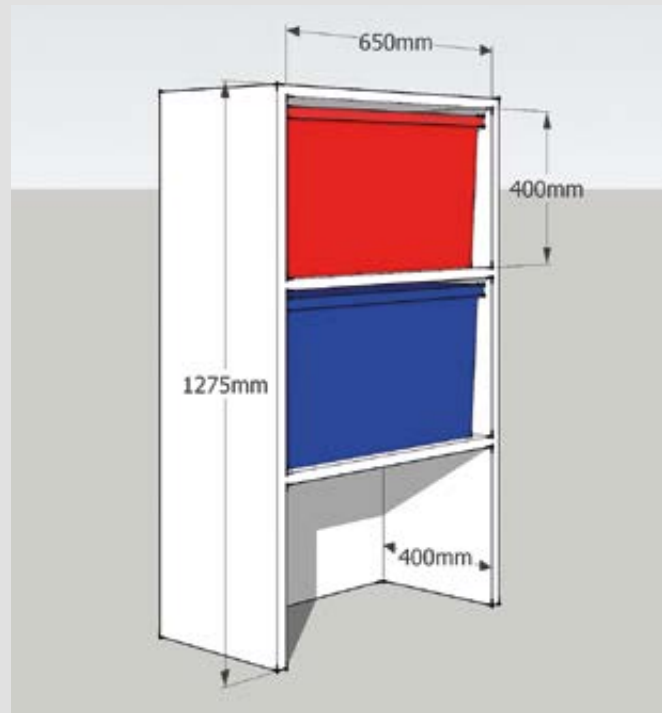
- 36m² Studio dwelling;
- 52m² One bedroom dwelling;
- 66m² Two bedroom dwelling;
- 81m² Three bedroom dwelling; and
- 91m² Three bedrooms or more with enhanced storage designed for growing families.

The minimum floor area for studios is lower than that for one bedroom flats since the relatively larger single open plan space found in studios compensates for having a smaller space overall. It is expected that studios will be designed to be very space efficient. Imaginative solutions are encouraged for storage, the location of the bed and so on.

Internal storage

At least 5% of the net floor areas should be provided as dedicated storage cupboards in addition to any kitchen storage or wardrobes. This storage is needed to allow homes to be used by a wide range of households.

Shelving should be built into storage areas within dwellings to accommodate at least three 55 litre storage boxes for recycling, (see diagram below).



Space for internal recycling

This drawing shows a potential way of providing storage for recycling boxes.

Improving internal amenity

In order to ensure a good standard of overall amenity for new development, single aspect dwellings should not make up more than 50% of the overall dwelling numbers. Where they are incorporated, it is important they meet the requirements for daylight and sunlight.

Generous ceiling heights of 2.6m high and above are encouraged in developments as these provide a greater sense of internal spaciousness. They also allow for enhanced adaptability to other uses and with higher window heads can provide enhanced daylight penetration into dwellings. Higher floor to ceiling and window head heights are important if the requirements for daylight are to be met.

Tenure blind design

Development should be tenure blind. This means that where sites provide a range of tenures (for example market sale and affordable housing) it should not be possible to see the difference between them.

Where a site is predominantly for market housing, it is expected that affordable housing should be provided in the same housing type. If the design is for houses for sale, the affordable dwellings should also be houses. Where it is not possible to deliver the same housing type, alternative types of the same physical scale should be used. For example, colonies, four in a block and cottage flats may integrate reasonably well with two storey houses.

Building form, materials and the general design of the building elevations will all be key components in determining whether or not a tenure blind development is achieved.

Technical guidance

The integration of ancillary facilities is important for small developments—such as those common in villa areas—as well as in larger developments. In addition to cycle parking (covered in Section 2.4), integration of facilities such as plant, including electricity substations and bins, needs to be considered from the outset of the design process.

Process for agreement with Waste and Cleansing Service

As part of the planning process, designers / developers must engage with the Council's Waste and Cleansing Service to agree a waste management strategy for the development, and ensure that their requirements can be satisfactorily incorporated within the design. This must happen as early as possible.

The officer in the **Waste and Cleansing Service** will talk you through their requirements (i.e. vehicle tracking drawings for refuse vehicles and the location and sizes of waste storage spaces) and the Instructions to Architects document. Once agreement has been made, Waste Services will issue a letter of agreement detailing this and any further requirements.

Key points for consideration:

Your waste management strategy must ensure that:

- Bins are safely accessible and the collection system is operationally viable, taking into account swept path analysis, walking and pulling distances, slopes, vehicle sizes, access to bin stores, interactions with pedestrians, etc;

- The waste management strategy is compliant with the Council's policies and the requirement of Scottish legislation so that provision is made for the full range of recycling services and that these are fully integrated into the collection system (e.g. that each bin store has sufficient space to accommodate the full range of bins);
- A decision is made regarding the use of individual or communal bins, the initial supply for these and their ongoing maintenance; and
- That arrangements are in place to allow for the ongoing maintenance and repair of bin stores, bin housings, etc.



1280 litre recycling bins.

Sizes and bin types:

Waste and Cleansing Service will advise you whether individual or communal bins should be used. A range of bin types may be employed from kerbside collection boxes for glass and some other materials right up to 3200 litre communal bins. The Waste and Cleansing Service will advise on the capacities required to provide for each waste stream, the detailed design requirements for bin stores etc.

The specific materials which are currently collected from households, and in compliance with Scottish legislation are:

- Residual (landfill waste);
- Food;
- Glass;
- Mixed recycling; (including paper and card, cans and foil and mixed plastics)
- Garden waste (kerbside collection areas only); and
- Small electricals, batteries and textiles (collected in the glass collection box in kerbside collection areas only).

In addition to ensuring that there is sufficient space for all collection streams, and that containers are stored off-street, considerations should also be given to arrangements for the management of bulky waste—for example where householders should present bins on collection day.



Underground bins for residual waste allow large volumes to be held with minimal impact on the street scene. It is important that the Council's Waste and Cleansing Service are involved early, as their requirements may impact on the design.

2.12 Purpose built homes for rent

The 'Build to Rent' (BTR) sector has the potential to make a positive contribution to the overall housing mix in Edinburgh.

Proposals should support regeneration and fulfil placemaking principles.

BTR developments are considered as a strand of mainstream housing and relevant Local Development Plan policies and guidance apply.

Design should be place specific, high quality, innovative and energy efficient.

Shared on-site facilities should be high quality, accessible and safe.

A flexible approach to current internal amenity standards may be acceptable depending on the quality of the accommodation and facilities provided.

Local Development Plan policies

- ***Des 5 - Development Design***
- ***Hou 2 - Housing Mix***
- ***Hou 6 - Affordable Housing***

The Private Rented Sector continues to be a key provider of homes throughout the city.

Recent innovations in this sector have seen the emergence of purpose built accommodation for rent, also referred to as Build to Rent (BTR), which offer high quality professionally managed homes

under single ownership with shared facilities that can be delivered rapidly. Private Rented Sector accommodation of this nature can also include the conversion of existing buildings where the BTR 'model' can be incorporated.

BTR developments are considered as a strand of mainstream housing and where relevant LDP policies and guidance apply including those relating to parking, open space and affordable housing.

Build To Rent model

BTR developments are generally characterised by the following key elements:

- Single ownership and professional on-site management;
- Self-contained units which are let separately;
- High quality amenities for communal use;
- Longer tenancies offered with defined in-tenancy rent reviews; and
- Property manager who is part of an accredited Ombudsman Scheme and a member of a recognised professional body.

Due to the nature of these developments and especially where flexibility has been sought against the Council's internal amenity standards (refer to 'Design Approach'), the retention of the homes for rent for the long term should be explored and secured via an appropriate method to be agreed between the Council and the developer.

Design approach

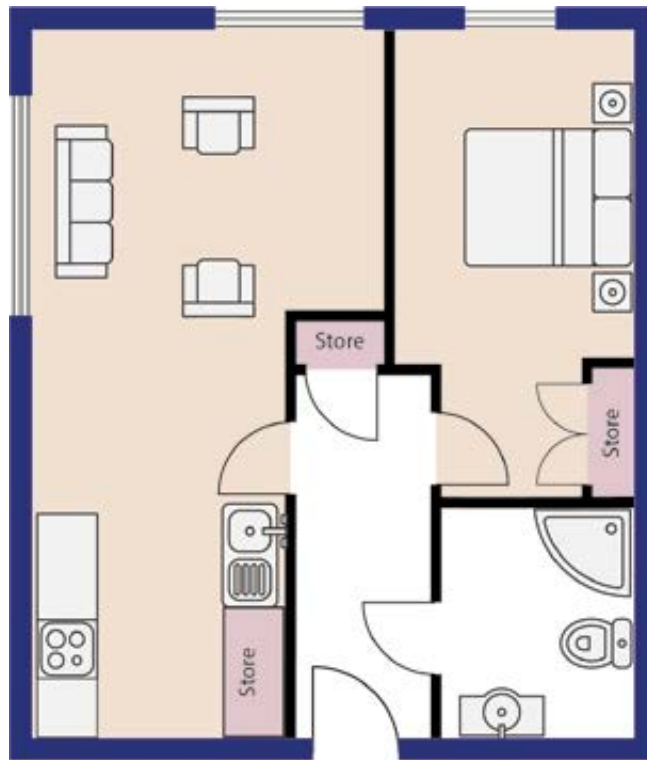
In BTR developments there tends to be key differences in their design which may justify a more flexible approach. This specifically relates to the standards for minimum internal floorspace and the quantity of single aspect units (see section 2.11.)

The key design differences with BTR developments compared to other general housing types are usually as follows:

- Provision of high quality, professionally managed accessible on-site shared facilities ie. communal gathering spaces, secure storage as well as storage within units, workspaces and gyms;
- Efficient design technologies which reduce the requirements for non-habitable space (ie. lobby areas) within units; and
- Open plan layouts, partly as a result of the reduction in non-habitable space, which increase useable space and allow light to penetrate more deeply into the units. This may justify a limited increase in single aspect units over the standard 50%. However developments should still be designed to facilitate a substantial quantity of dual aspect units.

Flexibility will only be applied to the standards in exceptional circumstances and will be dependent on the quality of the development. Any deviations from the standards needs to be fully justified and will be determined on a case by case basis. The diagram overleaf gives an example of where flexibility may be justified.

This diagram shows how flexibility may be justified against the floorspace standards subject to design efficiencies and the provision of shared facilities as part of the overall development, which may offset any loss of floorspace (both habitable and non-habitable). A 1 x bed unit should achieve a minimum internal floorspace of 52m² with at least 5% of the net floor area as storage. This example shows that with the removal of the lobby, an additional 3m² habitable space is achieved along with 0.4m² additional storage space, despite the reduction in overall floorspace of 4m².



Traditional 1 bedroom flat

- 52 m² total floorspace
- 34 m² habitable space
- 2.6 m² storage



1 bedroom flat minus lobby

- 48 m² total floorspace
- 37 m² habitable space
- 3 m² storage

Not to scale

Developer Contributions

Developer contributions will be applied towards the provision of services, works and facilities as the Council may, in its reasonable discretion, determine are required in connection with BTR developments in accordance with the Local Development Plan and associated guidance.

BTR developments will be expected to provide 25% affordable housing on site. Affordable homes within BTR developments should be tailored to meet the greatest housing need and preferably should be owned or managed by a Registered Social Landlord.

The rental levels, conditions of tenure and the length of time that the units will remain affordable will be subject to agreement between the Council and the developer.

2.13 Community safety

Create active frontages directly onto important streets and publicly accessible routes and spaces.

Provide main door access to ground floor properties from street side.

Ensure all external spaces including pedestrian and cycle paths are overlooked.

Use lighting to help community safety.

Local Development Plan policies

- *Des 5c - Development Design*
- *Des 7 - Layout Design*

The design of development has a key role to play in community safety. If buildings overlook and provide direct access to streets people feel safer. Active frontages, where the ground floor is designed to allow visual contact and pedestrian movement between inside and out, ensure that this is achieved.

Lighting can make a very positive contribution to the security of the external environment. To ensure the overall quality of the design, lighting should be integrated into the design from the outset and considered with the Road Construction Consent application.

The Council will refer all major planning applications and local developments that have particular security issues to the **Police Architectural Liaison** service for their comments. Developers are encouraged to make early contact with the Police Architectural Liaison service.

Secured by Design is the Police's initiative to design out crime in the built environment. This has many benefits. However, sometimes there can be a conflict between the needs of Secured by Design and planning requirements. It is important that these matters are understood early in the process so that they can be addressed without compromising the design as a whole. Meeting the needs of Secured by Design should not be at the expense of the overall quality of the external space within the site.



Active frontages and housing—Forbes Road

Traditional tenements (above) have main doors directly into ground floor flats which maximises activity on the street and help ensure front gardens are used.



Active frontage on a supermarket—West Port

This image demonstrates that it is possible to create an active frontage for uses such as supermarkets. This has been achieved by arranging shelves and counters perpendicular to windows so allowing views into the shop.

3. Designing places: landscape, biodiversity and the water environment

This chapter sets out the Council's expectations for landscape proposals as part of new development and how biodiversity should be maintained and enhanced. In order to achieve good design, landscape architects should be engaged early in the design process. It also sets out the Council's expectation with reference to the water environment.

The key aims are for new development to:

- Create a robust landscape structure as an integral component at all scales of development, which follows green infrastructure and green network principles.
- Meet the requirements of the Council's strategy for public open space and provide residential private gardens.
- Maintain the conservation status of protected sites and species, and enhance, connect and create new habitat.
- Protect trees and woodland and provide new tree planting.
- Ensure that hard landscape and car parking are an integral part of the overall design.
- Design developments to ensure that properties are not at risk of flooding from coastal waters, rivers, culverted rivers, or surface water flooding.
- Integrate Sustainable Urban Drainage Systems into the landscape design of development to reduce flooding and pollution, provide biodiversity benefits and create beautiful places.
- Ensure a mechanism is put in place for the establishment and long term maintenance of new landscape areas.

3.1 Green infrastructure and green networks

Establish a robust framework of multifunctional green infrastructure in new developments of all scales, and connect this to the wider network of open spaces, habitats, footpaths and cycleways beyond the site boundary.

Local Development Plan policies

- Des 2 - Co-ordinated Development
- Des 3 - Development Design
- Des 5 - Development Design
- Des 7 - Layout Design
- Des 8 - Public Realm and Landscape Design
- Des 9 - Urban Edge Development
- Des 10 - Waterside Development
- Env 10- Development in the Green Belt and Countryside
- Env 12 - Trees
- Env 13 -15 - Nature Conservation Sites of International/National/Local Importance
- Env 16 - Species Protection
- Env 18 - Open Space Protections
- Env 19 - Protection of Outdoor Sports Facilities
- Env 20 - Open Space in New Development

A green network is formed when green infrastructure components are linked together to give additional combined benefits. Components can include:

- Green corridors;
- Watercourses;
- Woodland;
- Tree belts;

- Habitats;
- Parks, play areas and other public open spaces;
- Sustainable Urban Drainage Systems (SUDs);
- Green roofs/walls;
- Active travel routes; and
- Street trees, hedgerows, verges.

Ideally a network of multifunctional greenspaces should run through the urban area, urban fringe and wider countryside, creating a high quality landscape and townscape. This should support new access and recreational opportunities, incorporating flood management, enhanced biodiversity and habitat linkages. Multi functional green spaces can promote healthier life styles through increased walking and cycling opportunities and creating spaces for food growing and restorative outdoor activity.

Delivery of such a network is consistent with the development of the **Central Scotland Green Network** and can support a healthy urban ecosystem based on natural processes. Green infrastructure and green networks also make an important contribution to climate change adaptation and mitigation.

The Local Development Plan identifies Edinburgh's established Green Network, comprising greenspaces distributed across the city's hills, neighbourhoods and waterfront. These are connected by wooded river valleys, disused rail corridors, the Union Canal and frequented paths.

The Local Development Plan identifies proposals to improve connections within the urban area, the surrounding countryside and neighbouring Council areas. It is complemented by **Open Space 2021**, the Council's Open Space Strategy, which defines standards and actions to improve access to good quality greenspace across the urban area.



Large public open space—Braidburn Valley Park

This public park is a major component of the green network.

The Scottish Government's **Green Infrastructure: Design and Placemaking guidance** illustrates how green infrastructure can be integrated within new developments during the design process.

An understanding of a site's current and potential contribution to the green network should inform decisions on scale, location and layout. The way in which this has been considered in the placemaking process should be explained in the Design Statement/ Design and Access Statement.

Development should be carefully designed to contribute positively to the expansion of green networks. All proposals will be assessed in terms of their consideration of connectivity between green infrastructure components and their contribution to national and local green network and open space objectives.

Regard should be given to linking development sites with Edinburgh's network for nature, making links to habitats found in local nature reserves, local nature conservation sites and the **Edinburgh Living Landscape**.

Technical guidance

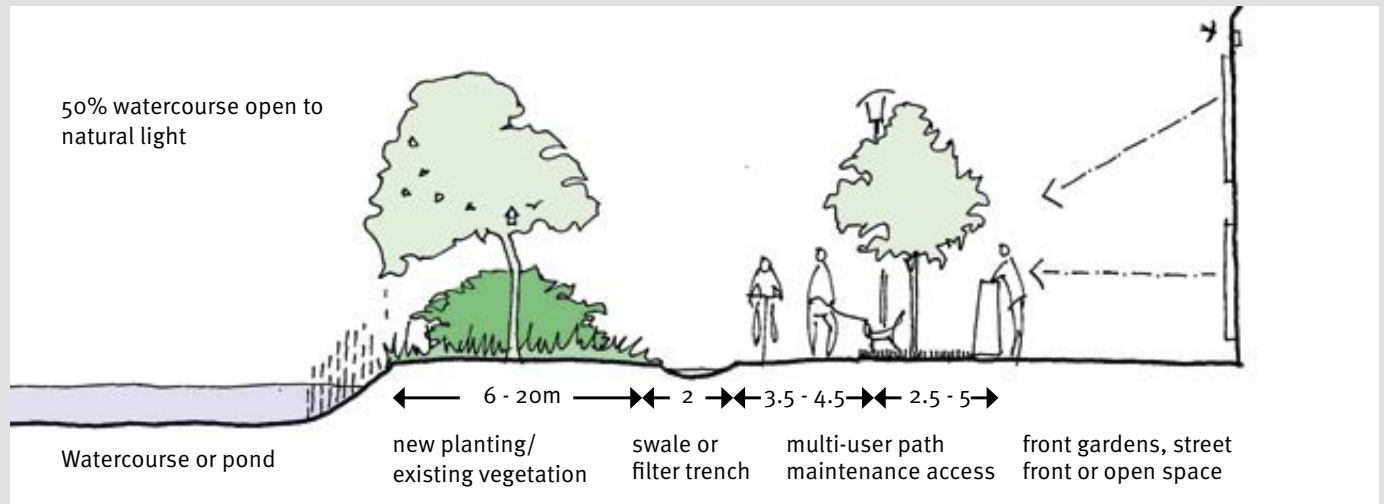
These sketches illustrate how green networks can be integrated within a range of development scenarios and at different scales.

The Council supports substantial framework planting that seeks to integrate and connect multi-functional green infrastructure features as guided by site specifics and local landscape character.

Masterplans will require adequate space for large growing native tree species to achieve maturity and form woodland habitat, provide a secure setting to multi-user paths, cater for active travel, a variety recreational uses within open space, incorporate SUDS, whilst allowing integration with the street layout and built form. In urban edge situations, a landscape edge will also be required to integrate development with the surrounding countryside and landscape setting of the city.

These provisions can vary in width depending on the development scenario but for some major developments spatial parameters of 30-50m may be necessary to accommodate a full range of green infrastructure functions.

If buildings are proposed close to a watercourse, a full appraisal of flooding scenarios is required (see [section 3.8](#)) and early discussions with the Council's Flood Risk Unit. Buildings proposed on brownfield sites, adjacent to water courses except in exceptional circumstances, require at least a 15m setback to create opportunities to reinstate natural bank sides.



Blue Networks

Green networks can be aligned with watercourses or permanent (retention) ponds or detention areas providing for Sustainable Urban Drainage, to enhance existing wildlife habitat, whilst providing for amenity, recreation and active travel. New development should provide active frontages to main path routes, open spaces and SUDs features.

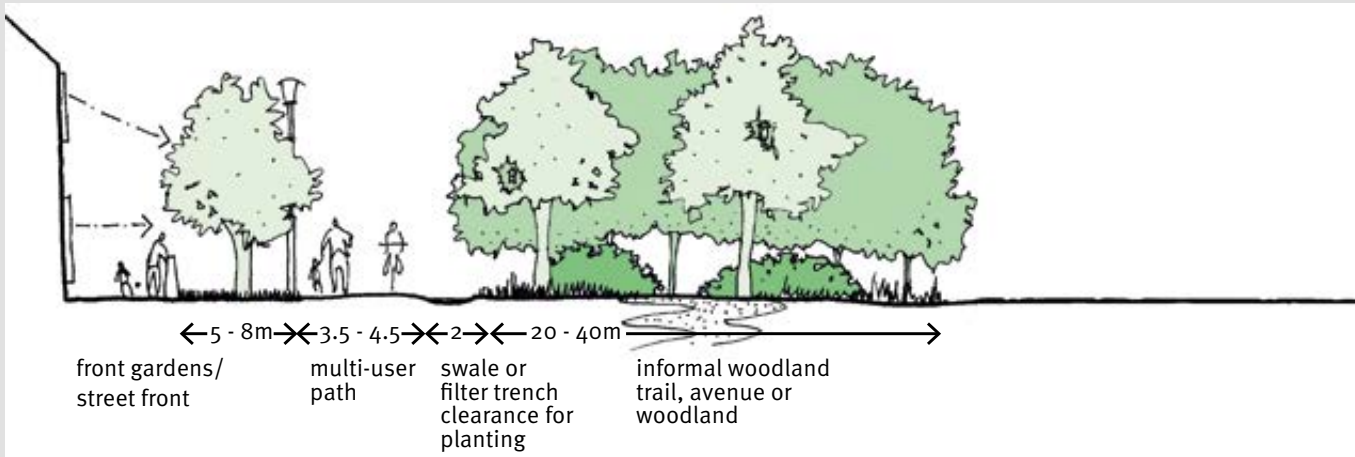


Water of Leith Walkway

Access and amenity improvements carried out at The Dene, between Dean Terrace and Mackenzie Place, within the New Town Conservation Area.

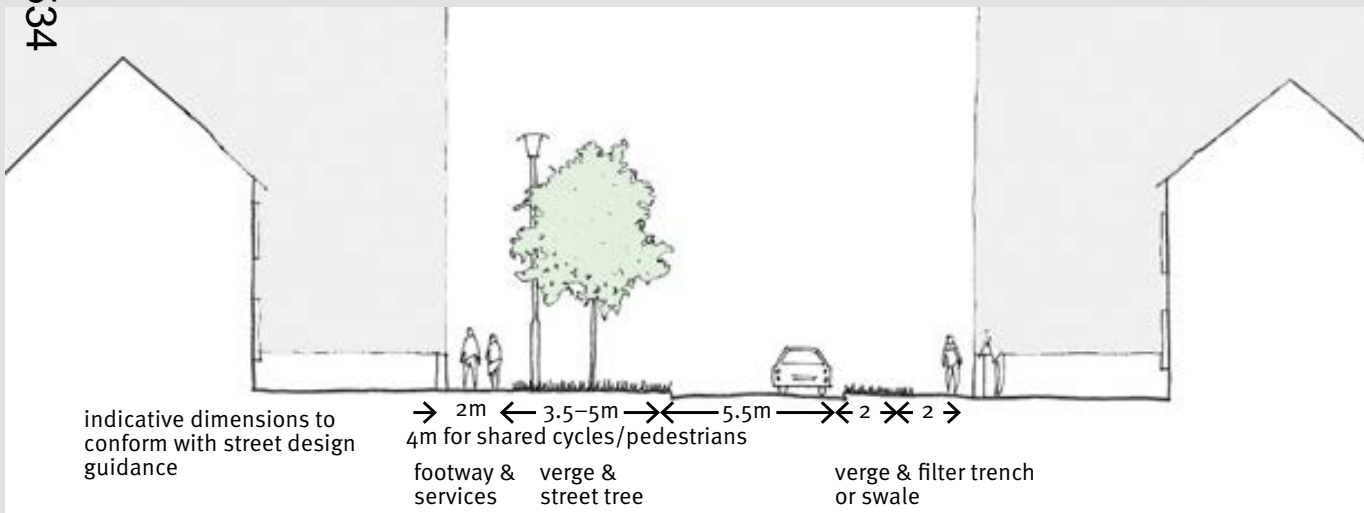
In order to promote natural bankside conditions, only riverside walls with significant archaeological value should be retained. Other retaining walls should generally be replaced with soft engineering solution. In areas of historic importance mitigate the potential for natural banks by the use of other methods such as reducing the top part of the wall to provide a wetted bank or cladding on the retaining wall to provide some riverine habitat with tree planting to provide habitat connectivity.

Technical guidance



Green Corridor

The density and type of planting is suited to the urban situation and parkland context. Where a rural context exists at the urban edge, native woodland may achieve a more appropriate fit with surrounding landscape character whilst providing shelter for new development.



Green Street

The incorporation of trees and other planting within street design should be considered alongside the spatial parameters for movement and access - including visibility, services, lighting, the proposed approach to sustainable urban drainage and the intended density and spatial definition of the proposed built form.



North Meadow Walk

North Meadow Walk footway and cycleway, providing for recreational use and active travel. The route is lined with large growing tree species, includes nesting boxes and is set within a broad grass verge. The path is lit and surveillance is provided from surrounding residential dwellings.



Forrest Road

This street extends the tree lined avenue of Middle Meadow Walk to George IV Bridge.

3.2 Publicly accessible open space

Ensure homes are within walking distance of good quality and well designed open space.

Provide new publicly accessible and useable open space in non-residential development.

Local Development Plan policies

- Des 5c - Development Design
- Des 7 - Layout Design
- Des 8 - Public Realm and Landscape Design
- Env 18 - Open Space Protections
- Env 19 - Protection of Outdoor Sports Facilities
- Env 20 - Open Space in New Development



New local greenspace, Lochend

The Council's Open Space Strategy sets standards to ensure that all communities have access to quality greenspaces, which cater for a variety of needs and ages.

Local greenspace standard:

Local greenspaces close to homes play an important role in how people feel about their neighbourhood and offer convenient spaces for everyday enjoyment of the outdoors.

They can be important places to meet neighbours, havens for wildlife, spaces to play after school or enjoy on a walk to the shops.

All homes should be within 400 metres walking distance (equivalent to a five minute walk) of a 'good' quality, accessible greenspace of at least 500 square metres.

In new housing developments, good quality local green spaces should support health and well-being by providing useable outdoor spaces as well as looking attractive.

Spaces should have surfaced paths linked to the surrounding area, provide features to attract wildlife, incorporate seating or walling, cycle parking and waste bins, fruit trees and raised beds for community growing and provide a safe and stimulating place for unequipped play.

Urban tree planting and the use of hedges and shrub planting should be considered to define spaces and create appropriate shelter and shade. Areas of open grass should be balanced with the use of herbaceous perennials and bulbs to create year round interest.



Small open space in the the Old Town—Trunk's Close

It makes good use of its constrained site and provides an attractive green setting for surrounding buildings.

Local greenspaces can be complemented by drainage features, such as grass or planted swales and rain gardens. Where it is proposed that part of a local greenspace should be used to accommodate below ground surface water storage, there should be no impact on the quality or use of above ground space e.g. through restricting locations for tree planting or the need for inspection chambers.

Good quality local green spaces should complement the provision of private gardens for new houses, blocks of flats, garden flats and communal back greens.

Large greenspace standard:

Every neighbourhood should benefit from a large park to provide space for the whole community to enjoy their free-time. It is a place to exercise and play informal ball games; walk the dog or go for a run; come together for local events; watch wildlife and scenery through the seasons; and experience natural open space.

All homes should be within 800m walking distance of a good quality accessible greenspace of at least two hectares.

Where possible, new large greenspaces should incorporate existing built, cultural and natural features, including skyline views to celebrate distinctive local characteristics (Section 1.8). The overall size and form of parkland should, therefore, respond to the topography and the opportunities of the site.

The provision of facilities should ensure that spaces are well used, lively, safe and resource efficient by delivering multiple benefits; in particular providing an uplifting place to support daily self-management of physical health, including opportunities to participate in group activities.

Larger greenspaces should meet local greenspace needs, through the provision of sheltered community garden areas with seating and cycle parking, as well as larger scale features appropriate to their size.

New parkland provides the opportunity to create a landmark feature, including woodland and forest scale trees; provide well drained, level ground for community events, markets, informal ball games, outdoor learning and exercise activities; measured walking and running circuits, with links to the

wider green network, and integrate orchard and allotment provision. Further details can be found in the *Council's Allotment Strategy* and *Scotland's Allotment Design Guide*.

Grassland management approaches may include a mix of close mowing, naturalised grass or meadows. The use of planted swales and the location of surface water storage basins alongside and in addition to new parkland, can bring amenity and biodiversity benefits, by creating wetland habitat and introducing open water as a feature of the landscape.

Path surfaces, within greenspace, should be appropriate to context and are an important factor to encourage the use of the outdoors.

A grass edged multi-user path with Macadam wearing course will generally provide the most robust long-term solution, providing access for all including wheelchair users and pushchairs. This can be enhanced by the use of rolled stone chips. Bound gravel may be suited to local greenspaces or feature spaces. Whin dust paths will generally only be acceptable in semi-natural settings, subject to appropriate build up, drainage and ongoing maintenance.

The relationship of new parks to homes, schools, other public buildings and commercial uses can help put open space at the centre of community life and provide options for refreshment and use of conveniences. New greenspaces should be directly overlooked from key living spaces such as lounges and kitchens and never blank facades.



Aerial view of Broomhills Park (Barratt East of Scotland Ltd)

Forth Quarter Park

Forth Quarter Park was developed for National Grid Property Ltd as part of the Granton Waterfront master plan to remediate the former gas works.

This distinctive seven hectare park is bordered by a mix of uses including office accommodation to the east, Edinburgh College's Granton campus, and the established communities of Granton, Pilton and Muirhouse, together with new homes being developed at the Waterfront.

The park links the North Edinburgh paths with the promenade at Silverknowes to the west, via a meandering route through this key urban greenspace.

Long close to the Firth of Forth, the park provides views from the city to the coast and a backdrop of hills within Fife.

A central water feature is crossed by bridges and a waterside walk including decking was formed by de-culverting the Caroline Burn.

The east end of the park is where the water feature terminates at a new public square and terraced viewing platform in front of the Scottish Gas headquarters.

New planting including 800 birch trees, 15,000 shrubs and new grassland arranged in a series of undulating terraces, surrounding the water feature, creates wetland and marginal habitats.

The park also incorporates Lime trees, which are remnants of the grounds of Granton House.



Playspace access standard:

Edinburgh's vision is to achieve a 'play friendly city, where all children and young people can enjoy their childhood.'

Parks and other large green spaces provide the ideal setting for good quality equipped play spaces. Play is vital to help children learn how to get along with each other and keep healthy.

The Council's Open Space Strategy sets out the playspace access standard and is linked to the **Play Area Action Plan**. Houses and flats should have access to at least one of the following:

- a space of good play value within 800m walking distance;
- play space of very good play value within 1200m walking distance; and
- play space of excellent play value within 2000m direct distance.

Play Value measures the quality of play area design and layout, together with a range of play activities on offer to ensure children receive the right balance of risk and challenge in order to develop physical and social skills.

In addition to equipped play spaces, new green spaces and residential streets should be designed to encourage more 'free play' without equipment. Exploring woodland, meadows or running up and down slopes can provide ways for children to develop their creativity and imagination.



New play area at Burnbrae Drive meets 'good' play value.

All residential developments should contribute towards these standards by providing publicly accessible open space on site. Where this is not possible, contributions may be sought for the improvement of open space within the area.

Non-residential development will also be required to provide new open space, justified by the scale of development and the needs it gives rise to.

Quality in new greenspace and play areas should be ensured by planning for these elements of green infrastructure as an integral element of place making from the start of the planning process. New greenspace provision should be informed by an understanding of local community needs, including



Terraced slopes and shared surface 'home zone' street at Gracemount.

health and wellbeing and establish the necessary framework for new neighbourhoods to thrive.

Making provision for facilities such as community gardens, growing spaces, orchards, woodlands and allotments within new greenspaces can allow both new and existing communities to have a greater influence on how places develop over time, strengthen bonds and contributes to the sustainable management of the city's greenspace resources.

The design of new open space provision will be assessed against Local Development Plan policies relating to Design and the Environment. Play area design must achieve the play value requirements set out in the Council's Play Area Action Plan.

3.3 Private open space

Provide well defined, functional, good quality private gardens to all houses and ground floor flats.

Local Development Plan policies

- *Des 5d - Development Design*
- *Hou 3 - Private Green Space in Housing Development*

There should be a clear distinction between public and private spaces, defined by appropriate boundaries such as walls, railings or hedges both to the street edge and between feus.

Private and communal gardens should be designed for use by residents for a range of functions, including space for play, seating, food growing, tree planting and drying laundry. Outdoor taps and/or rainwater harvesting may be needed.

Wooden fencing can be used to separate private back gardens, but should not be used in the public realm. Consideration should be given to different heights of fencing to allow the communication between neighbours and to add some visual interest.

A key factor in ensuring space is usable is its capacity to receive sunlight. This will be affected by the position of existing and proposed buildings, as well as tree planting.

The Council wants new development to be adaptable. To help meet the changing needs of residents, it is beneficial for there to be sufficient space in gardens for houses to be extended while retaining reasonably

sized gardens. Developers should demonstrate how this can be achieved.

Ground floor flats should generally be provided with private gardens of a minimum depth of 3m, which open directly on to communal gardens. Where this is not the case, patio doors and a defined threshold space should be provided.



A clear distinction—Marchmont

It is clear what is public and private space in traditional tenements. The buildings enclose shared gardens making them private. At the front, the walls and hedges separate the public street from the private gardens.

Private front gardens have an important role in softening urban environments by providing planting on streets. They also provide an intermediate space between the public realm and the privacy of dwellings. The impact of driveways on the continuity of boundary treatments and street tree planting should be considered. (Note: relationship to parking section and definition of private front gardens/thresholds).



Little private space can be successful—Lady Stair's Close

There is very little private outdoor space in the Old Town. This is compensated by the outstanding quality of the public spaces in the form of closes and courtyards.

Technical guidance

Where private gardens cannot be provided or where their depth is limited (for example less than 3m), there will be a greater need for street trees to be provided.

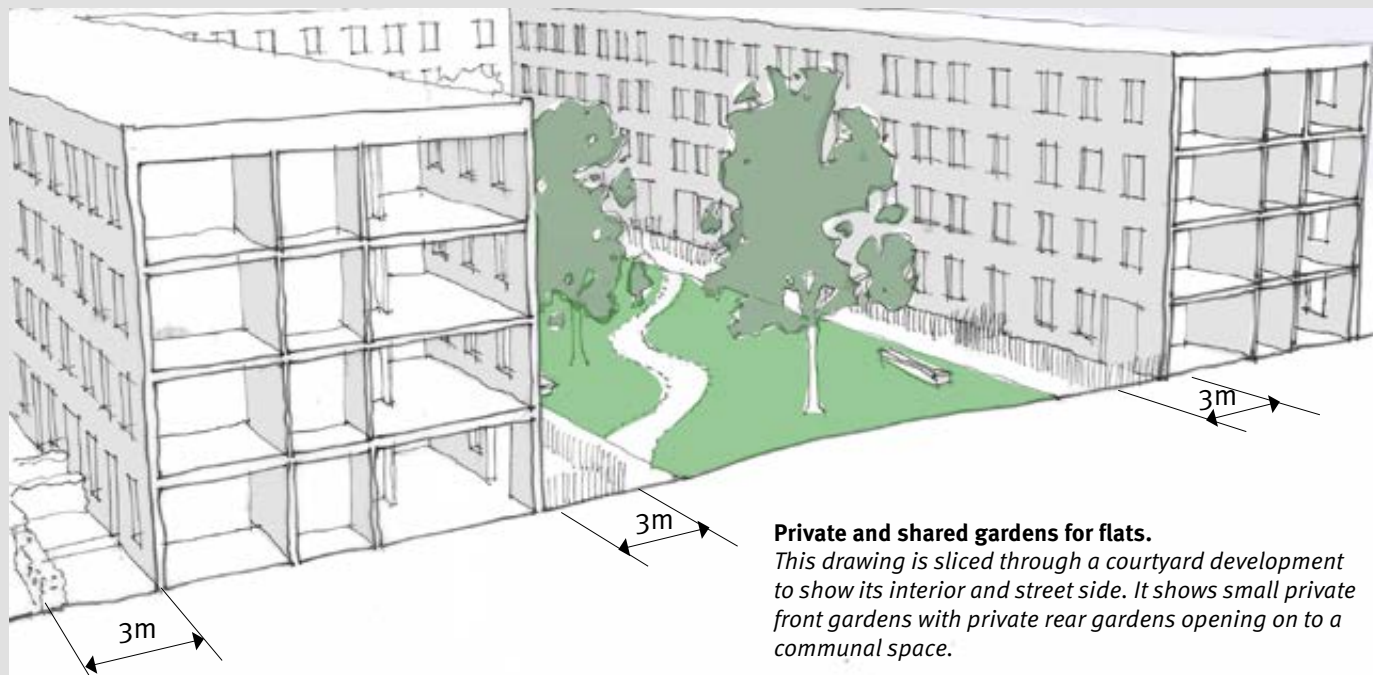
Private communal grounds should be well proportioned, well orientated and secluded from vehicles. Narrow peripheral spaces, subject to overshadowing will not be acceptable. Residents should not normally have to cross streets and car parking to access private communal greenspaces.

Where it is difficult to achieve the areas normally required for private open space - for example, because of a need to adhere to a spatial pattern in an area, the inclusion of balconies or roof terraces may be seen as a mitigating measure. Where they are included, it should be demonstrated that they will benefit from adequate sunlight or have an outstanding view, preserve reasonable privacy and have an area that is not less than 5% of the net floor area of the dwelling.

The size of gardens can contribute to the character and attractiveness of an area. This is particularly the case in villa areas. Gardens of a similar size to neighbouring gardens are likely to be required in order to preserve the character of the area.

Residential Homes and Care Homes

Particular attention should be paid to the orientation of care homes and long term residential homes. Residents should be able to access a garden space that is attractive, welcoming, well lit by natural light throughout the year, and which allows a circuitous walking route to be created.



The length of private gardens

Gardens should be designed to allow houses to be adapted and extended over time. This means that gardens longer than 9m are encouraged. Gardens in the centre of the picture are longer than 9m allowing the houses to be extended. Excessive changes in level should not be taken up across private back gardens. Where housing is set out across sloping ground, useable terraced space should be provided. Additional space is also required in gardens where there is insufficient natural sunlight. North facing gardens should be longer to compensate for this.

3.4 Biodiversity

Maintain the integrity of Sites of European, National or Local Importance for biodiversity and geodiversity.

Conserve protected species and the habitats which support them.

Survey and assess development sites in terms of biodiversity.

Design sites to allow the development of varied and robust ecosystems.

Local Development Plan policies

- *Des 3 - Development Design*
- *Des 10 - Waterside Development*
- *Env 13 - Nature Conservation Sites of International Importance*
- *Env 14 - Nature Conservation Sites of National Importance*
- *Env 15 - Nature Conservation Sites of Local Importance*
- *Env 16 - Species Protections*

In Scotland, it is the duty of every public body and officer, in exercising any function, to further the conservation of biodiversity so far as is consistent with the proper exercise of those functions (part 1, section 1, The Nature Conservation (Scotland) Act 2004). Every public body is now required to have regard to both the Scottish Biodiversity Strategy and the UN Convention on Biological Diversity.

Although it is important to safeguard – or enhance – Priority Species, it is often the commonplace birds and plants that are important in a local context. Nationally there is a decline in Song Thrush populations and the once-common Tree Sparrow and Starling are now rare in some locations. ‘Improved habitats’ can be as important as untouched ones. Urban areas offer a rich mosaic of habitats suitable for an unexpectedly large variety of wildlife. This can be continually enhanced through careful design. Buildings have replaced the original cliff-top haunts of species such as Swift and House Martins; older housing provides cave-like roofs for long-eared Bats and modern properties are ideal for Pipistrelle bats; some industrial buildings offer nesting sites for Kestrels, Barn Owls and Peregrine Falcons. Buildings themselves, plus walls and bridges, can all support Bats, Bees, Beetles and Lichens.

Sites protected for nature conservation and geodiversity are identified on the Local Development Plan Proposal Maps. These include international and national designations, such as Special Protection Areas and Sites of Special Scientific Interest and local designations such as Local Nature Reserves and Local Nature Conservation Sites.

There is a strong presumption against development that will affect protected sites. Any proposal will have to meet strict policy tests to ensure the protected site integrity is not affected. In the case of internationally protected sites such as Special Protection Areas and Special Areas of Conservation, this may include long periods of survey work to inform the ‘strict policy test’ and Habitats Regulations Appraisal (HRA).

See the technical guidance for a list of relevant legislation.

Protected species

European protected species (EPS) include bats, otters and great crested newts. They are legally protected and it is a criminal offence to disturb, injure or kill them; or to damage or destroy their resting or breeding sites. If we consider that a development proposal is likely to affect a EPS, then the applicant will be required to carry out a survey to identify impacts and avoid, remedy or reduce them. If impacts cannot be avoided and an offence is likely to be committed, then a protected species licence is required from Scottish Natural Heritage (SNH) to enable the proposal to proceed. Both SNH and the Planning Authority must be satisfied that the proposal will pass three tests laid out in the Habitats Regulations 1994. A license will not be issued unless planning consent is given.



Soprano pipistrelle bat (*Pipistrellus pygmaeus*). Image: SNH/Lorne Gill

Other species are protected by UK law. These include badgers, water voles, breeding birds and all protected species are a material consideration in the planning process.

More information on European and other protected species, survey work and relevant licenses is available from the [Scottish Natural Heritage website](https://www.scotland.nhs.uk/scottish-natural-heritage-website)

European Protected Species (EPS) and Licensing Requirements

There are three strict legal tests which must all be passed before a licence can be granted.

In summary these are:

- Test 1: that there is a licensable purpose. (i.e. that the license is required for ‘preserving public health or public safety or other imperative reasons of overriding public interest including those of a social or economic nature and beneficial consequences of primary importance for the environment; SNH provides more detailed guidance on Test 1 at: [snh.gov.uk/docs/B896394.pdf](https://www.scotland.nhs.uk/scottish-natural-heritage-website/docs/B896394.pdf).
- Test 2: that there is no satisfactory alternative; SNH provides more detailed guidance on Test 2 at: [snh.gov.uk/docs/B896418.pdf](https://www.scotland.nhs.uk/scottish-natural-heritage-website/docs/B896418.pdf)
- Test 3: that the action authorised will not be detrimental to the maintenance of the population of the species concerned at a favourable conservation status in their natural range.

Qualified ecologists should be able to provide advice on this or alternatively advice can be obtained from Scottish Natural Heritage For more information on the three species licencing tests, the Scottish Natural Heritage website provides a detailed

explanatory text about these tests:

[snh.gov.uk/protecting-scotlandsnature/species-licensing/](https://www.scotland.nhs.uk/scottish-natural-heritage-website/species-licensing/)

Site assessment and survey requirements

Proposed development sites may include features of natural heritage interest, or protected sites and /or species. An initial assessment of value must be made to establish whether further surveys are required. The process for deciding if this is necessary is :

- 1 A preliminary desk-based study to collect all existing ecological data about the site; and
- 2 An Extended Phase 1 Habitat Survey to understand the ecology on site and the implications of the proposed development.

This will help identify what habitats are present, the protected species that they may support, further survey requirements, site constraints and potential mitigation. This information will inform site design.

Protected species surveys must follow established best practice and must be done at the correct time of year. Applications can be delayed if a survey season is missed. For example, bat survey work should comply with the Bat Conservation Trust publication **“Bat Surveys: Good Practice Guidelines”**.

Biodiversity Duty and the Edinburgh Biodiversity Action Plan

The Nature Conservation (Scotland) Act 2004 places a duty on all public bodies to further the conservation of biodiversity. Local planning policy requires new development to demonstrate protection and enhancement of biodiversity. The

Edinburgh Biodiversity Action Plan (LBAP) contains local actions for the conservation of habitats and species. Aligning the design of the development with LBAP objectives is one way of meeting this policy requirement.

Layout and design

It is important that the information gathered from surveys influences the final proposal. Existing natural features should be retained and enhanced, where possible, and kept in context rather than in isolated fragments. Integrated habitat networks and green corridors are encouraged to enhance biodiversity and help mitigate climate change effects. The landscape design of a scheme is expected to enhance the biodiversity value of the site and maintain species movement where possible. This should include enhancing connections between ecological features, within and across the site. It is also expected that a planting plan will maximise the structural diversity of the site and provide a scheme that allows biodiversity value to increase over time.



*Edinburgh Living Landscape:
A pictorial meadow for pollinators and amenity benefit.*

Statutory requirements

The Council must ensure statutory requirements relating to biodiversity are being fulfilled.

The framework for statutory sites and species protection is provided by:

- Conservation (Natural Habitats &c.) Regulations 1994, as amended (“The Habitats Regulations”);
- The Town and Country Planning (Environmental Impact Assessment) (Scotland) Regulations 2017;
- Wildlife and Natural Environment Scotland Act 2011;
- Nature Conservation (Scotland) Act 2004;
- The Protection of Wild Mammals (Scotland) Act 2002;
- Protection of Badgers Act 1992; and
- Wildlife and Countryside Act 1981 (as amended).

Types of designated sites in Edinburgh
see [Local Development Plan map](#)

International

Ramsar Sites - Habitats

A wetland site listed under the Convention of Wetlands adopted following an international conference in Ramsar, Iran 1971.

Special Protection Areas (SPA) - Birds.

An area designated under the Wild Birds Directive to protect important bird habitat.

National

Sites of Special Scientific Interest (SSSI).

Areas of national importance for natural heritage across the UK, including diversity of plants, animals, habitats, rocks and landform.

Local

Local Nature Reserve.

Designated for its local special natural interest and / or educational value.

Local Nature Conservation sites.

Local Biodiversity Site.

Local Geodiversity Site.

Designated for its local biodiversity, geodiversity and social educational value.

Ecological Impact Assessment

An Ecological Impact Assessment (EIA) may form part of an EIA and is required for major and some small scale developments. The principle is to identify the biodiversity features of interest and propose avoidance, mitigation or compensation to reduce all impacts to the non-significant level. An EIA should be submitted as part of a planning application and should adopt the methodology of the Chartered Institute of Ecology and Environmental Management (CIEEM).

The CIEEM maintain a directory of suitably qualified ecologists who can carry out surveys. See cieem.net/members-directory. CIEEM also maintain a list of survey guidance materials. See: cieem.net/sources-of-survey-methods-sosm-downloads-guidelines-for-ecological-impact-assessment-2016.pdf

[Downloads/Guidelines for Ecological Impact assessment 2016.pdf](#)

Habitats Regulations Appraisal

Any development likely to have a significant effect on a Special Protection Area (SPA) will be subject to a Habitats Regulations Appraisal, in addition to other assessments. If likely significant effects cannot be ruled out then the Council will have to carry out an ‘appropriate assessment’ of the proposal. The developer will be required to supply data to support this appropriate assessment. More information on HRA can be found at the following link: snh.gov.uk/protecting-scotlands-nature/protected-areas/international-designations/natura-sites/habitats-regulations-and-hra. Firth of Forth HRA Guidance for developers and regulators snh.gov.uk/docs/A1979038.pdf

Timing

Project management should take into account the optimum survey period for protected species (see the survey timetable below for guidance). The findings of surveys should inform design and form part of the application. Surveys older than 12 months may be considered to be out of date and invalid in supporting an application. In some instances the timing of works may also be affected by the requirements of protected species.

Technical guidance

The Wildlife Information Centre

Records on the presence of protected species or habitat, in or near a proposed development site, may be required from The Wildlife Information Centre.

See: wildlifeinformation.co.uk.

Invasive Non-Native Species

Scotland has many introduced plants, some of which have been identified as being invasive by out-competing native plants for light space and nutrients. The most common invasive species in Edinburgh are:

- Japanese Knotweed (*Fallopia japonica*);
- Giant Hogweed (*Heracleum mantegazzianum*);
- Himalayan balsam (*Impatiens glandulifera*).

The Wildlife and Natural Environment (Scotland) Act 2011 (Annex B) has introduced measures to deal with non-native species. If a survey shows invasive non-native species are present on a site, the developers must remove them and ensure they are not spread from the site. Soil with Japanese Knotweed or Giant Hogweed is classified as controlled waste under the Environment Protection Act (1990).

The Scottish Government has produced a Non-Native Species Code of Practice that will help developers understand their legal responsibilities. For more information see: gov.scot/Publications/2012/08/7367

nonnativespecies.org/home/index.cfm

Planning has a key role in supporting the UK commitment to halt the overall loss of biodiversity by 2020, in accordance with the European Biodiversity Strategy and UN Aichi targets. BS 42020 Biodiversity in planning and development – Code of practice, is a useful tool when considering biodiversity in the context of planning.



Swift Bricks—Beaverbank Place

On this development in North Edinburgh swift bricks have been designed into the external wall. These should be shown on planning drawings.



Otter (*Lutra lutra*)

Otters are active on several watercourses in Edinburgh and any development within 200 m of suitable water habitat should survey for this European Protected Species. Picture SNH/Lorne Gill.

Survey timetable

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
Badgers												
Bats—hibernation roosts												
Bats—summer roosts												
Bats—foraging / commuting												
Birds—breeding												
Birds—over winter												
Great Crested Newts (*1)												
Invertebrates												
Otters												
Water Voles												
Habitats / Vegetation												

Survey time

Optimal

Sub Optimal



(*1) Refer to the [Great Crested Newt Conservation Handbook](#)

3.5 Trees

A suitably qualified Arboriculturalist should be used to survey and evaluate the existing tree and woodland resource within the site and 12m beyond.

Design development to take into account above and below ground constraints for retained trees and future planting.

Survey, assess and identify trees to be retained.

Protect retained trees and areas identified for new tree planting during construction.

Ensure trees for retention are marked on masterplans.

Local Development Plan policies

• **Des 3 - Development Design**

• **Env 12 - Trees**



Ancient woodland near Balerno

This ancient woodland makes an invaluable contribution to biodiversity and landscape character.

Trees and woodlands are important for the quality and character of the landscape, the townscape, biodiversity, cultural heritage, ecosystem services and our sense of well-being. Protection of trees and woodland within new development can give a sense of maturity and raise the overall quality of the setting of buildings whilst contributing to green networks. Where trees are damaged and then decline or where inappropriate design leads to conflict, these positive

benefits are lost. Successfully marrying trees and new development requires a process of survey, analysis and design which is set out in the British Standard (BS) 5837:2012. This provides a balanced approach on deciding when trees should be retained, how design considerations will be affected by existing trees and appropriate protection for trees during development.



Former City Hospital - Greenbank

Existing mature trees retained within new green corridor.

A tree survey is required in the form specified in BS 5837:2012 for all trees with a stem diameter of 75mm or more, at 1.5m above ground on the site or within 12m of its boundary. Trees should then be categorised in accordance with their quality and suitability for retention.

In certain cases woodland may be surveyed as a whole and managed using best woodland management principles. Using this information, a Tree Constraints Plan (TCP) should be prepared to show the below and above ground issues that need to be taken into account during the design process to ensure successful survival of these trees.

Below ground, the Root Protection Area (RPA) must be identified for each tree, to be left undisturbed and protected from damage from building, road construction or service trenches and layouts of SUDS. Above ground, the physical requirements for future growth and maintenance will include, for example, the ultimate height and spread of each tree.

Input to the design layout also requires consideration of factors such as the effect trees may have on daylight, shading of buildings and open spaces, privacy, screening, wind throw and amenity issues with leaves from certain species.

Visibility splays, location of services, changes of level and allowance for construction activity will also be considered. When submitted with a planning application, the TCP should demonstrate how consideration was given to the retention of trees in the proposed site layout.

Opportunities for future planting should also be identified and plotted on the TCP to identify areas for protection from soil compaction.

Once the layout is finalised, a Tree Protection Plan should be submitted showing trees for retention and removal, and the precise location of protective barriers and ground protection forming the Construction Exclusion Zone. Fencing should be to the standard shown in Figure 2 of BS 5837:2012. These will be erected before work starts on site and maintained throughout the construction phase.

Tree Preservation Orders, as set out in the Tree Protection Charter, will be used to safeguard trees in appropriate cases.

It is a duty under Section 159 of the Planning Act (1997) that conditions must be applied to all planning applications where existing trees require protection.

Developers should be aware of the responsibility to determine the presence of bats (a European protected species) and identify potential bat roosts on site and the effect of proposals on habitat and navigation features. See [section 3.4](#). Biodiversity.

Summary of process

- 1 Carry out a tree survey and categorisation to identify trees worthy of retention.
- 2 Prepare a Tree Constraints Plan showing physical and spatial requirements for retaining those trees. This includes a Root Protection Area for each tree and an indication of the ultimate spread of canopy.
- 3 Use Tree Constraints Plan to design an initial site layout and identify areas for new planting.
- 4 Achieve finalised site layout.
- 5 Prepare a Tree Protection Plan, including fence specification and provision of on site supervision, showing the Construction Exclusion Zone.
- 6 Submit with Planning Application.
- 7 Planning approval with tree protection conditions relating to the approved Tree Protection Plan.
- 8 Prior to start of construction, erect tree protection fencing and other identified measures to form a Construction Exclusion Zone.
- 9 Ensure site supervision to maintain tree protection fencing and measures until removal agreed.

3.6 Planting

New planting proposals should be prepared by a suitably qualified Landscape Architect or Arboriculturalist (for trees).

Species selection should be appropriate to the intended location, function and growing space, taking into account ultimate height and spread, and relationship to buildings, paths and roads.

Where possible, use native species in locations adjacent to designated nature conservation sites. In other areas use a mix of species to provide ecological diversity and resistance to disease.

Planting design should recognise Edinburgh's distinct landscape characteristics and provide an attractive, biodiverse and a long-lived landscape structure to help mitigate against climate change.

Woodland and structure planting should be carried out in advance of development to allow early establishment.

Proposals must allow for ease of maintenance and long term establishment.

Local Development Plan policies

- ***Des 3 - Development Design***
- ***Des 8 - Public Realm and Landscape Design***
- ***Env 12 - Alterations and Extensions***
- ***Hou 3 - Private Green Space in Housing Development***

An attractive and functional landscape scheme should use trees, shrubs, boundaries, herbaceous perennials, ground cover and hard landscaping imaginatively to provide an appropriate setting for buildings. It can assimilate and integrate new development into the locality.

All planting schemes should add to the biodiversity of the area by maximising structural diversity and providing for pollinators. They should provide all year round interest, and be playful landscapes that can be used by all age groups. Poisonous plants should be carefully specified and not used in housing schemes, school or nurseries. Bulb planting should be used to create early spring interest.

Trees in particular make a positive contribution to both urban and rural landscapes and new development should provide a spatial framework of new tree and woodland planting. Large stature tree species should form the basis of structure planting and adequate space allowed for their ultimate size. Housing proposals and major planning applications should provide sufficient space to accommodate at least 20% of long-lived large scale trees to provide a legacy for future generations.

Edinburgh's heritage of round crowned deciduous trees should be respected in planting schemes and the creation of wooded ridges should be included in proposals wherever practicable.



Birch Trees - Forthquarter Park

Trees should be used to create special places in housing proposals, for example using orchards and fruit trees, horse chestnut trees (conkers) etc.

Any unavoidable removal of trees should be compensated by replacement with at least extra heavy standard sized trees or semi-mature stock in locations where amenity is a key consideration.

At the site layout stage, the landscape framework should set out locations to provide suitable conditions for tree planting. This may include planting in open ground, such as greenspaces but also locations within hard surfacing, where careful site planning and detailed design will be required.

The correct species should be selected for the intended location, taking into account ultimate height and spread, the character of the local area and its environmental and climatic conditions. The siting of buildings, underground services, street lighting and drainage should reflect the intended landscape framework. Other factors such as road signs, parking and CCTV may need to be considered.

Within hard surfaces, the use of structural soils or underground cellular systems will be required to provide a load-bearing paved surface. The objective is to prevent compaction of the soil beneath hard surfaces to accommodate tree roots, soil water, air and biota.

Tree pits and trenches should be sized to reflect the nutritional and water requirements of a fully grown tree. Drainage and irrigation should also be installed to aid establishment, in particular where impermeable surfaces may limit natural rainwater percolation.

Planting specification

The following minimum standards will apply:

	Size at planting	Density / spacing	Other requirements
Woodland	60-80 cm height.	1m spacing.	Include 30% feathered trees of min height 180cm where immediate visual effect required.
Trees - green spaces	Extra heavy standard, 14-16 cm girth minimum. The Council may require larger dependent on location.		2m clear stem or multi-stem. Provide tree pit/trench detail, including means of support.
Trees - paved spaces	Semi mature, 30-35 cm girth.		2m clear stem, underground guyed. Provide tree pit/trench detail to demonstrate adequate soil volume and load bearing support for surrounding paving.
Fruit trees	Light standard, 6-8cm girth.		Spacing and means of support to correspond with intended shape.
Hedges	60-80 cm height.	250mm spacing in two offset rows 300mm apart.	Protected by post and wire fencing. Min 400mm depth topsoil.
Shrubs/fruit bushes	Dependent on species.	500-600mm apart.	Min 3L pot grown unless bare root/root balled Min 300 mm depth site topsoil. Planted in groups of 3-5 of same species.
Herbaceous perennials/ ground cover	Dependent on species.	300 - 450mm apart.	Planted in groups of at least 7 of same species.
Amenity Grassland	Specify turf or seed mix g/m2.		Min 200 mm site topsoil spread over graded and free draining subsoil.
Meadow Grassland	Specify meadow seed mix g/m2 by type, including dry/wet meadow, pictorial, woodland and percentage of each species. Additional plug plants to be specified by species and nr/m2.		Use of graded and site subsoil free from compaction.
Bulbs	Specify by species, grade and nr/m2.		
Green roofs/walls	Specify whether intensive or extensive in design.		Ensure sufficient structural capacity and depth of growing medium. Specify proprietary matting/wall systems including species mix and plug plants.

Technical guidance

Shrubs, hedges and ground cover plants should be used to define spaces, provide shelter, privacy, amenity and enhance biodiversity.

Grassed areas are important for recreational spaces and bulbs and native wildflower seed mixes should be used to add seasonal interest and habitat value.

Where space is limited climbing plants and green roofs/walls should be introduced where practicable.

Proposals within the Edinburgh Airport Safeguarding Zone should seek early liaison with the Airport on their planting concepts in order to reach agreement.

Applications for Planning Permission in Principle

These applications should be accompanied by a landscape strategy setting out the proposed use and treatment of external spaces, indicating the location of services and changes in level, including preliminary drainage proposals (such as the layout and maintenance responsibilities for SUDS). The strategy should include cross sections of typical roads and streets and green/blue corridors. Key distances from natural features and a palette of planting material should also be included.

Full planning applications

Full Applications require all planting and hard landscape proposals to be specified as follows:

- Full botanical name of all plant stock;
- Minimum size of plant stock at planting as per the National Plant Specification;
- Expected height and spread of trees.

- Planting density, total numbers and/or planting locations;
- Tree pit details, including means of support and protection;
- Details of surfacing materials, including grass mixes and paving;
- Details of junctions between surfacing;
- Details of walls and fencing, including boundary treatments;
- Details of new play areas and equipment;
- Site furniture including bin and cycle stores; and
- Details of all functioning landscape elements of Sustainable Urban Drainage.

Management and maintenance

Details of the intended arrangements and proposed long-term maintenance and management operations for all landscape proposals should be submitted to demonstrate that a high standard of landscaping can be achieved, appropriate to the location of the site. This includes proposals for the adoption or otherwise of landscape features within streets.

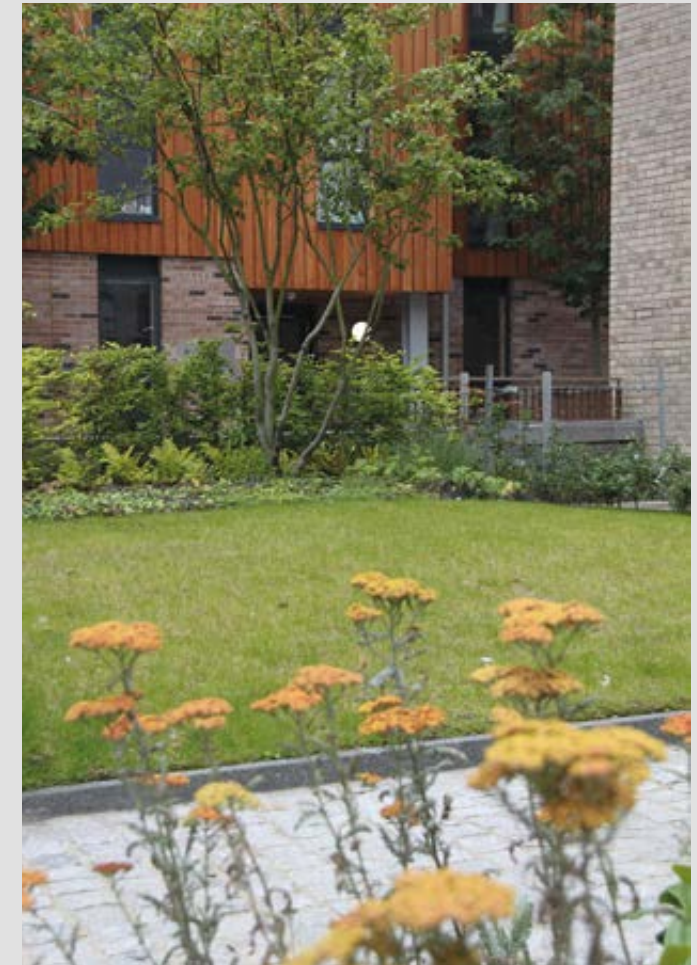
For many landscape proposals in the city, the airport operator is required to assess proposed planting and water features against the risk of attracting birds which threaten the safety of air traffic. A Birdstrike Risk Management Plan may be required.

Care should be taken to ensure that community safety is promoted through the specification and maintenance of trees and shrubs. Within pedestrian routes, streets and public open spaces, trees should maintain good visibility with a minimum clear stem height of 2m. Shrub planting should also avoid impeding the opportunity for natural surveillance and must avoid the creation of hiding places. Where

good visibility is essential shrubs should ultimately grow no higher than 1 metre.

Hedges and planting should not obscure doors or windows, and trees should not provide climbing aids into property or obscure lights or CCTV cameras.

Use of a well composted mulch after planting and watering can aid establishment, retain soil moisture and suppress weed growth.



Holyrood North - high quality public realm and planted residential courtyards.

3.7 Hard landscape

Ensure hard landscape design helps reinforce Edinburgh's distinctive character.

Co-ordinate materials used in new hardworks design with the materials used within the surrounding townscape.

Use stone walls and railings where this is the commonly used edge detail.

Keep the number of colours and materials in the hard landscape in a new development to a minimum.

Detail the hard landscape to ensure it has a good visual appearance that lasts over time.

Local Development Plan policies

- **Des 8 - Public Realm and Landscape Design**

Streets in new development should be designed in accordance with the Edinburgh Street Design guidance and Designing Streets.

In addition to streets and paths, new developments often include other hard landscape spaces to which this section applies.

Edinburgh's hard landscape is defined by the simple, uncomplicated use of a small palette of materials.

Materials should be chosen to define spaces of differing functions, public / private spaces and changes in level.

The materials should be suited to the character of surrounding buildings and townscape especially where the buildings are of special interest or importance. There should generally be continuity of paving materials along and on either side of the street.

Detailed design is of particular importance, ensuring the size of paving is appropriate. Features such as boundary walls, railings, seating, cycle storage or stands etc, should all be carefully specified, coordinated and integrated into the design.

There is a strong tradition of stone walls, railing on low stone walls or coping and hedges in Edinburgh. These details should be used to reinforce Edinburgh's unique characteristics. Tall boundary walls using rendering should be used sparingly and detailed very carefully to shed water.

To mitigate the impact of climate change, a balance should be struck between paved and planted areas and between permeable and impermeable paving. Drainage needs to be robust and uncomplicated.

Narrow planters should be very cautiously used as boundary elements as they generally fail over the long term. Timber fencing should not be used in the public realm unless bespoke and beautifully detailed. Proposed levels should be carefully designed to tie in with existing site levels, including on adjacent sites.

The texture and form of trees improve urban environments such as squares and contribute to the quality of the public realm. Trees in hard landscape need to be carefully specified and have adequate soil volume, water and air for healthy growth. Raised planters should generally be avoided since trees are more likely to suffer restricted growth.



Fountainbridge - Port Hamilton

A square has been formed between the new and old buildings. This simple space provides an attractive new route through the development.

Technical guidance

The concept and vision for hard landscape design should be presented in a Landscape/Public Realm framework for Planning Permission in Principle applications.

Full planning applications and applications for approval of matters specified by conditions should fully specify all paving materials, in terms of type, finish, unit size, proposed pattern/ bond and method of laying and jointing. Attention should be paid to how changes in level are addressed, detailing of drainage and the correct specification of sub-base and materials where spaces will be subject to vehicular traffic. To avoid awkward cutting and jointing of units around existing and proposed features, appropriately sized or special paving units should be used and carefully coordinated with the layout of street furniture.



High St Old Town and other conservation areas

Traditional materials of Caithness flagstones for paving, granite and whinstone kerbs and setts have been used extensively throughout the Old Town and will be sought here and in other conservation areas around the city with the exception of the New Town.



Shared surfaces outwith conservation areas

Shared surfaces outwith conservation areas need to be kept very simple. If block paving is used, there should be no more than two tones and these should be grey.



Dundee Waterfront

Use of a continuous tree trench and underground cellular system to support surrounding paving surfaces as part of advanced green infrastructure at Dundee Waterfront.



Queen Street New Town

In the New Town, sandstone should be used as the paving material. The paving outside the Scottish National Portrait Gallery provides a model that should be used elsewhere in the New Town.



Western Corner Areas with significant footfall

In other areas with significant footfall, such as local centres outwith conservation areas, rectangular precast concrete slabs (coloured grey) should be used.

3.8 Water environment

Survey and analyse the existing and historic water environment on development sites.

Design developments, including the floor level of buildings, to ensure that properties are not at risk of surface water flooding.

Provide above ground surface water attenuation on development sites to reduce flooding, due to the development, on surrounding areas.

Local Development Plan policies

Des 3 - Development Design

Des 6 - Sustainable Buildings

Des 7 - Layout Design

Env 21 - Flood Protection

Any development will alter the way that water moves across a site in times of rainfall or flooding. Flooding can happen because of pluvial (overland) flow, fluvial (river) flow or coastal flooding in certain conditions. Culverted rivers, streams or historical springs can also be present. Understanding the history of a site and the risks and opportunities that water movement provides should be appraised very early on in the design process, in order to ensure that concept layout plans presented are realistic.

Along with increased flood risk, development can also increase pollution due to run-off over hard surfaces. New development must address these issues through the use of Sustainable Urban Drainage Systems (SUDS) systems attenuate water, treat polluted water and should be designed to maximise biodiversity benefits. They should also be designed so they are an attractive addition to the landscape. A range of SUDS features are available to designers including porous paving, green roofs, swales, bioretention trenches, detention basins and ponds.

In greenfield sites SUDS and flood attenuation methods should be designed by early discussions with water engineers and landscape architects within the design team. Above ground solutions should be provided on constrained brownfield sites. Underground solutions might be considered acceptable, however, these leave a legacy of hidden structures that have the potential to fail and should only be used in exceptional circumstances.



SUDS retention basin, Firrhill Neuk, Oxgangs

Permanent pond with wetland planting including Flag Irises adjacent to Oxgangs Neighbourhood Centre. The pond has become the focus for community life, is overlooked by surrounding streets and has its own Friends Group and wildlife information panel.

Sustainable Urban Drainage Systems

SUDS are a legal requirement under the Water Environment (Controlled Activities) (Scotland) Regulations 2011 when discharging surface water to the water environment (except for a single dwelling house or discharge to coastal waters).

All SUDS schemes should be designed to comply with CIRIA C753 The SUDs Manual and should gain agreement from Scottish Water.

SUDS schemes should be considered at the outset of the project to ensure multiple benefits are realised. This should be presented as a strategy with plans at Planning Permission in Principle which should align with the urban design and landscape framework.

If the SUDS system and the attenuation of flood waters up to the 1:200 plus climate change is to be combined, then the 1:30-1:200 can be designed into the open space (hard or soft) or parkland areas provided the designs of the landscape/ public realm are attractive and suitable maintenance arrangements can be put in place.

SUDS schemes should be designed to maximise the benefits we can secure from surface water management which are:

- Control the quantity of runoff;
- Manage the quality of runoff and prevent pollution;
- Create and sustain better places for nature; and
- Create beautiful places for people.

Sustainable Urban Drainage Systems should also be designed by engineers and landscape architects.

The designers should propose a system that:

- is attractive and visually interesting;
- conveys water through the site above ground in swales, bio-retention trenches and filter trenches as opposed to a piped system;
- integrates the attenuation areas into the landscape design attractively;
- can be maintained by grass cutting machines with a max grass slopes 1:6;

- uses hard landscape areas in suitable locations;
- achieves water quality improvements through a series of treatment and not end of pipe control using the Simple Index Approach;
- enhances biodiversity;
- is overlooked by development as opposed to located in a hidden space; and
- only requires to be fenced in exceptional circumstances, a carefully designed landscape should be able to reduce the risk to an acceptable standard.

SUDS Requirement	Why SUDS required	Checking Authority	Adoption Authority	Design Manuals
Roads (eg infiltration, ponds).	To reduce, treat and attenuate, delay surface water on the roads reaching the sewerage system.	Roads Dept, Local Authority.	Roads Dept, Local Authority.	SUDS for Roads; Green Infrastructure - Design & Placemaking; Delivering Sustainable Flood Risk Management; SUDS manual; and SEPA guidance.
Treatment Ponds / Basins.	To treat surface water prior to discharge into a watercourse, culverted watercourse or sewerage system.	Treatment Train—SEPA. capacity—Council Flood Prevention. design—Scottish Water, Council Planning.	Scottish Water.	
Surface Water Attenuation.	To attenuate surface water flows up to the 200 year event.	Council Flood Prevention. Council Planning. Scottish Water.	Scottish Water; or private owner.	

Surface Water Management Plans

A Surface Water Management Plan is a document required by the Council to assess the flood risk from surface water and ensure that runoff from the development does not increase flood risk to properties elsewhere. The Surface Water Management Plan should identify a drainage strategy for events up to a 1:200 yr flood event (a 0.5% Annual Exceedance Probability [AEP]), with an allowance for climate change. It should include details of surface water flow paths, water quality treatment and discharge points for the drainage system. For further information see [Planning application guidance on flooding](#).



Sutcliffe Park, Greenwich, London

The local community enjoy the use of this well-designed and attractive parkland landscape which attenuates water in the event of a serious flood.

Required attenuation volumes and surface water flow paths should be considered at the feasibility stage as they can affect the location and layout of development. Surface water should be dealt with by analysing the existing and proposed flow paths together with potential ponding and runoff depths. This should include runoff from outwith the site, from unpaved areas within the site, and from roofs and paved area in the events which exceed the capacity of the system.

New buildings in the development must not be at risk of flooding as a result of these flow paths and depths. For example, where flow paths show that water will be directed to a level access, or towards an underground car park then possible preventative measures could include:

- Changing to the internal layout so that the door is not directly in line with the flow around the properties;
- Raising the floor level and providing a ramp. Floor levels to be raised to a minimum of 200mm. Ground levels either side of the ramp must fall away to enable water to flow around the property. In terraced situations a fall needs to be maintained across each individual ramp, either from the centre of a terrace to either side or from one end to the other.



Area designed to attenuate water in a 1 in 200 year event. Suitable planting including trees can be incorporated. Space can be used for a range of functions such as kickabout areas. Gently sloping embankments help make the space easier to access.

SUDS feature for 1 in 30 year event.

Technical guidance

- Use other design concepts to divert the water around the properties;
- The use of soft landscaping as a form of soakaway and the reliance on linear slot drainage channels will not be sufficient as a form of flood prevention or diversion; and
- Care must also be taken that where walls are built between gardens on the ‘high’ side of a slope that gaps are left to avoid trapping water.

The development should provide attenuation of surface water flows up to the 1:200yr plus climate change event on site.

Attenuation should be above ground. Underground attenuation is only acceptable in exceptional cases, for example in constrained brown field sites in urban areas. Flow to the attenuation areas should be through linear features designed into the landscape/streetscape of the site. The scheme should be designed by a team that includes an engineer and landscape architect.

Hard works details that form part of the public realm should be designed in liaison with landscape architects in the design team to provide a co-ordinated response that is appropriate to the context and is part of the overall design concept. In the public realm careful consideration is required regarding flows along the streets and the attenuation of the overland flows. In certain situations flows can be attenuated in hard landscaped areas provided they do not negatively impact flooding of proposed or existing properties.

On larger sites where banks are being used to create the attenuation features, these should not be steeper than 1:6 to allow for grass cutting. Steeper slopes will require planting with suitable plants that do not require cutting. It should be noted that arisings will not be picked up and may contribute to a gradual reduction in the amount of storage provided by a feature.

The maximum discharge rate to the 200yr attenuation should not exceed 4.5l/s/ha impermeable area or the greenfield runoff fate, whichever is the lower.



locked up culvert

Where possible, culverts should be opened up.



SUDS—Upton, England

This SUDS feature is sensitively integrated into the development



SUDS—Malmo, Sweden

Sustainable drainage is fully integrated into the design and is a major component of this recent development.

Image courtesy of Steve Tiesdell Legacy Collection

The River Environment

Flooding

A Flood Risk Assessment (FRA) is required under planning policy and the Flood Risk Management (Scotland) Act 2009 to demonstrate that a proposed development is not at risk of flooding in a 1 in 200yr flood event (a 0.5% Annual Exceedance Probability [AEP]) from a watercourse – this includes watercourses that are open or culverted. The Scottish Planning Policy (SPP) provides a risk framework to determine the appropriate planning response for three categories of flood risk. An allowance for climate change should also be included. The assessment should be supplied in a report format utilising standard industrial software. If available, technical advice can be obtained from the Flood Prevention Unit.

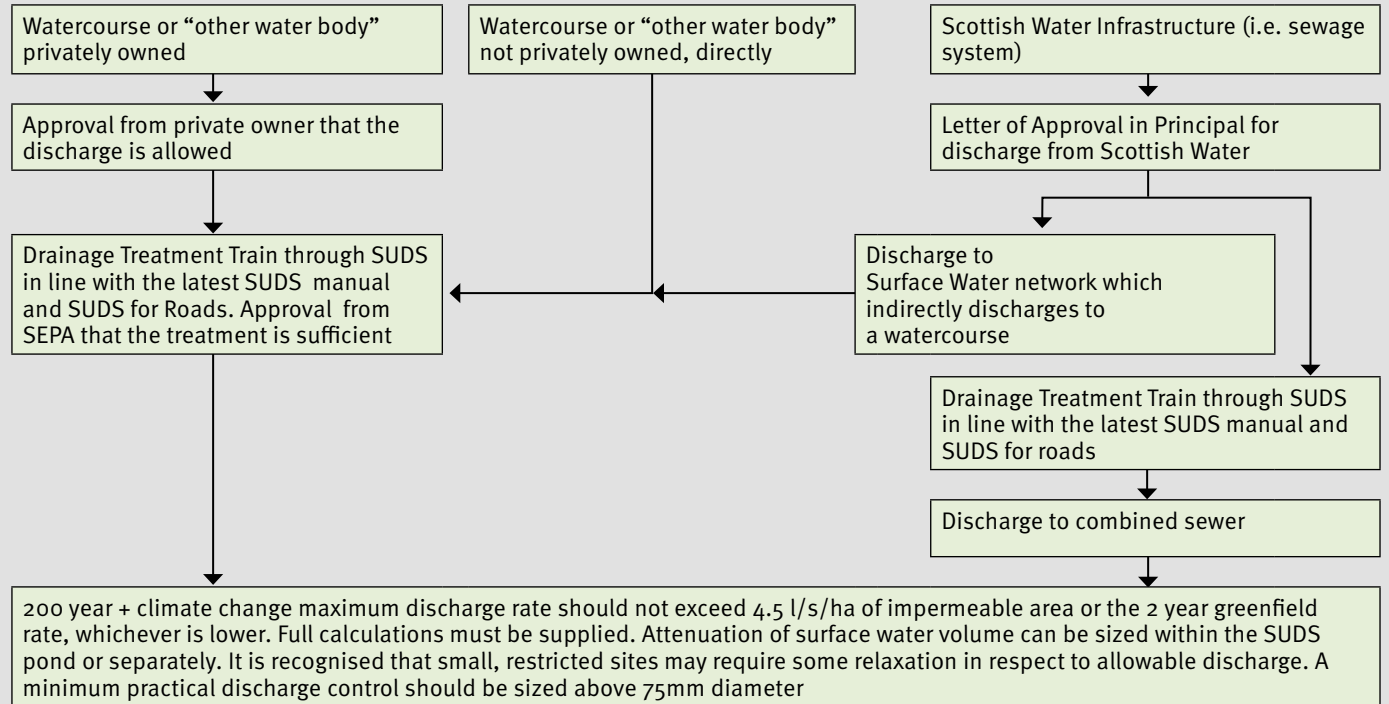
Land raising to protect the development from river flooding will not generally be acceptable within functional flood plains.

Culverts

In line with the SPP, culverted watercourses should be opened up (de-culverted), where appropriate, and a natural river environment incorporated into the development design outline. Culverts and particular screens on culvert inlets can cause flooding and are a maintenance liability for the owner and the Council.

The flowchart adjacent shows requirements for discharge points for a range of scenarios.

Discharge Points for the drainage system



Inch Park

Removal of a straightened and modified channel along the Braid Burn at Inch Park and re-meandering to create a natural watercourse with riffles, pools and vegetation as part of flood prevention works.

4. Designing streets: Edinburgh Street Design Guidance

This Chapter presents the Council's Street Design Guidance which was approved by the Transport and Environment Committee on 25th August 2015 and the Planning Committee on 3rd October 2015. It is presented here in a new format with some non-substantive text edits.

The Edinburgh Street Design Guidance sets out the Council's requirements for street design seeking to provide Edinburgh with world-class sustainable network of streets and places. This Guidance will enable anyone who designs, plans, manages, maintains, alters or constructs streets to realise the Council's aim to provide streets that:

- are welcoming, inclusive and accessible to all;
- are easy to navigate;
- are attractive and distinctive;
- give priority to sustainable travel (walking, cycling and public transport);
- are safe and secure;
- make the most of our historic inheritance;
- respect key views, buildings and spaces that reflect the needs of local communities;
- are designed to deal with and respond to environmental factors such as sun, shade, wind, noise and air quality; and
- are resilient, cost-effective and have a positive impact on the environment over their life-cycle.

4.1 Introduction

Anyone who designs, plans, manages, alters or construct streets in Edinburgh must refer to this guidance (and its Detailed Design Manual) as a first point of reference.

For any issues that are not covered in this Guidance, Designing Streets should be the next point of reference.

The Design Manual for Roads and Bridges (DMRB) is not an appropriate design standard for most of Edinburgh's streets. Therefore it should not be used unless specifically directed in this Guidance or for any issues that are not covered within this Guidance.

Together with the earlier sections of the Edinburgh Design Guidance, street design forms a critical element, and shapes the very essence, of creating better places.

High quality streets define Edinburgh. People visit the city from all over the World to appreciate the special qualities of the city. These owe much to the quality and variety of the New Town and Old Town streets along with the historic coastal and rural towns and villages. We owe it to current and future citizens and visitors to build on this great inheritance, improving our existing streets and creating great new streets.

Street design, though, is not just about streets of international significance; it is about every street in the city. Every street that people live, shop and work on and travel along can add to or detract from the quality of city life. This guidance is about improving all our streets for all users.



For too long we have put car based movement ahead of the needs of pedestrians, cyclists and public transport users when designing streets. While most streets will accommodate car use, we need to achieve a much better balance, one where the street environment positively influences driver behaviour, and where other street uses, and other forms of travel, especially journeys by foot or by bicycle, are prioritised over speed of movement by car. Street design, therefore, has a significant influence upon road user behaviour, as well as the quality of Edinburgh's streets.

To achieve quality streets, we need to fully embrace relevant best practice from elsewhere, and tackle perceived barriers to change. Building on the Scottish Government *Designing Streets* policy, this Guidance sets the design principles, the process and the detailed technical guidance to achieve this in the unique and diverse context of the city of Edinburgh.

What does the Edinburgh Design Guidance do?

This street design guidance brings together previously separate CEC guidance on street design to achieve coherence and co-ordination across the city, with the ultimate goal of providing the people of Edinburgh with a world-class network of vibrant, safe, attractive, effective and enjoyable streets.

It provides Edinburgh-specific guidance, fully embracing the protocol and principles set out in the Scottish Government's 'Designing Streets' Policy.

It sets out the Council's expectations for the design of Edinburgh's streets to support the Council's wider policies, in particular transport and planning policies. It aims to co-ordinate street design and to promote collaborative working between different disciplines, by considering the function of a street first as a place, and then for movement.

Who is the Guidance for?

The Guidance sets out the Council's design expectations and aspirations for streets. **It must be used by anyone who designs, plans, manages, maintains, alters or constructs streets** within the Council area.

What is the status of the Edinburgh Street

Design Guidance?

This Guidance will be the first point of reference for all street design whether it is for renewals schemes, improvements to existing streets or new streets, (including urban paths), in Edinburgh. Such projects include:

- **Carriageway and footway maintenance and renewals;**
- **New streets associated with development or redevelopment;**
- **Alterations to existing streets including surfaced paths; and**
- **Utility installations and reinstatements.**

It will not apply to the design of unsurfaced rural paths or tracks, or to the Scottish Government's trunk roads and motorways.

The Guidance will also apply to other Council services, as well as Transport and Planning services, who manage streets for various purposes. These include The Council's Housing, Parks and Greenspaces, Waste and Fleet, Economic Development; Trading Standards and Licensing for events, activities and permits for street use e.g. for tables and chairs, market stalls etc. Everyone who manages, maintains, alters or reconstructs streets, including urban paths, will be expected to comply with the Guidance in order to realise the outcomes it sets out to achieve.

The Guidance will be a material consideration in determining planning applications and appeals as well as Road Construction Consent (RCC) processes.

A **Detailed Design Manual**, containing detailed and technical information factsheets to implement the Guidance, will be available online in early 2018.

The manual is intended to be a 'live' document and will be updated to reflect best practice, policy and legislative change.

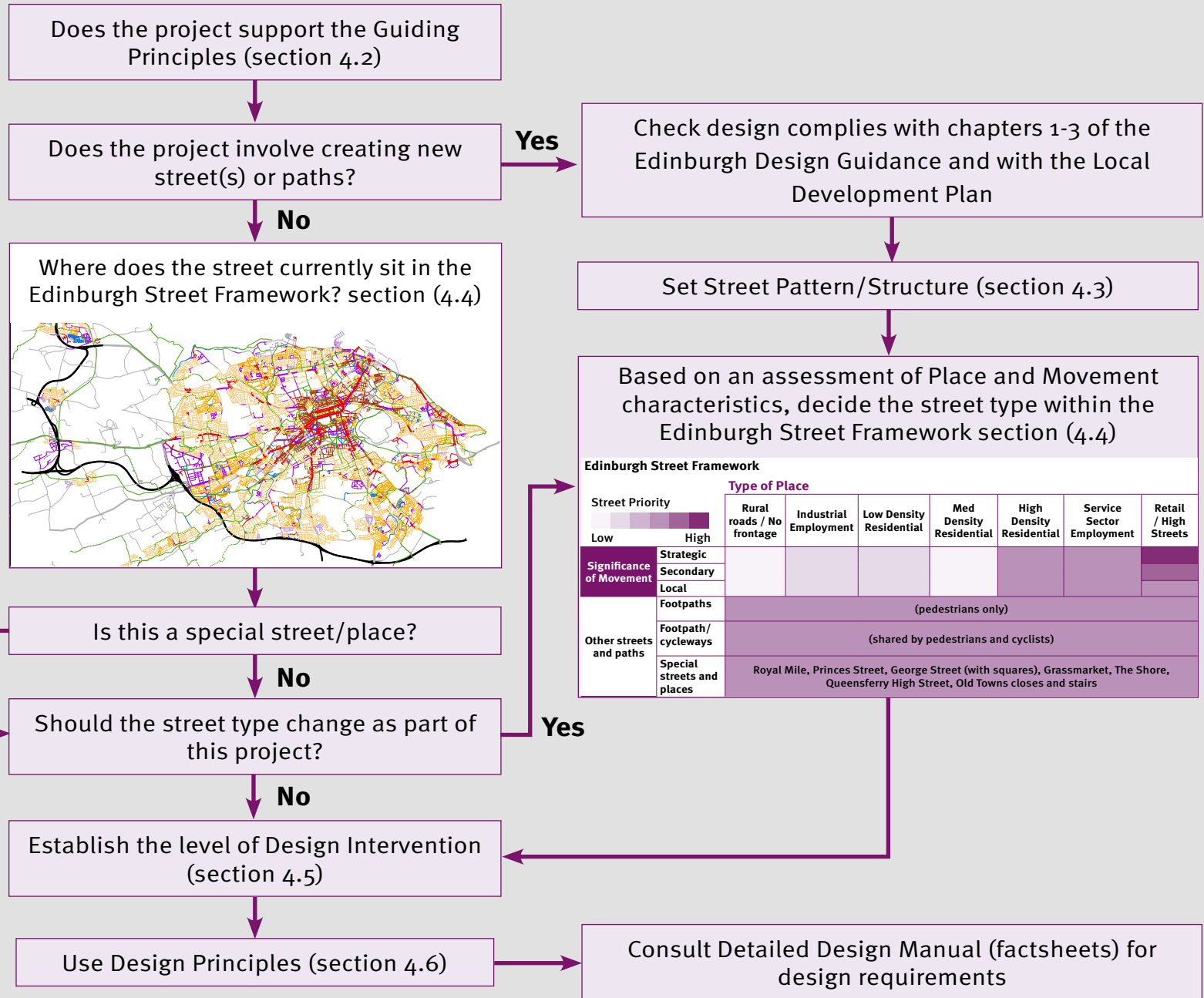
How is the Edinburgh Street Design Guidance structured and how do I use it?

The flow-chart overleaf reflects the structure of this section of the Guidance, and demonstrates the basic stages of the design process, to be followed by anyone undertaking works on Edinburgh's streets.

A **Detailed Design Manual (factsheets)**, containing detailed and technical information factsheets to implement the Guidance, will be available online in early 2018.

The manual is intended to be a 'live' document and will be updated to reflect best practice, policy and legislative change.

How do I use the guidance?



Edinburgh Street Framework

		Type of Place						
Street Priority		Rural roads / No frontage	Industrial Employment	Low Density Residential	Med Density Residential	High Density Residential	Service Sector Employment	Retail / High Streets
Low								
High								
Significance of Movement	Strategic							
	Secondary							
	Local							
Other streets and paths	Footpaths	(pedestrians only)						
	Footpath/cycleways	(shared by pedestrians and cyclists)						
	Special streets and places	Royal Mile, Princes Street, George Street (with squares), Grassmarket, The Shore, Queensferry High Street, Old Towns closes and stairs						

How does ESDG relate to other guidance?

This Street Design Guidance is part of a suite of non-statutory guidance (see [page 4](#)) documents that interpret Local Development Plan policies. It is supplementary to the Local Development Plan and Local Transport Strategy. It supersedes the following previous City of Edinburgh Council Publications: Standards for Streets (2006), Movement and Development (2000) and the Edinburgh Standards for Urban Design (2003).

Designing Streets Policy Statement for Scotland

This Guidance aligns with *Designing Streets* which will be the next point of reference for issues that are not covered within this Guidance.

Risk and Liability

The design principles set out in this guidance document follow the same principles established in the *Designing Streets* policy document. This should be consulted for further details of the risk and liability considerations.

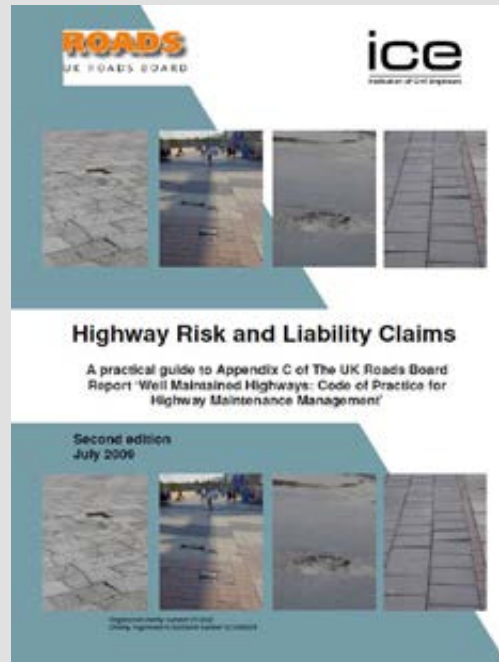
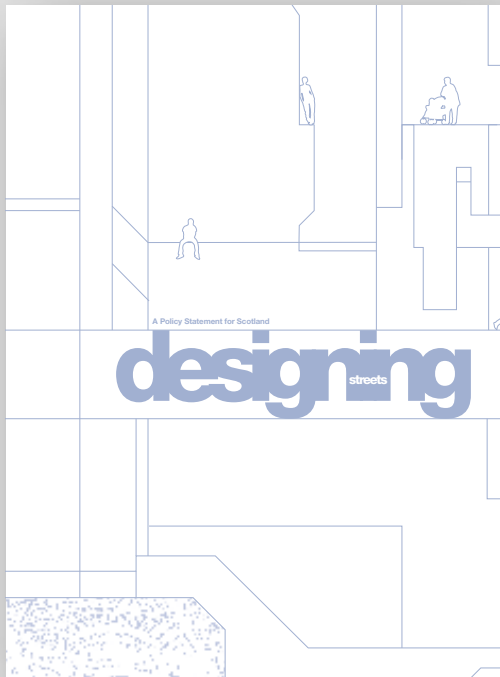
Additional information:

- **Highway Risk and Liability Guide Second Edition A practical guide to Appendix C of The UK Roads Board Report 'Well Maintained Highways: Code of Practice for Highway Maintenance Management', ICE, 2009**
- **UK Roads Liaison Group Highway Risk and Liability**

Use of Design Manual for Roads and Bridges (DMRB)

The Design Manual for Roads and Bridges (DMRB) provides standards, advice notes and other documents relating to the design, assessment and operation of trunk roads. The DMRB is not an appropriate design standard for most of Edinburgh's streets, particularly for geometry and layout.

Therefore, in accordance with Designing Streets, the DMRB standards should not be used, unless specifically directed in the detail of this Guidance or where this Guidance does not cover an issue.



4.2 Guiding Principles

Ensure all works related to Edinburgh streets deliver the Council's objectives related to streets

Comply with the Council's key commitments in street design to deliver a world-class network of streets and places

Vision and Objectives for streets

The Council's vision is to transform the process of street design to provide Edinburgh with a world-class network of streets and places. We aim to enhance the vibrancy of our streets, support sustainable movement, make the most of our historic inheritance and optimise the use of limited budgets.

This Guidance is based on the following objectives for streets which align with the key qualities set out in Designing Streets. We aim to provide streets that:

- are welcoming, inclusive and accessible to all;
- are easy to navigate;
- are attractive and distinctive;
- give priority to sustainable travel (walking, cycling and public transport);
- are safe and secure;
- make the most of our historic inheritance;
- are designed to deal with and respond to environmental factors such as sun, shade, wind, noise and air quality.
- respect key views, buildings and spaces reflect the needs of local communities; and

- are resilient, cost-effective and have a positive impact on the environment over their life-cycle.

Commitments

Street Design will:

- follow a design process that starts by considering the street as a place for people and recognising that streets have an important non-transport role.
- provide integrated design solutions which reflect the local character of the area.
- always prioritise improving conditions for pedestrians, especially for those with mobility impairments or other disabilities, for cyclists and for public transport users.
- use signs, markings and street furniture only where necessary, and in a balanced way.

How will our streets change as a result of this guidance?

The main difference that this design guidance will make on our streets are summarised below. In addition, detailed Factsheets in Detailed Design Manual discuss each of these proposed changes and associated issues in more detail.

Streets as places

This guidance is intended to bring about a shift in the emphasis of street design across the city from a movement dominated approach, to one which starts by considering streets as places, in so doing reinforcing and improving the quality of Edinburgh's streets. Designers should have a clear

understanding of the function of a particular street and propose improvements that will reflect the role of the street, whether it is primarily a retail (high) street, a low density residential street, a place for social and cultural activity, a busy bus or general traffic route.

They will use design to influence road user behaviour, helping reduce vehicle speeds and thus improving safety, particularly for pedestrians and cyclists.

Road Geometry

- Using narrower vehicle lanes, consistent with promoting slower traffic speeds which give more space to pedestrians and cyclists, whilst keeping enough width for buses to operate efficiently where appropriate.

Road Crossings for pedestrians and cyclists

- Providing new crossings on desire lines wherever possible, including where this brings the crossing very close to a side road junction.

Cycling and cycleways

- Increasing the priority given to cyclists in street design.
- Introducing guidance covering segregated on-street cycleways, including dealing effectively with junctions and bus stops.

Junctions

- ‘Tight’ corner radii will be encouraged, slowing down turning vehicles and making side roads easier to cross.
- Wider use of raised road junctions without specific vehicle priority to help reduce vehicle speeds and to give pedestrians more priority.
- Introduction of ‘continuous pavement’ side road crossings in streets busy with pedestrians, giving greater priority to people travelling on foot.
- Pedestrian phases and advanced cycle stop lines at all signalled junctions.



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Footways

- Altering the design of driveway crossings of pavements (“crossovers”) to prioritise a level surface for walking and wheelchairs above a

gradual gradient for cars. Ensuring crossfalls on all footways are comfortable for people with reduced mobility.

- Using the guardrail assessment protocol adopted in 2012 as a basis for considering this design feature, with a presumption against new railings and in favour of removing existing.
- Providing tactile paving and (where carriageways are not raised) dropped kerbs at all controlled and uncontrolled crossing points, including those at junctions, and prevention of parking at these crossing points.
- Wider footways in places which are busy with pedestrians, and clear walking zones along them.

De-cluttering

- Minimising signing, lining, bins and other street furniture to create an uncluttered space for both movement and place functions.



Poundbury, Dorset - Source: WSP

- Generally not reinstating the centrelines on the 20mph network, other than on strategic routes. (A trial conducted in London between 2013 and 2014 concluded that there was a statistically significant reduction in vehicle speeds. There

Tidying up the street surface - West Meon Village, Hampshire



Residents of this Hampshire village were concerned at the effects of speeding traffic on the A32 which bisected the village. Hampshire County Council was due to resurface the road and took the opportunity to work with the local community and a consultant to make improvements within the limited budget available.

[Read more on Living Streets website](#)

will be immediate and longer term maintenance cost savings as a result of not reinstating the centrelines).

Flood management and Sustainable Urban Drainage systems (SUDs)

- Promoting and clarifying the requirements for this new approach to drainage which seeks to ‘design out’ flood risk through attenuation as well as providing water quality treatment both in terms of new streets and retrofitting in existing streets.
- Ensure the systems maximise the potential for improvements to landscape and biodiversity e.g. the use of ‘rain gardens’ with trees and soft landscaping.

Street trees and soft landscaping

- Introducing street trees and soft landscaping to conserve and enhance townscape character; to use as traffic calming measure and to encourage walking and cycling.

4.3 Street Pattern/Structure

When creating new street patterns in Edinburgh, designers should draw on:

- **Edinburgh’s vision, objectives and commitments set out in this Guidance;**
- **Designing Streets’ key considerations for designing new street patterns (p15-31); and**
- **Edinburgh’s recognisable street patterns and distinctive urban structure.**

These will also apply to making amendments to existing streets.

In summary the key requirements include:

- establishing connected streets – cul de sacs should be avoided especially for walking and cycling;
- creating an urban form that establishes suitable grids and patterns and creates relationships between street widths and building heights
- ensuring neighbourhoods are walkable;
- prioritising pedestrians, cycling and public transport;
- design solutions drawing on typologies common to Edinburgh and respond to the character and features of the area (refer to Conservation Area Character Appraisals and Edinburgh Design Guidance, chapter 1); and
- considering the environmental quality of the street.

The Edinburgh Context

Edinburgh’s city centre has a powerful and distinctive character created by its topography, geological history and the unique form of its historic environment, consisting of the Old and New Towns separated by what are now Princes Street and its gardens. This character makes a contribution to the city’s quality of life, to its status as a World Heritage city and to its position as a major visitor destination. What makes Edinburgh special is detailed in Edinburgh Design Guidance and includes areas outside the urban area such as the coastal settlements and rural towns and villages.

Referencing Existing Street Styles

Edinburgh has a legacy of original street layouts, fabrics, materials and furniture. Locally quarried sandstone, Caithness paving, original whinstone kerbs, granite setts, horonized paving, original cast iron street lamps and street features such as mounting blocks, lighting plinths and coal chutes have been retained in many parts of the city.

These features form part of the overall values that underpin World Heritage status and create the essential character of the city’s conservation areas. It is important that changes to streets aim to preserve and enhance this historic fabric.

There is range of street character in Edinburgh where the scale, ratios and patterns, materials of streets vary. The street patterns of Medieval, Georgian, Victorian and Edwardian streets, and of some (but not all) between and post war Edinburgh streets demonstrate good townscape qualities

showing coherent relationships between building, footway and road. Generally, designs for changes to existing streets or for new streets should reinforce recognisable street patterns and styles already in place locally. However 20th century car-based street patterns with layouts impermeable to pedestrians, cyclists and public transport should be adapted or replaced wherever opportunities arise.

Edinburgh already has good practice examples that feature as *Designing Streets case studies*. These include:

- *Wauchope Square (City of Edinburgh)*
- *Gracemount (City of Edinburgh)*
- *Greendykes North (City of Edinburgh)*

Case study

Gracemount City of Edinburgh 21st Century Homes

In Gracemount, streets are designed to provide a pedestrian friendly, low traffic speed area which works as a coherent public space. There are uniform levels with no high kerbs and different zones are distinguished by different surface finishes.

This approach allows the street to become a more sociable space. To address concerns about the use of shared surfaces by blind and partially sighted people, a separate walkway is provided which is defined by a tactile strip rather than a raised kerb. All homes have a private or semi private outdoor space – a private garden, private balcony or secure communal rear garden.

Public open space is provided by retaining an important existing walkway through the site and three informal squares, located at road junctions, provide small scale greenspace with seating.

designing streets

case study

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Location: Gracemount

Developer: Cruden Homes; City of Edinburgh Council 21st Century Homes

Size: 1.2 hectares; 99 new affordable homes

Type: New Residential

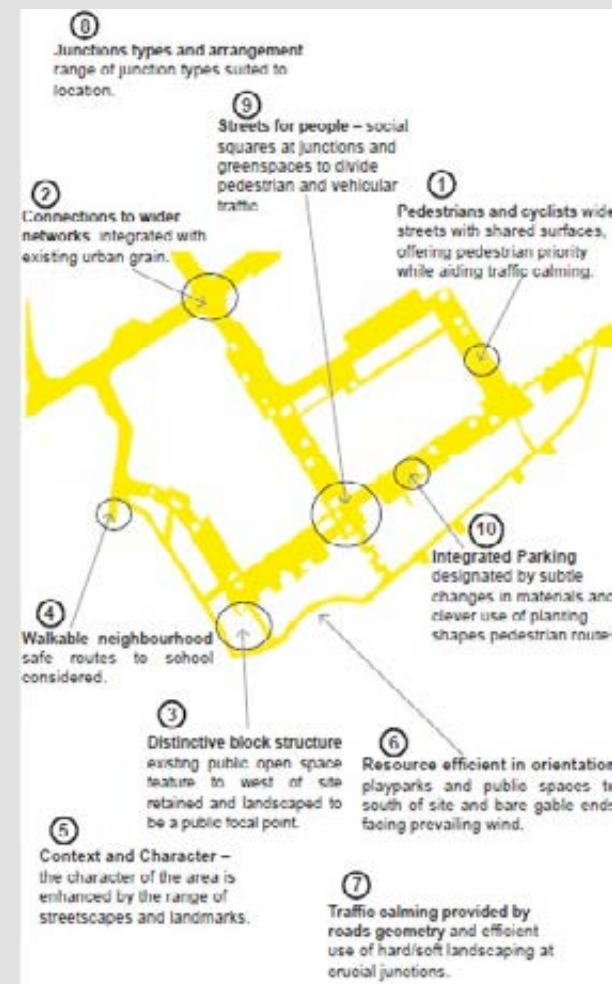
Stage: Planning Permission in Principle for overall masterplan. First phase completed

Background

This development is the first phase of affordable housing within a larger master planned area of houses for sale. As part of the 21st Century Homes initiative, City of Edinburgh Council developed an initial master plan for the wider Gracemount area. It outlined the approach to all basic aspects of the design, such as maximum storey heights, housing typologies, public space, private space and boundary treatments, waste management and lighting.

For this first phase of development, the master plan was developed in more detail. The Design Team had pre-application discussions with CEC Planning, Transport and Refuse, and a Planning Officer is on the client project team in an advisory role, ensuring a degree of continuity throughout this and following phases. The site layout is based around two new roads, the main street is on the axis of the listed Gracemount House, providing views through trees along this route for character and orientation. The new crossroads form an important junction, with the majority of three and four storey flats located around this area. Elsewhere, housing comprises houses and a 'colonies' type arrangement (upper and lower villas with front doors at opposite sides). Streets are designed to provide a pedestrian friendly, low traffic speed area which works as a coherent public space. There are uniform levels with no high kerbs and different zones are distinguished by different surface finishes.

This approach allows street to become a more sociable space. To address concerns about the use of shared surfaces by blind and partially sighted people, a separate walkway is provided which is defined by a tactile strip rather than a raised kerb. All homes have a private or semi private outdoor space – a private garden, private balcony or secure communal rear garden. Public open space is provided by retaining an important existing walkway through the site and three informal squares, located at road junctions, provide small scale greenspace with seating.



Parking courts softened with planting

4.4 Edinburgh Street Framework

When creating new street types, use the 'Edinburgh Street Framework to determine the place and movement function of a street.

The place function of a street must be considered first.

For existing streets, the Edinburgh Street Types Map should be used to identify the street's category.

Once the street category is established, this should then inform the specific Design Principles to be adhered to (section 4.6).

The dual place and movement roles of streets are the key considerations when designing streets.

All projects, including road and pavement renewals, have the potential to incorporate design changes. So designers need to understand the role of a street to in-turn propose improvements that reflect its specific role.

Within the Edinburgh Street Framework there are seven place categories, ranging from rural roads with no frontages, through to retail or high streets. There are also six movement categories to differentiate the significance of movement, ranging from strategic routes, through to footpath/cycleways, and also special streets.

As a **place**, a street is a destination in its own right. People using streets as places will live on a street, or make use of buildings or other facilities that are located on it. People using streets as places are almost always on foot.

Movement is essentially travel by any mode. Within the Edinburgh Streets Framework, the movement significance of a street is primarily determined by the function of the street for medium and long distance movements, particularly by public transport.

Streets with similar **movement** functions can have very different **place** functions. Perhaps the best examples in Edinburgh are the main roads into the city centre from its edges. These are very significant for movement throughout their lengths, whilst their place function varies dramatically, ranging from outer suburban low density housing to busy high streets.



Source: *Designing Streets*, page 9

Edinburgh Street Framework

Type of Place

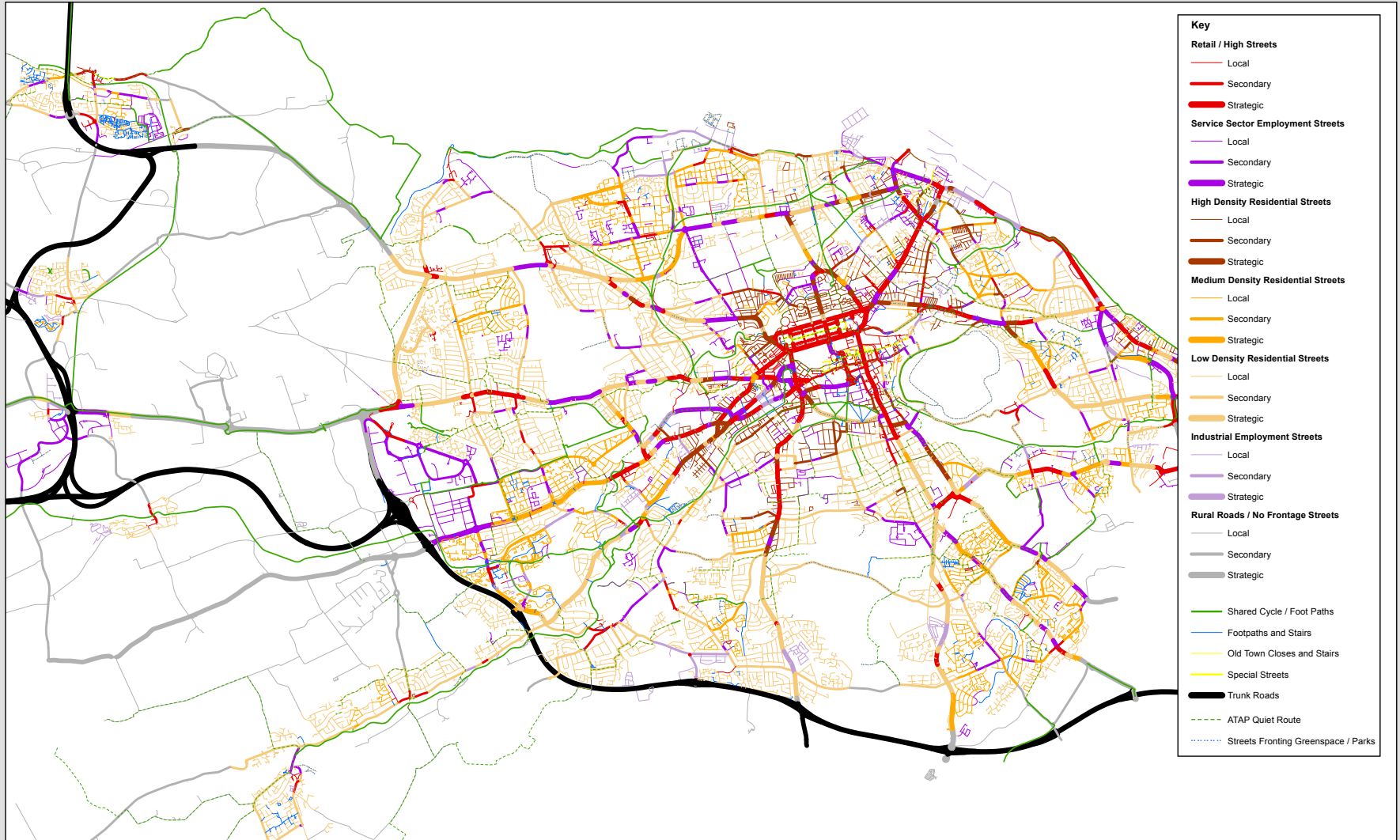
Street Priority		Type of Place						
		Rural roads / No frontage	Industrial Employment	Low Density Residential	Med Density Residential	High Density Residential	Service Sector Employment	Retail / High Streets
Significance of Movement	Strategic							
	Secondary							
	Local							
Other streets and paths	Footpath/cycleways	(shared by pedestrians and cyclists)						
	Footpaths	(pedestrians only)						
	Special streets and places	Royal Mile, Princes Street, George Street (with squares), Grassmarket, The Shore, Queensferry High Street, Old Towns closes and stairs						

Edinburgh Street Types Map

Application of the above framework on our existing streets has resulted in the *Edinburgh Street Types map*, representing Edinburgh's existing streets based on their current place and movement status.

Those who are dealing with Edinburgh's existing streets can simply locate the street(s) in question on the map to refer to the relevant Design Principles (presented in section 4.6).

The street framework should be used by developers creating new streets, considering both place and movement functions in categorising streets. See overleaf for detail.



Edinburgh Street Types Map

How to apply Edinburgh Street Framework to New Developments

1. What type of a place to create?

Put simply, the significance of place is derived by the land uses and frontages associated with specific streets. Streets with lots of people on them and many pedestrian interactions have a high place significance e.g. streets with shop frontages and offices. In contrast, streets with limited building frontages or pedestrian interactions have a low place significance e.g. industrial estates and rural roads.

Retail / High Streets have an important and valued role within the whole city, local district or neighbourhood. They typically comprise a group of shops with frontage at the ground floor level and are mixed with other land uses between or above them such as non-retail employment (e.g. offices), restaurants, hotels, tenement flats, or other types of private residence. This type of place also covers smaller numbers of shops providing an important community function in local centres.

Service sector employment streets are typically fronted by offices, schools, hospitals, universities/ colleges and other non-industrial and non-residential land uses that tend to generate substantial movements at peak times.

Industrial employment streets include activities related to industrial manufacturing, distribution and sale of industrial goods etc.

High density residential streets include traditional multi-storey tenements and newer high density housing developments consisting of modern apartments (these may depart from traditional street patterns). They are sometimes mixed with retail and/

or non-retail employment.

Medium density residential streets, include terraces, colonies, 2 to 3 storey villas or new apartments.

Low density residential streets include 1-2 storey and less densely spaced family dwellings such as semi-detached houses or bungalows. Houses usually have their own private frontage/ gardens and off-street car parking.

Rural roads and streets with no frontage generally run through a rural or other green setting, with only isolated or intermittent built frontage.

The majority of new streets will be high, medium or low density residential.

20 mph Streets

Edinburgh is the first 20 mph city in Scotland with 30mph and 40mph speed limits only maintained for a limited arterial network. Therefore the default design speed for new streets is 20 mph. Exceptions will be considered for new rural streets with no-frontage, for those serving and fronting low-medium density industrial land uses and for those strategic and secondary streets with a frequent bus service.

2. How significant should movement be?

The movement significance of a street should be based on its' role in connecting major destinations and on the importance of the street for motorised (public and private transport) traffic.

Strategic streets accommodate the highest levels of movement by a range of modes of transport including out-of-city movements. These include A roads and other main streets, such as Leith Walk, Morningside Road and the Western Approach Road.

Secondary streets provide connections between different parts of the city with moderate to high levels of movement, usually including bus routes. Examples include Captains Road, Bonnington Road, or Drum Brae.

Local streets mainly provide local access, for example for residents and employees to and from their houses and places of work. These streets will not have a significant through traffic function. They can vary substantially in width depending on when they were first built. They do not have a significant public transport role.

The majority of new streets are likely to fall into the 'Local streets' category.

Paths are type of street that will usually excludes any form of motorised traffic. The level to which pedestrians and cyclists are separated from each another will vary.

Designing for multi-functional streets

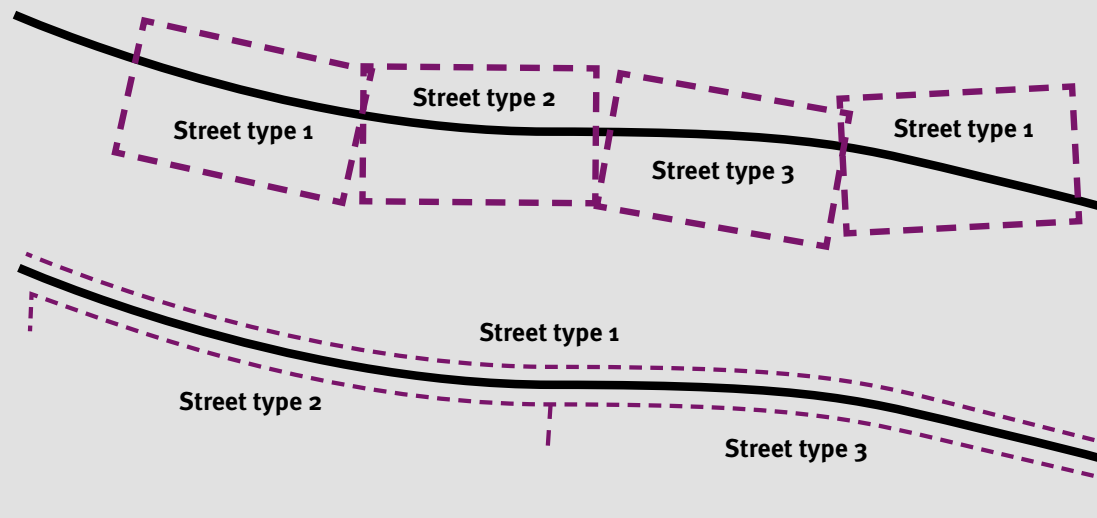
Where streets have more than one land-use, for example with both retail and residential functions, the predominant ground level use should be seen as the main influence on the balance between place and movement.

Some streets will have a consistent design along their length. However in many cases, a street's place function changes as it passes through the city (eg from retail/shopping to residential to office based employment). At transitions between two place types, there should not be a sharp change in design approach. The designer should take a pragmatic approach to the design so that it makes sense to the user and avoids apparently illogical or jarring changes.

Sometimes one side of a street will have a different place function from the other. In this case, the street type with the higher place status should normally apply on both sides, although some flexibility can be applied. For example, on a street with shops on one side and a local park boundary on the other, the highest priority (shopping) implies a need for paving slabs on the footways on both sides; in practice, blacktop could be used on the park side, if there is low pedestrian demand. There may also be cases where special design consideration may apply.

Whatever the composition of the street, its design should be coherent and respond to the local context.

In some cases, complete transformation of a street may be desirable or required by a design brief, meaning that the existing movement and place characteristics of a street should be altered by the design. This approach is most likely to apply when redevelopment projects, area wide traffic management schemes or urban design improvements are proposed. In some cases, the transformation of a street may take several years and go through different phases.



Street segmentation: Where street type changes take a pragmatic approach to changing design approach, changes in design should always make sense on the ground.

4.5 Levels of Design intervention

All work undertaken on Edinburgh's streets should move towards the vision and objectives for streets set out in this document. This guidance must be applied across the design spectrum, from the completion of routine maintenance and basic repairs to construction of brand new streets. To this end, depending on the type and extent of works proposed, there are three levels of design intervention:

- **Basic, which is concerned with tidying up and decluttering streets, and improving key features of streets so they are accessible for all and support street uses and activities**
- **Standard, which includes basic interventions but may involve more significant street redesign**
- **Innovative, which goes beyond the standard approach to consider complete re-design**

These three levels of intervention are summarised in the adjoining table and described and illustrated in more detail overleaf.

The design principles sheets give more information on what each level of intervention should involve on the various different street types.

For example, designers should make 'basic' design changes as part of a small scale renewals project, but 'standard' changes as part of a larger carriageway or footway renewal scheme.

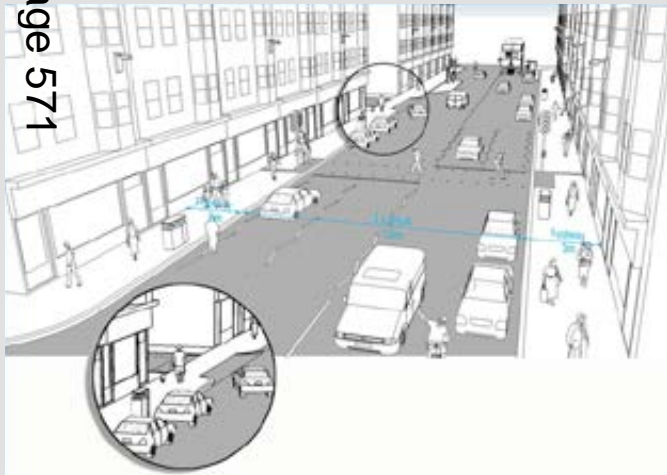
Design principles/ intervention	Actions Required	Type and extent of work
Basic	Tidy up Get rid of unnecessary street furniture that is easy to remove, combine or relocate (bins, signs, seats) Declutter Do not retain street furniture and road sign/markings unless there is a clear case for retention	Small scale maintenance and renewals projects that are based on periodic inspections and/or reports and requests from third parties, e.g. single pothole repairs, isolated footway repairs <25m in length, single (pairs) of tactile or drop kerb installations, new single signs, new crossovers for single buildings etc. Also applies to other services that use, maintain and manage streets including utility providers.
	Improve Improve standards of streets with smaller budget and limited specs so that they are accessible for all and support street uses/activities	Small scale capital (carriageway and footway) renewal schemes and other small scale capital schemes including road safety projects, new crossings, traffic calming schemes incorporating physical measures, junction refurbishments, bus stops including build outs, and road cycle schemes.
Standard	Rethink and redesign Apply basic design principles but also aim for significant street re-design and roadspace reallocation.	Medium to large scale capital (carriageway and footway) renewal schemes and other medium to large scale capital schemes such as large scale traffic management, bus priority and cycle priority schemes.
Innovative	Consider innovative approaches when creating new streets or completely reconstructing existing ones	This level should be considered for street/area based public realm or economic development projects. Previous examples include High Street, Leith Walk and Grassmarket where the whole street layout has been/is being reconfigured from building to building. Also should be considered when creating new streets associated with developments.

Intervention Levels

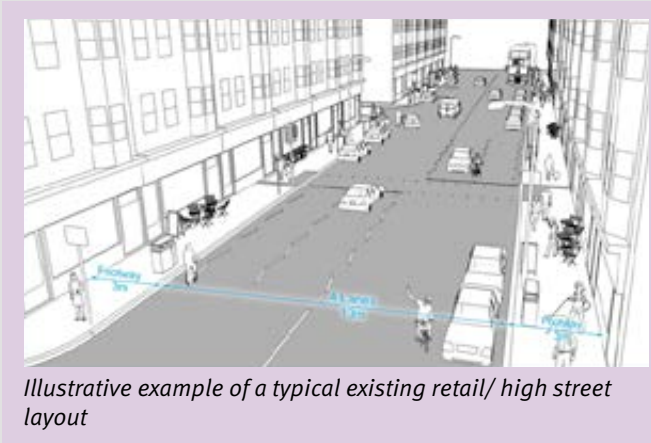
“Basic” Design Principles / Requirements focus on - making Edinburgh’s streets accessible especially for vulnerable street users (e.g. mobility impaired, blind and partially sighted, elderly or young, people with cognitive difficulties etc) and supporting sustainable forms of travel.

Achieving this requires tidying up, decluttering and improving basic street layout, materials and furniture.

Any small scale works /projects on streets undertaken by the Council or third parties will fulfil the basic design principles / requirements that are specified in the design principles sheet for each street type.



Basic: illustrative example of the same street tidied up and decluttered



Illustrative example of a typical existing retail/ high street layout

“Standard” Design Principles / Requirements supplement these basic treatments and focus on establishing a much higher standard of street. The majority of these requirements already feature in some of our streets, but the aim is to make sure all parts of Edinburgh offer such streets to our residents and visitors.

Any Medium to large scale works /projects on streets by the Council or third parties will fulfil the basic and standard design principles / requirements that are specified in the design principles sheet for each street type.



Standard: illustrative example of the same street reconstructed as an ATAP Quiet Route

“Innovative” Design Principles / Requirements include concepts that may be new or experimental (at least in the UK context), or suitable only in special circumstances.

Any corridor or area based public realm, transport or economic development projects by the Council or third parties will fulfil both the basic and standard design principles and should consider innovative design principles.



Innovative: illustrative example of the same street reconstructed as shared space

4.6 Design principles

Design Principles sheets provide a high-level design brief for any works undertaken on a particular street, depending on it's category.

Key design principles to be adhered to include:

- Ensuring accessibility by street users of all levels of mobility;
- Prioritising walking, cycling and public transport; and
- Creating solutions that respond to the character, features and materials of an area.

To inform design considerations, 'Design Principles' summary sheets have been developed which identify key design parameters for each particular street type, depending upon the level of intervention proposed (and agreed with the Council).

The key points set out in each Design Principles sheet should be the basis for design, though designs should always look to incorporate local context and priorities.

The Design Principle sheets also guide the user towards associated Detailed Design Manual 'Factsheets' for detailed design issues.

Some of Edinburgh's streets also require special design consideration and design principles depending on whether they are in the World Heritage Site and/or a conservation area; or simply include significant squares, public buildings and/or attractions. (see overleaf).

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Street type

The relative emphasis to be given to catering for different street users

DESIGN PRINCIPLES – RETAIL/HIGH STREETS (STRATEGIC, SECONDARY and LOCAL)

Design Emphasis	Place	Pedestrians	Cycling / Public Transport	Loading	General traffic	Parking
Summary statement covering this type of street	<p>Retail / High Streets contribute an important and valued role to the whole city, district or neighbourhood. They form a group of shops along a street frontage at the ground floor level and typically mixed with other land uses between or above them such as non-retail employment (e.g. offices), tenement flats, restaurants, offices, hotels or other types of private residence. There is significant amount of pedestrian activity associated with the movement of people along these streets. There are also high levels of kerbside activity generated by parking, loading and public transport. They can be centres of civic pride with important buildings, squares and spaces. These functions should be understood and incorporated in the design.</p> <p>Street design must cater for retail, leisure and social needs as well as the needs of people walking, cycling, public transport. Generally road traffic will be accommodated but not prioritised. Pedestrians will have priority through junctions and intersections, including across side streets. Cyclist will be separated as far as possible from traffic.</p>					
Design principles	<p>STREET LAYOUT</p> <ul style="list-style-type: none"> • BASIC Minimum width of footway: <ul style="list-style-type: none"> - Strategic streets: absolute min. 3m (only allowed in short sections), desirable min 5m or wider. - Secondary streets: absolute min. 2.5m (only allowed in short sections), desirable min 4m or wider. - Local streets: absolute min. 2m (only allowed in short sections), desirable min 3m or wider. - Maximise clear "walking zone" (absolute minimum 1.5m - only allowed in short sections) Minimise corner radii (maximum 3m for all street types, desirable max 1m only for local streets) Provide pedestrian crossing points (controlled or uncontrolled crossings) every 50-100m, ideally associated with entrances to major buildings. Consider raised crossings and signalised/zebra crossings at strategic points. Locate them at or near junctions to respect pedestrian desire lines. 					<p>Factsheet reference</p> <p>C1-1-b and C1-1-a</p> <p>C4-1-b</p> <p>C1-2 (all l/s)</p>

Reference to relevant factsheet section

Special Design Considerations

Some specific local design factors may need to be addressed as part of the design process. Examples of these Special Design Considerations include:

- World Heritage Site, conservation areas and listed buildings, Natural Heritage and biodiversity designations areas that are otherwise visually distinct or historically important
- areas that may require increased social and pedestrian space such as squares and significant streets, street junctions and intersection; and
- areas outside buildings such as schools, pubs, local shops or at bus stops or rail stations
- streets that front onto water (coastal or river) and important greenspace (parks and gardens)
- footpaths
- foot/cycle paths
- Active Travel Action Plan (ATAP) Quiet Routes

These design factors are important in delivering Edinburgh's vision and objectives and should apply across the standard street types.

Some of the key principles related to these streets and places are outlined overleaf in the following principles sheets.



Special Streets and Places

There will be a number of exceptions and unique locations which require special treatment; examples include:

- Royal Mile
- Princes Street
- George Street (with squares)
- Grassmarket
- The Shore
- Queensferry High Street
- Melville Drive
- Old Town's closes and stairs

The overall vision and objectives for street and design set out in this guidance are relevant for these special streets and places. They should be used as a basis for any design proposals, in the first instance, along with any more specific local objectives.

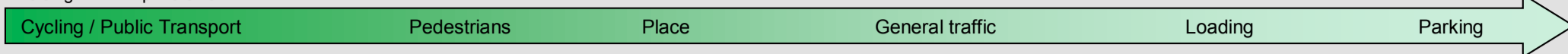
When considering significant or full reconstruction of these streets, their unique nature means that it is important that creativity and innovation is not stifled by an overly generic approach to design. It is therefore recommended that objectives, suitably prioritised, should form the basis of a collaborative/corporate based design approach.

For maintenance and more limited reconstruction, the most appropriate principles sheets (eg primary and secondary retail) as well as any specific design codes already in place, should be used to inform the design.

Design Emphasis

Place	Pedestrians	Cycling / Public Transport	Loading	General traffic	Parking
<p>Retail / High Streets have an important and valued role to the whole city, district or neighbourhood. They typically comprise of shops along a street frontage at the ground floor level, often mixed with other land uses between or above them such as non-retail employment (e.g. offices), restaurants, offices, hotels, tenement flats or other types of private residence. There is significant amount of pedestrian activity associated with the movement of people along these streets. There are also high levels of kerbside activity generated by parking, loading and public transport. They can be centres of civic pride with important buildings, squares and spaces. These functions should be understood and incorporated in the design. Street design must cater for retail, leisure and social needs as well as the needs of people walking, cycling, public transport. Private motor traffic should generally be accommodated but not prioritised. Pedestrians should have priority across side streets. Cyclists should be separated as far as possible from traffic.</p>					
STREET LAYOUT					Factsheet reference
<ul style="list-style-type: none"> BASIC 					
Minimum width of footway - strategic and secondary streets: general min 2.5m, desirable min 3m or wider. Local streets: general min 2m, desirable min 2.5m or wider. Maximise clear "walking zone" (absolute min:1.5m - only allowed in short sections, bus stops 1m).					P3, F1
Minimise corner radii (desirable max 3m for majority street types, 1m for local streets).					G6, G1, P2
Provide pedestrian crossing points (controlled or uncontrolled crossings) every 50-100m, preferably on desire lines, e.g. at/near side roads or entrances to significant buildings. Consider raised crossings and signalised/zebra crossings at strategic points. Locate them at or near junctions to respect pedestrian desire lines. Avoid staggered crossings.					G4, G5, P2, M4
Provide pedestrian phases on all signalised junction arms and consider X (all green) crossing.					G4, G8
Review existing Traffic Regulation Orders (TRO's). Make all crossing points suitable for wheelchairs and protected from parking/loading.					G4, M4
Introduce waiting restrictions to protect all corners and, if required, the opposite kerbside of T-junctions, from parking and loading.					P2, G9
No new vehicular footway crossovers to be introduced on strategic and secondary streets. Remove obviously redundant footway crossovers. At new and existing vehicle crossovers retain an evenly graded walking zone of at least 1.5m wide, preferably 2m or more.					P4
If the street forms part of the ATAP Quiet Routes Network (GIS) or the network crosses the street, provide or at least future proof specific cycle provision of a suitable standard - consult active travel team.					C1, C2, C3, C4
Provide Advanced Stop Lines at all signalised junctions.					G8
Provide cycle parking for visitors and commuters.					C7, C6
Reduce the amount of kerbside devoted to parking and loading to support cycle/bus facilities and increases in pedestrian space.					C1, G9, PT1
Consider providing bus boarders where minimum clear footway width of 1m can't be obtained (consider implications for cyclists) otherwise provide bus stop clearway of min 25m at every stop.					PT2, P3,F1
<ul style="list-style-type: none"> STANDARD 					
Install continuous footways at uncontrolled sideroad junctions (depending on vehicle flow).					G7, P2, P3
Consider raised junctions incorporating full carriageway width of main road at key junctions.					G8, G4
Consider shared space at key junctions/locations, public transport interchanges etc.					P8, G6
Consider provision of mandatory or segregated cycle lanes on strategic and secondary streets especially where traffic volumes are high. Connect them to ATAP Quiet Routes Network (GIS) .					C1, C2, C3, C4
Consider bus lanes with parking/loading restrictions on strategic and secondary streets or other priority measures.					PT3, G9
Consider retrofit SUDS e.g. bioretention, swales etc.					W1
<ul style="list-style-type: none"> INNOVATIVE 					
Clear width of carriageway: Strategic and secondary streets: min 6m (6.5m for bus routes); Local streets min 4.5m.					G2
Design speed for streets is 20mph, including bus routes.					G6
Consider full shared space as part of a comprehensive approach to wider traffic management, but only with measures to avoid random/footway parking.					P8, G6
Incorporate SUDS features (swales, ponds, basins, bioretention, etc).					W1
Utility service zone generally within footways, where possible min 2.5m wide and 2m deep. Local widening of utility zone maybe required to accommodate junction boxes.					F4, G9
FABRIC/MATERIALS					Factsheet reference
<ul style="list-style-type: none"> BASIC 					
Localised repairs to footway and carriageway (including surface treated cycle and bus lanes) must be in original material. Consider overlay or surface dressing to improve skid resistance (only where required), enhance appearance or extend life.					M1
Footways in paving slabs (PCC or natural stone).					M1, M3
Contrasting grey tactile paving/ cycle warning paving.					M4
Consistent use of materials (no breaks for driveways etc unless historic materials. In this situation use flat-topped setts)					M1, M6
If streets are settled then setts should be replaced with flat-topped at crossing points for wheelchairs, prams etc. use.					M1, M3, M6
Provide completely smooth walking zone surface (min 1.5m wide) suitable for wheelchairs, prams etc.					M1, M3, P3
Use Pre-Cast Concrete (PCC) kerbing and edging outside Conservation Areas, unless whinstone is currently used. Standard kerb height 75-100mm. Consider retention of natural materials.					M1, M3
Carriageway HRA Asphalt or SMA. Review antiskid locations/requirements.					M5
Cycle lanes and bus lanes - red chipped HRA surfacing (applied red surface on cycle lanes at safety-critical locations)					C2, PT3
Bus stops kerb upstand 70-100mm.					PT2
Minimise road markings. Generally, omit centreline on 20 mph secondary and local streets that have only one general traffic lane in either direction.					P7, G3
<ul style="list-style-type: none"> STANDARD 					
Consider natural materials for kerbs.					M1
Consider recessed utility covers in consultation with the utility suppliers.					F1
Consider soft landscaping and street trees to conserve and enhance townscape character and for SUDS - discuss with Planning / Forestry and Natural Heritage as early as possible.					F5, W1
Consider retrofit SUDS materials e.g. permeable paving, etc.					W1
Consider different/high quality materials to enhance streets as places.					M1,P1
FURNITURE/FEATURES					Factsheet reference
<ul style="list-style-type: none"> BASIC 					
Consolidate street poles and signs etc to declutter the street. Follow de-cluttering Assessment process.					P7, F1
Presumption against guardrail - Apply Guardrail Assessment Process for removal, retention and installation of new.					P5
Clear walking zone (absolute min 1.5 m, bus stops 1m if unavoidable) from obstructions: relocate street furniture & features outside walking zone close to the kerb or buildings.					P3, P7
Locate domestic bins & recycling units off street & public bins on footways, outside the walking zone.					F4, P7, P3
Furniture set back from kerb to be 200-300mm where 450mm set back doesn't allow 2m clear walking zone.					F1, P3
Provide frequent seating and litter bins (contact Waste and Cleansing teams).					F2, F4
Visitor and commuter cycle parking will be Sheffield stands or cycle hoops. Communal residents' cycle parking will be lockable compound/container.					C7, C6
Provide bus shelter, preferably with seating, at all stops (check current furniture contract/shelter requirements/notice boards). Contact public transport team.					PT2
Locate signage on walls/ boundaries and other street furniture. Utilise existing poles to avoid erecting new ones.					F3, P3
Utility chambers to be replaced if worn and if redundant, to be removed. Do not place new ones in walking zone.					P3, P7
Protect existing trees, and replace dead trees - discuss with Forestry Service, Parks, Green Space and Cemeteries as early as possible.					F5
<ul style="list-style-type: none"> STANDARD 					
Consider provision for city dressing/ events infrastructure. Also consider CCTV requirements.					P3
Provide street lighting, aluminium columns or preferably wall mounted.					F6
Assess and provide community and retail information; and wayfinding and directional signage. Locate on walls/boundaries or existing street furniture.					F3
Street furniture to form a family of materials and styles.					F1
<ul style="list-style-type: none"> INNOVATIVE 					
Minimise street furniture, signage and road markings, to minimise visual impact and obstruction of pedestrian space.					P7,F1,P2
Use street furniture and planting as part of speed control strategy and to encourage activity on street.					G6,F1,F5

Design Emphasis



STREET LAYOUT		Factsheet reference
• BASIC		
Minimum width of footway - strategic and secondary streets: general min 2.5m, desirable min 3m or wider. Local streets: general min 2m, desirable min 2.5m or wider.		P3, F1
Maximise clear "walking zone" (absolute min:1.5m - only allowed in short sections, bus stops: 1m).		
Minimise corner radii (desirable max 3m for majority street types, 1m for local streets).		G6, G1, P2
Provide pedestrian crossing points (controlled or uncontrolled crossings) every 50-100m, preferably on desire lines, e.g. to serve major building entrances. Consider raised crossings and signalised/zebra crossings at strategic points. Locate them at or near junctions to respect pedestrian desire lines. Avoid staggered crossings.		G4, G5, P2, M4
Provide pedestrian phases on all signalised junction arms and consider X (all green) crossing.		G4, G8
Review existing Traffic Regulation Orders (TRO's). Make all crossing points suitable for wheelchairs and protected from parking/loading.		G4, M4
Introduce waiting restrictions to protect all corners and, if required, the opposite kerbside of T-junctions, from parking and loading.		P2, G9
No new vehicular footway crossovers to be introduced on strategic and secondary streets. Remove obviously redundant footway crossovers. At new and existing vehicle crossovers retain an evenly graded walking zone of at least 1.5m wide.		P4
If the street forms part of the ATAP Quiet Routes Network (GIS) or the network crosses the street, provide or at least future proof specific cycle provision of a suitable standard - consult cycle team.		C1, C2, C3, C4
Provide Advanced Stop Lines at all signalised junctions.		G8
Provide cycle parking for visitors, and commuters if off-street provision is likely to be difficult for building occupiers.		C7, C6
Reduce the amount of kerbside devoted to parking and loading to support cycle/bus facilities and increases in pedestrian space.		C1, G9, PT1
Consider providing bus boarders where minimum clear footway width of 1m can't be obtained (consider implications for cyclists) otherwise provide bus stop clearway of min 25m at every stop.		PT2, P3,F1
• STANDARD		
Install continuous footways at uncontrolled sideroad junctions (depending on vehicle flow).		G7, P2, P3
Consider raised junctions incorporating full carriageway width of main road at key junctions.		G8, G4
Consider shared space at key junctions/locations, public transport interchanges etc.		P8, G6
Consider provision of mandatory or segregated cycle lanes on strategic and secondary streets especially where traffic volumes/speeds are high. Connect them to ATAP Quiet Routes Network (GIS) .		C1, C2, C3, C4
Consider bus lanes with parking/loading restrictions on strategic and secondary streets or other priority measures.		PT3, G9
Consider retrofit SUDS e.g. bioretention, swales		W1
• INNOVATIVE		
Clear width of carriageway: Strategic and secondary streets: min 6m (6.5m for bus routes); Local streets min 4.5m.		G2
Design speed is 20mph, including bus routes.		G6
Consider full shared space as part of a comprehensive approach to wider traffic management, but only with means to avoid random/footway parking.		P8, G6
Incorporate SUDS features (swales, ponds, basins, bioretention, etc).		W1
Utility service zone generally within footways, where possible min 2.5m wide and 2m deep. Local widening of utility zone maybe required to accommodate junction boxes.		F4, G9
FABRIC/MATERIALS		
• BASIC		
Localised repairs to footway and carriageway (including surface treated cycle and bus lanes) must be in original material. Consider overlay or surface dressing to improve skid resistance (only where required), enhance appearance or extend life.		M1
Consider using paving slabs on strategic or secondary streets, and retaining slabs if already in place on other streets. Slabs are most likely to be appropriate in higher use areas – e.g. where there is a concentration of large employers or at frontages to shops and public buildings. Elsewhere HRA.		M1, M3
Contrasting grey tactile paving/ cycle warning paving.		M4
Consistent use of materials (no breaks for driveways etc unless historic materials. In this situation use flat-topped setts).		M1, M6
If streets are settled then setts should be replaced with flat-topped at crossing points for wheelchairs, prams etc. use.		M1, M3, M6
Provide completely smooth walking zone surface (min 1.5m wide) suitable for wheelchairs, prams etc.		M1, M3, P3
Use Pre-Cast Concrete (PCC) kerbing and edging outside Conservation Areas, unless whinstone is currently used.		M1, M3
Standard kerb height 75-100mm. Consider retention of natural materials.		M1, M3
Carriageway HRA Asphalt or SMA. Review antiskid locations/requirements.		M5
Cycle lanes and bus lanes - red chipped HRA surfacing (applied red surface on cycle lanes at safety-critical locations).		M5
Bus stops kerb upstand 70-100mm.		PT2
Minimise road markings. Generally, omit centreline on 20 mph secondary and local streets that have only one general traffic lane in either direction.		P7, G3
• STANDARD		
Consider natural materials for kerbs.		M1
Consider recessed utility covers in consultation with the utility suppliers.		F1
Consider soft landscaping and street trees to conserve and enhance townscape character and for SUDS - discuss with Planning / Parks as early as possible.		F5, W1
Consider retrofit SUDS materials e.g. permeable paving, etc.		W1
FURNITURE/FEATURES		
• BASIC		
Consolidate street poles and signs etc to declutter the street. Follow De-cluttering Assessment process.		P7, F1
Presumption against guardrail - Apply Guardrail Assessment Process for removal, retention and installation of new.		P5
Clear walking zone (absolute min 1.5m, bus stops 1m) from obstructions: relocate street furniture & features outside walking zone close to the kerb or buildings		P3, P7
Locate domestic bins & recycling units off street or on carriageway (consider implications for cycling) & public bins on footways, outside the walking zone		F4, P7, P3
Furniture set back from kerb to be 200-300mm where 450mm set back doesn't allow 1.5m clear walking zone.		F1, P3
Provide frequent seating and litter bins (contact Waste and Cleansing teams).		F2, F4
Visitor and commuter cycle parking will be Edinburgh stands or cycle hoops.		C7, C6
Provide bus shelter, preferably with seating, at all stops (check current furniture contract/shelter requirements/notice boards): contact Public Transport Team.		PT2
Locate signage on walls/ boundaries and other street furniture. Utilise existing poles to avoid erecting new ones.		F3, P3
Utility chambers to be replaced if worn and if redundant, to be removed. New ones are not to be placed in walking zone.		P3, P7
Protect existing trees, and replace dead trees - discuss with Forestry Service, Parks, Green Space and Cemeteries as early as possible.		F5
• STANDARD		
Consider provision for city dressing/ events infrastructure. Also consider CCTV requirements.		P3
Provide street lighting, aluminium columns or preferably wall mounted.		F6
Assess and provide community and retail information; and wayfinding and directional signage located on walls/boundaries or existing street furniture.		F3
Street furniture to form a family of materials and styles.		F1
• INNOVATIVE		
Minimise street furniture, signage and road markings, to minimise visual impact and obstruction of pedestrian space.		P7,F1,P2
Use street furniture and planting as part of speed control strategy and to encourage activity on street.		G6,F1,F5

Design Emphasis

Place	Pedestrians	Cycling / Public Transport	General traffic	Parking	Loading
<p>High-density residential streets typically consist of traditional multi-storey tenements, 3 or more storey terraces, 'colony' housing as well as newer high-density apartments often with unconventional street layouts and building accesses that may depart from traditional street patterns. They are sometimes mixed with retail and/or non-retail employment. Design for high density residential streets should emphasise social spaces, the pedestrian environment and safe cycling. Street furniture such as seating, bins, cycle and motorcycle parking, and bus shelters will be highly relevant.</p>					
STREET LAYOUT					Factsheet reference
<ul style="list-style-type: none"> BASIC 					
Minimum width of footway - strategic and secondary streets: general min 2.5m, desirable min 3m or wider. Local streets: general min 2m, desirable min 2.5m or wider.					P3, F1
Maximise clear "walking zone" (absolute min:1.5m - only allowed in short sections, bus stops 1m)					
Minimise corner radii (desirable max 3m for majority street types, 1m for local streets)					G6, G1, P2
Provide pedestrian crossing points (uncontrolled or controlled crossings) every 50-100m. Consider raised crossings and signalised/zebra crossings at strategic points. Locate them at or near junctions to respect pedestrian desire lines. Avoid staggered crossings.					G4, G5, P2, M4
Provide pedestrian phases on all signalised junction arms.					G4, G8
Review existing Traffic Regulation Orders (TRO's). Make all crossing points suitable for wheelchairs and protected from parking/loading.					G4, M4
Introduce waiting restrictions to protect all corners and, if required, the opposite kerbside of T-junctions, from parking and loading.					P2, G9
No new vehicular footway crossovers to serve existing developments to be introduced on strategic and secondary streets. Remove obviously redundant footway crossovers. At new and existing vehicle crossovers retain an evenly graded walking zone of at least 1.5m wide.					P4
If the street forms part of the ATAP Quiet Routes Network (GIS) or the network crosses the street, provide or at least future proof specific cycle provision of a suitable standard - consult active travel team.					C1, C2, C3, C4
Provide Advanced Stop Lines at all signalised junctions.					G8
Provide cycle parking for residents and visitors.					C7, C6
Reduce the amount of kerbside devoted to parking and loading to support cycle/bus facilities on strategic and secondary streets.					C1, G9, PT1
Consider providing bus boarders where minimum footway clear width of 1m can't be obtained (consider implications for cyclists) otherwise provide bus stop clearway of min 25m at every stop on strategic and secondary streets.					PT2, P3, F1
<ul style="list-style-type: none"> STANDARD 					
Consider installing continuous footways at uncontrolled side road junctions.					G7, P2, P3
Consider raised junctions incorporating full carriageway width of main road at key junctions.					G8, G4
Consider shared space at squares, key junctions/locations, public transport interchanges etc.					P8, G6
Consider provision of mandatory or segregated cycle lanes on strategic and secondary streets especially where traffic volumes/speeds are high. Provide if on ATAP Quiet Routes Network (GIS) , and consider connection to this network.					C1, C2, C3, C4
Consider bus lanes with parking/loading restrictions or other priority measures on strategic and secondary streets (consult Public Transport team).					PT3, G9
Consider retrofit SUDS e.g. bioretention, swales, etc.					W1
<ul style="list-style-type: none"> INNOVATIVE 					
Clear width of carriageway: Strategic and secondary streets: min 6m (6.5m for bus routes); Local streets min 4.5m					G2
Design speed for secondary and local streets is 20mph, including bus routes. Consider 20mph for strategic streets.					G6
Consider full shared space as part of a comprehensive approach to wider traffic management, with means to avoid random/footway parking.					P8, G6
Incorporate SUDS features (swales, ponds, basins, filter strips, bioretention, etc)					W1
Utility service zone generally within footways, where possible min 2.5m wide and 2m deep. Local widening of utility zone maybe required to accommodate junction boxes.					F4, G9
FABRIC/MATERIALS					Factsheet reference
<ul style="list-style-type: none"> BASIC 					
Localised repairs to footway and carriageway (including surface treated cycle and bus lanes) must be in original material. Consider overlay or surface dressing to improve skid resistance (only where required), enhance appearance or extend life.					M1
Use paving slabs on strategic or secondary streets. Consider retaining if already in place on other streets. Also utilise in higher use locations (e.g. squares, frontages to shops and public buildings). Elsewhere HRA.					M1, M3
Contrasting grey tactile paving/ cycle warning paving.					M4
Consistent use of materials (no breaks for driveways etc unless historic materials. In this situation use flat-topped setts).					M1, M6
If streets are settled then setts should be replaced with flat-topped at crossing points for wheelchairs, prams etc. use.					M1, M3, M6
Provide completely smooth walking zone surface (min 1.5m wide) suitable for wheelchairs, prams etc.					M1, M3, P3
Use Pre-Cast Concrete (PCC) kerbing and edging outside Conservation Areas, unless whinstone is currently used.					M1, M3
Standard kerb height 70-100mm. Presumption in favour of retaining natural materials.					
Carriageway HRA Asphalt or SMA. Review antiskid locations/requirements.					M5
Cycle lanes and bus lanes - red chipped HRA surfacing (applied red surface on cycle lanes at safety-critical locations).					C2, PT3
Bus stops kerb upstand 70-100mm.					PT2
Minimise road markings. Generally, omit centreline on 20 mph secondary and local streets that have only one general traffic lane in either direction.					P7, G3
<ul style="list-style-type: none"> STANDARD 					
Consider natural materials for kerbs.					M1
Consider recessed utility covers in consultation with the utility suppliers.					F1
Consider soft landscaping and street trees to conserve and enhance townscape character and for SUDS - discuss with Planning / Forestry and Natural Heritage as early as possible.					F5, W1
Consider retrofit SUDS materials e.g. permeable paving, etc.					W1
FURNITURE/FEATURES					Factsheet reference
<ul style="list-style-type: none"> BASIC 					
Consolidate street poles and signs etc to declutter the street. Follow De-Cluttering Assessment process.					P7, F1
Presumption against guardrail - Apply Guardrail Assessment Process for removal, retention and installation of new.					P5
Clear walking zone (absolute min 1.5 m, bus stops 1m if unavoidable) from obstructions - relocate street furniture and features outside walking zone closer to the kerb or buildings.					P3, P7
Locate domestic bins and recycling units off street or on carriageway (consider implications for cycling) and public bins on footways (outside the walking zone).					F4, P7, P3
Furniture set back from kerb to be 200-300mm where 450mm set back doesn't allow 1.5m clear walking zone.					F1, P3
Provide seating and litter bins (contact Waste and Cleansing teams).					F2, F4
Visitor cycle parking to be Edinburgh stands or cycle hoops. Communal residents' cycle parking preferred to be lockable compound/container.					C7, C6
Provide bus shelter, preferably with seating, at all bus stops (check current furniture contract, shelter requirements, notice boards etc) - contact public transport team.					PT2
Locate signage on walls/ boundaries and other street furniture. Utilise existing poles to avoid erecting new ones.					F3, P3
Utility chambers to be replaced if worn and if redundant, to be removed. Do not place new ones in walking zone.					P3, P7
Protect existing trees, and replace dead trees - discuss with Forestry Service, Parks, Green Space & Cemeteries as early as possible.					F5
<ul style="list-style-type: none"> STANDARD 					
Minimise street furniture, signage and road markings, to minimise visual impact and obstruction of pedestrian space.					P7,F1,P2
Consider provision for city dressing/ events infrastructure on strategic and secondary streets. Also consider CCTV requirements.					P3
Provide street lighting, aluminium columns or preferably wall mounted.					F6
Assess and provide community information; and wayfinding and directional signage. Locate them on walls/boundaries and other street furniture.					F3
Street furniture to form a family of materials and styles.					F1
<ul style="list-style-type: none"> INNOVATIVE 					
Use street furniture and planting as part of speed control strategy and to encourage activity on street.					G6,F1,F5

Design Emphasis

Place / Pedestrians	Cycling / Public Transport	General traffic	Parking	Loading
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Medium density residential streets , typically consist of 2-3 storey terraced housing, villas, apartments or closely spaced semi-detached housing.	
STREET LAYOUT	Factsheet reference
<ul style="list-style-type: none"> BASIC 	
Minimum width of footway - strategic streets: general min 2.5m, desirable min 3m or wider. Secondary streets: general min: 2.5m, desirable min 2.5m. Local streets: general min 2m, desirable min 2.5m or wider. Maximise clear "walking zone" (absolute min:1.5m - only allowed in short sections, bus stops 1m).	P3, F1
Minimise corner radii (desirable max 3m for majority of street types, 1m for local streets).	G6, G1, P2
Provide pedestrian crossing points (generally uncontrolled) every 50-100m. Consider raised crossings and signalised/zebra crossings at strategic points. Locate them at or near junctions to respect pedestrian desire lines. Avoid staggered crossings.	G4, G5, P2, M4
Provide pedestrian phases on all signalised junction arms.	G4, G8
Review existing Traffic Regulation Orders (TRO's). Make all crossing points suitable for wheelchairs and protected from parking/loading.	G4, M4
Introduce waiting restrictions to protect all corners and, if required, the opposite kerbside of T-junctions, from parking and loading.	P2, G9
Remove obviously redundant footway crossovers. At new and existing vehicle crossovers retain an evenly graded walking zone of at least 1.5m wide.	P4
If the street forms part of an ATAP Quiet Routes Network (GIS) or the network crosses the street, provide or at least future proof specific cycle provision of a suitable standard - consult active travel team.	C1, C2, C3, C4
Provide Advanced Stop Lines at all signalised junctions.	G8
Consider providing cycle parking for residents and visitors.	C7, C6
Reduce the amount of kerbside devoted to parking and loading to support cycle/bus facilities on strategic and secondary streets.	C1, G9, PT1
Consider providing bus boarders where minimum clear footway width of 1m can't be obtained (consider implications for cyclists) otherwise provide bus stop clearway of min 25m at every stop on strategic and secondary streets.	PT2, P3,F1
<ul style="list-style-type: none"> STANDARD 	
Consider installing continuous footways at uncontrolled sideroad junctions.	G7, P2, P3
Consider raised junctions incorporating full carriageway width of main road at key junctions.	G8, G4
Consider shared space at squares, key junctions/locations, public transport interchanges etc.	P8, G6
Consider provision of mandatory or segregated cycle lanes on strategic and secondary streets especially where traffic volumes/speeds are high. Provide if on ATAP Quiet Routes Network (GIS) , and consider connection to this network.	C1, C2, C3, C4
Consider locating bus lanes with parking/loading restrictions or other priority measures, on strategic and secondary streets (consult Public Transport team).	PT3, G9
Consider retrofit SUDS e.g. bioretention, swales, etc.	W1
<ul style="list-style-type: none"> INNOVATIVE 	
Clear width of carriageway: Strategic and secondary streets: min 6m (6.5m for bus routes); Local streets min 4.5m.	G2
Design speed for secondary and local streets is 20mph, including bus routes.	G6
Consider full shared space as part of a comprehensive approach to wider traffic management, with measures to avoid random/footway parking.	P8, G6
Incorporate SUDS features (swales, ponds, basins, filter strips, bioretention, etc).	W1
Utility service zone generally within footways, where possible min 2.5m wide and 2m deep. Local widening of utility zone may be required to accommodate junction boxes.	F1
FABRIC/MATERIALS	Factsheet reference
<ul style="list-style-type: none"> BASIC 	
Localised repairs to footway and carriageway (including surface treated cycle and bus lanes) must be in original material. Consider overlay or surface dressing to improve skid resistance (if required), enhance appearance or extend life.	M1
Footways HRA surfacing. PCC paving at special or higher use location e.g. frontages to shops, public buildings, etc.	M1, M3
Contrasting grey tactile paving/ cycle warning paving.	M4
Consistent use of materials (no breaks for driveways etc unless historic materials. In this situation use flat-topped setts)	M1, M6
If streets are settled then setts should be replaced with flat-topped at crossing points for wheelchairs, prams etc. use.	M1, M3, M6, P4
Provide completely smooth walking zone surface (min 1.5m wide) suitable for wheelchairs, prams etc.	M1, M3, P3
Use Pre-Cast Concrete (PCC) kerbing and edging outside Conservation Areas, unless whinstone is currently used. Standard kerb height 70-100mm. Presumption in favour of retaining natural materials.	M1, M3
Carriageway HRA Asphalt or SMA. Review antiskid locations/requirements.	M5
Cycle lanes and bus lanes - red chipped HRA surfacing (applied red surface on cycle lanes at safety-critical locations).	C2, PT3
Bus stops kerb upstand 70-100mm.	PT2
Minimise road markings. Generally, omit centreline on 20 mph secondary and local streets that have only one general traffic lane in each direction.	P7, G3
<ul style="list-style-type: none"> STANDARD 	
Consider natural materials for kerbs.	M1
Consider recessed utility covers in consultation with the utility suppliers.	F1
Consider soft landscaping and street trees to conserve and enhance townscape character and for SUDS - discuss with Planning / Forestry and Natural Heritage as early as possible.	F5, W1
Consider retrofit SUDS materials e.g. permeable paving, etc.	W1
FURNITURE/FEATURES	Factsheet reference
<ul style="list-style-type: none"> BASIC 	
Consolidate street poles and signs etc to declutter the street. Follow De-cluttering Assessment process.	P7, F1
Presumption against guardrail - Apply Guardrail Assessment Process for removal, retention and installation of new.	P5
Clear walking zone (absolute min 1.5 m, 1m at bus stops if unavoidable) from obstructions - relocate street furniture and features outside walking zone closer to the kerb or buildings.	P3, P7
Locate domestic bins and recycling units off street or on carriageway (consider implications for cycling) and public bins on footways (outside the walking zone).	F4, P7, P3
Furniture set back from kerb to be 200-300mm where 450mm set back doesn't allow adequate clear walking zone (1.5m local streets, 2.0m secondary/strategic).	F1, P3
Consider providing seating and litter bins (contact Waste and Cleansing teams).	F2, F4
Visitor cycle parking to be Edinburgh stands or cycle hoops. Communal residents' cycle parking preferred to be lockable compound/container.	C7, C6
Provide bus shelter, preferably with seating, at all bus stops (check current furniture contract, shelter requirements, notice boards etc) - contact public transport team.	PT2
Locate signage on walls/ boundaries and other street furniture. Utilise existing poles to avoid erecting new ones.	F3, P3
Utility chambers to be replaced if worn and if redundant, to be removed. Avoid placing new ones in walking zone.	P3, P7
Protect existing trees, and replace dead trees - discuss with Forestry Service, Parks, Green Space & Cemeteries as early as possible.	F5
<ul style="list-style-type: none"> STANDARD 	
Use street furniture and planting as part of speed control strategy and to encourage activity on street.	G6, F1, F5
Consider provision for city dressing/ events infrastructure on strategic streets. Also consider CCTV requirements.	P3
Provide street lighting, aluminium columns or preferably wall mounted.	F6
Assess and, where appropriate, provide community information; and wayfinding and directional signage. Locate them on walls/ boundaries and other street furniture.	F3
Street furniture to form a family of materials and styles.	F1
<ul style="list-style-type: none"> INNOVATIVE 	
Minimise street furniture, signage and road markings, to minimise visual impact and obstruction of pedestrian space.	P7, F1, P2

Design Emphasis

Public Transport	Pedestrians / Cycling	Place	General Traffic	Parking	Loading
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<p>Low-density residential streets include 1-2 storey and less densely spaced family dwellings such as semi-detached houses or bungalows. Houses usually have their own private frontage/gardens and off-street car parking. Design for strategic streets should generally prioritise public transport then cycling and walking. Similarly, secondary streets, while local streets will prioritise pedestrian movements and play on streets. Trees have an important role in helping provide sense of shelter and sense of enclosure on these streets.</p>	
STREET LAYOUT	Factsheet reference
<ul style="list-style-type: none"> BASIC 	
Minimum width of footway – strategic streets: general min 2m, desirable min 2.5m or wider. Secondary streets and local streets: general min 2m, desirable min 2m or wider.	P3, F1
Maximise clear “walking zone” (absolute min:1.5m - only allowed in short sections, bus stops 1m).	
Minimise corner radii (desirable max 3m for majority street types, 1m for local streets).	G6, G1, P2
Provide pedestrian crossing points (generally uncontrolled) every 100-200m. Consider raised crossings and signalised/zebra crossings at strategic points. Locate them at or near junctions to respect pedestrian desire lines. Avoid staggered crossings.	G4, G5, P2, M4
Provide pedestrian phases on all signalised junction arms.	G4, G8
Review existing Traffic Regulation Orders (TRO's). Make all crossing points suitable for wheelchairs and protected from parking/loading.	G4, M4
Introduce waiting restrictions to protect all corners and, if required, the opposite kerbside of T-junctions, from parking and loading.	P2, G9
Remove obviously redundant footway crossovers. At new and existing vehicle crossovers retain an evenly graded walking zone of at least 1.5m wide.	P4
If the street forms part of an ATAP Quiet Routes Network (GIS) or the network crosses the street, provide or at least future proof specific cycle provision of a suitable standard - consult active travel team.	C1, C2, C3, C4
Provide Advanced Stop Lines at all signalised junctions.	G8
Provide cycle parking for visitors at strategic locations such as shops, libraries, etc.	C7, C6
Reduce the amount of kerbside devoted to parking and loading to support cycle/bus facilities on strategic and secondary streets.	C1, G9, PT1
Consider providing bus boarders where minimum footway width of 1m can't be obtained (consider implications for cyclists) otherwise provide bus stop clearway of min 25m at every stop on strategic and secondary streets.	PT2, P3,F1
<ul style="list-style-type: none"> STANDARD 	
Consider raised junctions incorporating full carriageway width of main road at key junctions.	G8, G4
Consider full length shared space, if problems of footway parking but only if parking is fully controlled.	P8, G6
Consider provision of mandatory or segregated cycle lanes on strategic and secondary streets especially where traffic volumes/speeds are high. Provide if on ATAP Quiet Routes Network (GIS) , and consider connections to this network.	C1, C2, C3, C4
Consider bus lanes with parking/loading restrictions or other priority measures on strategic and secondary streets.	PT3, G9
Consider retrofit SUDS e.g. bioretention, swales etc.	W1
<ul style="list-style-type: none"> INNOVATIVE 	
Clear width of carriageway: Strategic and secondary streets: min 6m (6.5m for bus routes); Local streets min 4.5m.	G2
Design speed for most secondary streets (except if ≥ 12 buses per hour 2 way) and local streets is 20mph.	G6
Consider full shared space as part of a comprehensive approach to wider traffic management, but only if parking is fully controlled.	P8, G6
Incorporate SUDS features (swales, ponds, basins, filter strips, bioretention, etc).	W1
Utility service zone generally within footways, where possible min 2.5m wide and 2m deep. Local widening of utility zone maybe required to accommodate junction boxes.	F4, G9
FABRIC/MATERIALS	Factsheet reference
<ul style="list-style-type: none"> BASIC 	
Localised repairs to footway and carriage way (including surface treated cycle and bus lanes) must be in original material. Consider overlay or surface dressing to improve skid resistance (only where required), enhance appearance or extend life.	M1
Footways generally in HRA. Consider PCC paving at strategic locations or higher use locations e.g. shops, public building etc.	M1, M3
Contrasting grey tactile paving/ cycle warning paving.	M4
Consistent use of materials (no breaks for driveways etc unless historic materials. In this situation use flat-topped setts)	M1, M6
If streets are settled then setts should be replaced with flat-topped at crossing points for wheelchairs, prams etc. use.	M1, M3, M6, P4
Provide completely smooth walking zone surface (min 1.5m wide) suitable for wheelchairs, prams etc.	M1, M3, P3
Use Pre-Cast Concrete (PCC) kerbing and edging outside Conservation Areas, unless whinstone is currently used.	
Standard kerb height 700-100mm. Consider retention of natural materials.	M1, M3
Carriageway HRA Asphalt or SMA. Review antiskid locations/requirements.	M5
Cycle lanes and bus lanes - red chipped HRA surfacing (applied red surface on cycle lanes at safety-critical locations).	C2, PT3
Bus stops kerb upstand 70-100mm.	PT2
Minimise road markings. Generally, omit centreline on 20 mph secondary and local streets that have only one general traffic lane in either direction.	P7, G3
<ul style="list-style-type: none"> STANDARD 	
Consider natural materials for kerbs.	M1
Consider soft landscaping and street trees to conserve and enhance townscape character and for SUDS - discuss with Planning / Forestry and Natural Heritage as early as possible.	F5, W1
Consider retrofit SUDS materials e.g. permeable paving etc.	W1
FURNITURE/FEATURES	Factsheet reference
<ul style="list-style-type: none"> BASIC 	
Consolidate street poles and signs etc to declutter the street. Follow De-cluttering Assessment process.	P7, F1
Presumption against guardrail - Apply Guardrail Assessment Process for removal, retention and installation of new.	P5
Clear walking zone (absolute min 1.5 m, 1m at bus stops if unavoidable) from obstructions - relocate street furniture and features outside walking zone closer to the kerb or buildings.	P3, P7
Locate domestic bins and recycling units off street or on carriageway (consider implications for cycling) and public bins on footways (outside the walking zone).	F4, P7, P3
Furniture set back from kerb to be 200-300mm where 450mm set back doesn't allow 1.5m clear walking zone.	F1, P3
Consider providing seating and litter bins (contact Waste and Cleansing teams) on strategic and secondary streets.	F2, F4
Visitor cycle parking to be Edinburgh stands or cycle hoops.	C7, C6
Provide bus shelter, preferably with seating, at all bus stops (check current furniture contract, shelter requirements, notice boards etc) - contact Public Transport team.	PT2
Locate signage on walls/ boundaries and other street furniture. Utilise existing poles to avoid erecting new ones.	F3, P3
Utility chambers to be replaced if worn and if redundant, to be removed. New ones should not be placed in walking zone.	P3, P7
Protect existing trees, and replace dead trees - discuss with Forestry Service, Parks, Green Space and Cemeteries as early as possible.	F5
<ul style="list-style-type: none"> STANDARD 	
Provide street lighting, aluminium columns or preferably wall mounted.	F6
Consider CCTV requirements	P3
Consider providing community information; and wayfinding and directional signage.	F3
Street furniture to form a family of materials and styles.	F1
<ul style="list-style-type: none"> INNOVATIVE 	
Minimise street furniture, signage and road markings, to minimise visual impact and obstruction of pedestrian space.	P7,F1,P2
Use street furniture and planting as part of speed control strategy and to encourage activity on street.	G6,F1,F5

Design Emphasis



<p>Industrial employment streets include activities related to industrial manufacturing, distribution and sale of industrial goods etc. They often have very little frontage and are in industrial estates.</p>	
STREET LAYOUT	Factsheet reference
<ul style="list-style-type: none"> BASIC 	
Minimum width of footway - strategic and secondary streets: general min 2m, desirable min 3m or wider. Local streets: general min 2m, desirable min 2.5m or wider. Maximise clear "walking zone" (absolute min:1.5m - only allowed in short sections, bus stops 1m).	P3, F1
Corner radii- where possible, reduce to maximum 6m, consistent with the following: Vehicle tracking to ensure appropriate radii for required HGV manoeuvres. Use of full width of minor roads to make turns is acceptable. Cars and light vans should be able to make turns at junctions with secondary roads without impinging onto opposing traffic. All vehicles should be able to make turns at junctions onto strategic roads without impinging onto opposing traffic.	G6, G1, P2
Provide pedestrian crossing points (controlled or uncontrolled crossings) at least every 100 m on strategic, 50 m on secondary and local streets. Locate them at or near junctions to respect pedestrian desire lines. Avoid staggered crossings.	G4, G5, P2, M4
Provide pedestrian phases on all signalised junction arms and consider X (all green) crossing at junctions with heavy pedestrian use.	G4, G8
Review existing Traffic Regulation Orders (TRO's). Make all crossing points suitable for wheelchairs and protected from parking/loading.	G4, M4
Introduce waiting restrictions to protect all corners and, if required, the opposite kerbside of T-junctions, from parking and loading.	P2, G9
Remove obviously redundant footway crossovers. At new and existing vehicle crossovers retain an evenly graded walking zone of at least 1.5m wide.	P4
If the street forms part of an ATAP Quiet Routes Network (GIS) or the network crosses the street, provide or at least future proof specific cycle provision of a suitable standard - consult Active Travel Team.	C1, C2, C3, C4
Provide Advanced Stop Lines at all signalised junctions.	G8
Provide cycle parking for visitors and (in situations where not available off street) commuters.	C7, C6
Consider providing bus boarders where minimum clear footway width of 1m can't be obtained at bus stops (consider implications for cyclists) otherwise provide bus stop clearway of min 25m at every stop.	PT2, P3,F1
<ul style="list-style-type: none"> STANDARD 	
On strategic and secondary streets with significant bus frequency, consider locating bus lanes where queuing occurs.	PT3
Reduce the amount of kerbside devoted to parking and loading to support cycle/bus facilities on strategic and secondary streets.	C1, G9, PT1
Consider provision of mandatory or segregated cycle lanes on strategic and secondary streets especially where traffic volumes/speeds are high. Provide if on ATAP Quiet Routes Network (GIS) , and consider connection to network.	
Consider retrofit SUDS e.g. bioretention, swales, etc.	
<ul style="list-style-type: none"> INNOVATIVE 	
Clear width of carriage way: (all subject to vehicle tracking). - Strategic streets: min 6m, desirably 7.3m or more. - Secondary streets: min 6m, desirably 7m or more. - Local streets min 4.5m, desirably 6m.	G2
Design speed for secondary and local streets is 20mph, including bus routes.	G6
Consider shared space at key locations, PT interchanges etc.	P8
Incorporate SUDS features (swales, ponds, basins, filter strips, bioretention, etc).	W1
Utility service zone generally within footways, where possible min 2.5m wide and 2m deep. Local widening of utility zone maybe required to accommodate junction boxes.	F1
FABRIC/MATERIALS	
<ul style="list-style-type: none"> BASIC 	
Localised repairs to footway and carriageway (including surface treated cycle and bus lanes) must be in original material. Consider overlay or surface dressing to improve skid resistance if required, enhance appearance or extend life.	M1
Footways HRA surfacing. PCC paving at special or higher use location e.g. frontages to shops, public buildings, etc.	M1, M3
Contrasting grey tactile paving/ cycle warning paving.	M4
Use Pre-Cast Concrete (PCC) kerbing and edging outside Conservation Areas, unless whinstone is currently used. Standard kerb height 70-100mm.	M1, M3
Carriageway HRA Asphalt or SMA. Review antiskid locations/requirements.	M5
Cycle lanes and bus lanes - red chipped HRA surfacing (applied red surface on cycle lanes at safety-critical locations).	C2, PT3
Minimise road markings. No centrelines on local streets with design speed of 20mph.	G3
<ul style="list-style-type: none"> STANDARD 	
Provide completely smooth walking zone surface (min 1.5m wide) suitable for wheelchairs, prams etc.	M1, M3, P3
Consider natural materials for kerbs.	M1
Incorporate SUDS measures.	W1
Bus stops kerb upstand 70-100mm.	PT2
Consider retrofit SUDS materials e.g. permeable paving etc.	W1
FURNITURE/FEATURES	
<ul style="list-style-type: none"> BASIC 	
Consolidate street poles and signs etc to declutter the street. Follow De-Cluttering Assessment process.	P7
Presumption against guardrail - Apply Guardrail Assessment Process for removal, retention and installation of new.	P5
Protect existing trees, and replace dead trees - discuss with Parks as early as possible.	F5
Clear walking zone (absolute min 1.5 m, 1m at bus stops if unavoidable) from obstructions - relocate street furniture and features outside walking zone closer to the kerb or buildings.	P3, P7
Locate domestic bins and recycling units off street or on carriageway (consider implications for cycling) and public bins on footways (outside the walking zone).	F4, P7, P3
Furniture set back from kerb to be 200-300mm where 450mm set back doesn't allow adequate clear walking zone (1.5m local streets, 2.0m secondary/strategic).	F1, P3
Consider providing seating and litter bins (contact Waste and Cleansing teams).	F2, F4
Visitor cycle parking to be Edinburgh stands or cycle hoops.	C7, C6
Provide bus shelter, preferably with seating, at all bus stops (check current furniture contract, shelter requirements, notice boards etc) - contact public transport team.	PT2
Locate signage on walls/ boundaries and other street furniture. Utilise existing poles to avoid erecting new ones.	F3, P3
Utility chambers to be replaced if worn and if redundant, to be removed. Avoid placing new ones in walking zone.	P3, P7
Protect existing trees, and replace dead trees - discuss with Forestry Service, Parks, Green Space & Cemeteries as early as possible.	F5
<ul style="list-style-type: none"> STANDARD 	
Assess and provide community information; and wayfinding and directional signage. Locate them on walls/ boundaries and other street furniture.	F3
Utility requirements (chambers replaced and removed if redundant)	P7
Furniture set back from kerb to be 200-300mm where 450mm set back doesn't allow 1.5m clear walking zone.	F1, P3
<ul style="list-style-type: none"> INNOVATIVE 	
Minimise street furniture, signage and road markings, to minimise visual impact and obstruction of pedestrian space.	P7, F1, P2
Use street furniture and planting as part of speed control strategy and to encourage activity on street.	G6, F1, F5

Design Principles

Key Principles

- Reinforce the character of the Place
- Seek to use traditional materials

These principles will be achieved by applying the following supplementary objectives:

- Innovative and creative solutions (artistic interventions)
- Create flexible spaces that allow a range of activities (future proof)
- Maintain the design philosophy of original scheme (especially with materials and details)
- Include facilities for events and city dressing etc

Edinburgh has a considerable number of areas that are specially protected. Edinburgh's network of streets pass through many of these protected areas which means that the choice of layout, the materials used and street furniture / features; such as street lighting; have to take into account the character and potential impact of any changes being made.

World Heritage Site (WHS) status is protected through the combination of its conservation area designation, the considerable number of listed buildings and natural environment designations.

Conservation areas have special architectural or historic interest. There are 49 in Edinburgh and details can be found in each report (link to CACA's).

World Heritage Site, Conservation Areas, Listed Buildings, Natural heritage and biodiversity designations



The Council must protect these areas, and there are extra rules to control building work. Conservation area management plans include more information to help protect conservation areas.

The two **management plans are for the Leith and Inverleith** conservation areas.

Listed Buildings protect both the internal as well as the external features of the building. This will include features that interface with streets, such as outbuildings, boundary walls and features such as lighting, gateways and materials such as paving and settled surfaces. Listed



buildings are afforded statutory protection which means that changes that take place that could affect its character as a building of architectural or historic interest are controlled.

Designed Landscapes, Tree Preservation Orders (TPO's) SSSI's LNR's etc protect special landscapes and areas of biodiversity. Changes to the landscape as well as the timing of work can be harmful to some habitats and species.

All of these specially protected places are mapped on the Council's GIS system and many are shown on the maps in the *Local Development Plan* for Edinburgh.

The following Principles will apply :

- **Identify** constraints or requirements that may apply if you are within or adjacent to a designated place or feature (protect, retain, preserve and enhance etc)
- **retain and protect** historic/natural features, with reference to:
 - natural stone paving or setts, kerbs and channels, mounting stones or lighting plinths, coal chutes, lighting columns, boundary walls, entrance stones, railings and original light fittings etc (link to paving the way and settled streets report at EWH)
 - areas of natural habitat, landscape and trees
 - vulnerable features/ species
- **Preserve and enhance** the character of the place, with reference to:
 - the setting to buildings, landscape, topography
 - use natural materials in the WHS and key streets in Conservation Areas

consider reproduction lighting (in the WHS or key locations) or conservation lighting

repair original lighting

repair settled streets or add new settled streets and features

replace railings/gates and improve boundary treatments

historic information and interpretation/wayfinding

- **Respect and contribute** to local character - layout and overall design arrangement and detailing with reference to:
 - proportion
 - materials
 - recognisable street pattern, building, footway, road
- Careful consideration will need to be given to introducing new trees in the World Heritage Site and Conservation Areas, including the use of temporary planting measures.

Design Principles

These special locations tend to have 24 hour activity. Designs should take account of requirements for flexibility of use and night time lighting etc. These areas will have an overriding place function. They will provide a non-transport function, such as sitting or relaxing, although will sometimes feature priority routes for through movements by foot or bike.

Edinburgh has few urban squares and its public spaces are either gardens or significant streets.

Squares and significant streets have an important role in the city for events and activities and have pedestrian priority. It is important that squares are well connected with routes and have ground floor activity to maintain surveillance at all times of the day.

Key nodes / intersections often feature key buildings and are where people naturally meet and gather together. They can have a greater amount of space than in the adjoining street network. They will provide interesting spaces including seating, vegetation, art and / or enhanced footway fabric treatments or detail.

Public Buildings and attractions will have high numbers of pedestrians. Often distinctive buildings, they will benefit from additional space around their entrances and facilities such as cycle parking and high quality/hard wearing footway fabric.

Squares and significant streets, key nodes/intersections and spaces around public buildings and attractions



Design Principles

Footpaths between places, such as neighbourhood facilities and local transport services, should be safe and easy. Links should be direct, follow desire lines and avoid deviation to minimise distances travelled. This involves looking at safe and attractive access points into and through street blocks and to and from everyday activity destinations. Design should give special consideration to the young, old and those with disabilities. Common issues include people having to walk around ‘three sides of a square’ to get around road junctions or having to wait excessive lengths of time to cross roads using multi-staged, button-controlled, crossings.

Accessibility considerations:

Surfacing: cohesive/stable, level/ well-maintained (designed to accommodate wheeled users)

Gradient: free of abrupt changes (e.G. Slopes, steps, kerbs)

Access: free from barriers such as footway obstructions (parked cars, street furniture (signs, bins), overgrown foliage/vegetation)

Continuity: continuous without gaps

Directness: shortcuts and gates to respect desire lines (filtered permeability) minimising detours

Crossings: well-designed, efficient/well-timed and direct pedestrian crossing opportunities at junctions, roundabouts and across roads - to respect desire lines

Footpaths

Safety and security considerations:

After dark security: lighting

Daytime security: cctv

Visibility: overlooked, no blind corners/alleys

Quality of space: friendly and interesting surroundings (quality of built environment, greenery, presence of people)

Comfort considerations:

Drainage: well drained and free of puddles in the wet

Cleanliness: free of litter, grime and criminal damage



Nuisance: low perceived levels of noise and air pollution

Seating: provision of regular seating opportunities

Information provision considerations:

Conspicuity: walking routes easy to find and follow

Way-finding: presence of accurate, continuous, legible directional information/signage (including destinations, distances in time, and symbols and pictures where appropriate)

Visual clues: use of landmarks, focal points or distinctive foliage



See Detailed Design Guidance (especially factsheet P6) for further information

Design Principles

Cycle Paths

Cycle paths between places such as neighbourhood facilities and local transport services should be safe and easy. Supporting facilities such as cycle parking will need to be well-designed, easy and attractive to use, and fit-for-purpose to encourage their use by cyclists.

Accessibility considerations:

Provision: Dedicated paths or shared paths with pedestrians

Gradient: Free of abrupt changes (e.g. slopes, steps, kerbs) and as shallow as possible

Width: Adequate to cater for likely future cycle and pedestrian usage. (see factsheets)

Directness: Cycle shortcuts and routes to respect desire lines (filtered permeability) minimising detours. Routes unimpeded by “no cycling” regulations

Continuity: Continuous without gaps

Passage: Routes unimpeded by permanent barriers or abrupt/sudden changes in direction

Crossings: Well-designed, efficient/well-timed and direct cycle crossing opportunities Toucan crossings allowing cyclists to cross roads mounted

Speeds: Appropriate design speeds on dedicated/off-road cycle routes for a mix of riders (e.g. 8-20+mph)

Surfacing: Cohesive/stable, level/well-maintained (including road margins)

Parking: Nearby off-site cycle parking and at local destinations (e.g. post office/ convenience store)

Conspicuity: Cycling routes easy to find and follow

Way-finding: Presence of accurate, continuous, legible directional information/signage/milestones (including destinations, distances in time, and symbols and pictures where appropriate)



See Detailed Design Guidance (especially factsheet C8) for further information

Design Principles

Edinburgh is developing a network of *Quiet Routes* specifically aimed at broadening the appeal of cycling around the city. The routes seek to cater for the many people who do not feel comfortable cycling amongst any significant volume of motorised traffic. The routes do not conform to the general movement categorisation but require specific interventions, notably high quality facilities for cyclist on busier streets or any crossings of busier streets.

Streets and paths that are part of this network should be designed in consultation with the Council's Cycle Team. As a general guide, the following principles / standards will apply:

Local Streets

The emphasis will be on providing a high standard of safe crossings where these streets join or cross secondary or strategic streets.

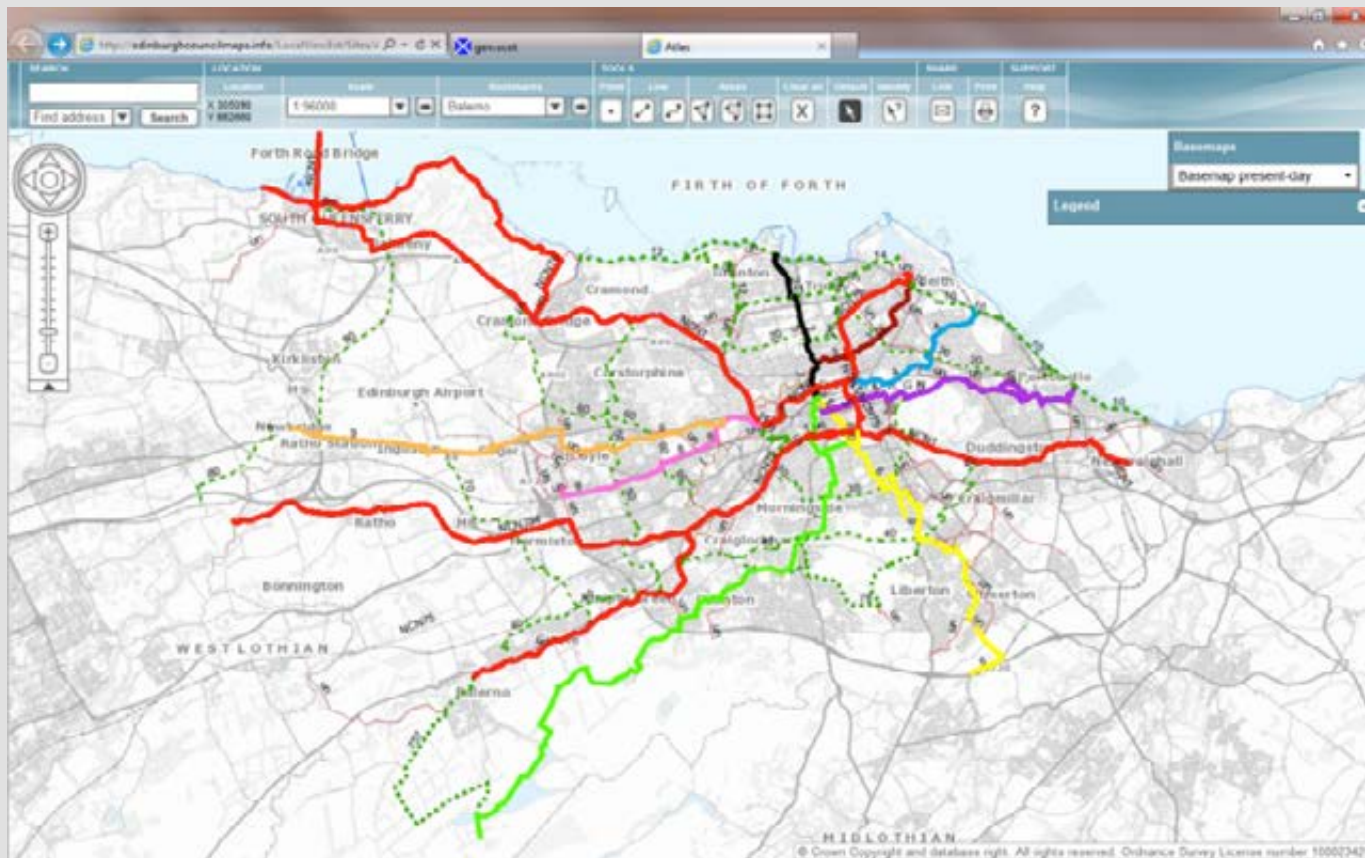
Secondary Streets

Physically segregated cycle facilities (using kerb or similar) will generally be necessary.

Strategic Streets

Physically segregated cycle facilities (using kerb or similar) will always be necessary.

Active Travel Action Plan (ATAP)'s Quiet Routes



Map of ATAP Quiet Routes on CEC's map website (<http://edinburghcouncilmaps.info/LocalViewExt/Sites/Atlas/>)

4.7 Quality Audit

A Quality Audit should be an integral part of street design. The Quality Audit process aims to allow for more innovative design solutions where overly cautious practices can be avoided in favour of creating places that are high quality and enjoyable to use.

Use the Scottish Government's Quality Audit template to prove how design reflects the essence and the requirements of this Guidance.

A Quality Audit draws together assessments relating to a range of street users. By grouping the assessments together and considering against CEC's overall street objectives and any specific local objectives, any compromises in the design will be apparent, making it easier for decision makers to view the scheme in the round. Whilst they can be used at initial design stages they add particular benefit once a design has been developed in some detail whether on an existing or new street.

A Quality Audit is not a tick box exercise, but should be integral to the design and implementation of any street design. A typical audit may include some of the following assessments but the content will depend on the type of the scheme and the objectives which the scheme is seeking to meet:

- an audit of visual quality
- a review of how the street will be used by the community;
- a Road Safety Audit;
- an inclusive access audit;
- a walking audit; and/or
- a cycle audit.

To assist with the Quality Audit process, CEC have adopted the Quality Audit template and accompanying guidance document, created by the Scottish Government for Designing Streets, which can be downloaded from the following web address:

<http://www.creatingplacesscotland.org/designing-streets/process/quality-audit>

Frequently Asked Questions

How does this guidance relate to Designing Streets (DS)?

This Edinburgh Street Design Guidance aligns with Designing Streets which will be the next point of reference for issues that are not covered.

Is the approach in this guidance likely to increase more risk than conventional designs?

The guidance itself should help justify the use of the design approach it advocates, in addition to the use of the quality audit approach. This involves balancing new risks against benefits, for example reduced risk to vulnerable users can be balanced against increased risk to less vulnerable users.

The Council aims to create successful places with fewer and less serious road casualties. To do this, the Council sets a default design speed in residential areas as 20mph; recommends the use of tighter radii at junctions for cyclist safety and pedestrian crossing convenience; supports the use of innovative concepts to create psychological traffic calming; and aims to optimise the use of pedestrian guardrail and minimum the use of signs and markings. Further justification for the design principles within this guidance can be found in Designing Streets policy.

The guidance does not deal with a particular design issue – should I revert to Design Manual for Roads and Bridges?

The appropriate guidance suitable for urban streets layout should be available within this guidance, and Designing Streets makes it clear that Design Manual for Roads and Bridges should not be used in urban

areas. There are however certain specific areas, for example in relation to bridges or roads which provide some form of structural support, where the Design Manual for Roads and Bridges remains appropriate.

What about Safety and Safety Audits?

Safety audits, if appropriate, should not be carried out in isolation but as an integrated part of a quality audit that also checks the scheme's compliance with its objectives, and equalities legislation. The audit should identify safety risks and the scale of these risks in relation to the impact of reducing or eliminating the risk on safety and other scheme objectives. For example, whilst installation of guard railing may seem to eliminate the risk of someone unwittingly stepping off the footway into traffic, this benefit is likely to be outweighed in many locations by its negative impacts on pedestrian accessibility, safety of cyclists and streetscape/visual impact.

Do the Construction (Design and Management) Regulations 2015 still apply?

Construction (Design and Management) 2015 regulations came into force on 6 April 2015, and encompasses the applicable law which applies to the whole construction process on all construction projects, from concept, through to completion, maintenance and eventual demolition. Designers must ensure that their designs comply with this legislation and that their respective duties are carried out.

What about Road Construction Consent (RCC) and Adoption?

Provision of roads for new developments is controlled and consented by the Council through the Roads Construction Consent (RCC) process, governed by Section 21 of the Roads (Scotland) Act 1984. For the purposes of adoption, all streets are deemed to be roads under this Act. If the road is adopted, it will in the future be maintainable by the Council. In general terms, a full adoption plan is expected to be submitted by developers at the planning stage.

Will the Council adopt landscape features?

Maintenance arrangements for all planted areas should be established at an early stage, as they affect the design, including the choice of species and their locations. The approval and maintenance of proposed planting within the road boundary will be required to comply with Sections 50 and 51 of the Roads (Scotland) Act 1984. Landscape features must be included on the roads adoptions plan.

What about Sustainable Urban Drainage (SUDS) features?

The Council will generally adopt SUDS features which are included, or intended to be included within adopted roads, or adopted landscape features. It is important for SUDS designers to engage with the Council at an early stage. 'SUDS for Roads' guidance contains expert advice for designers on this matter. Further information and guidance should be sought from the Detailed Design Manual SUDS (factsheet C5-2).

What about private streets?

Where a developer wishes streets to remain privately maintained, conditions will be incorporated into the planning approval to require the developer to design, construct and to make arrangements for the future maintenance of the new streets to a standard acceptable to the authority and residents of the development. This agreement may still require the submission and approval of Road Construction Consent under the terms of Section 21 of the Act, and all roads serving more than 2 properties must be open for public access (i.e. not gated).

Will design and approval processes take longer?

More often than not, identifying and resolving conflicting interests/issues earlier in the design process based on the principles set out in this Guidance could actually reduce the time for the approval and implementation stages of a scheme, as the guidance follows Scottish Government policies and principles, and the Council supports their use through this Guidance.

Where can I get further help/advice?

Further advice can be sought by sending an e-mail to the following:

[*street.design@edinburgh.gov.uk*](mailto:street.design@edinburgh.gov.uk)

Appendix A: Information required for submission with a planning application

The following information is provided as a guide to the type of technical information that may be required for submission with a planning application.

The list is non exhaustive and additional information may be sought. In order to ensure planning applications can be progressed within agreed

timescales, applicants should agree with Planning the information to be submitted in advance of making a planning application.

SITE & CONTEXT APPRAISALS

Description	What should it contain / do?	Scale	What it is required for?
Historic/ Archeological Surveys	Initial survey & appraisals of archeology and the historic environment relevant to the site context.	N/A	For developments where there may be sensitivities with regard to archaeology and the historic environment.
Landscape/Townscape & Visual Appraisals	See chapter 1.2 of this Guidance.	N/A	Appraisals are required for all applications.
Flood Risk Assessment	Refer to flooding guidance set out on the Council's website. See Chapter 3.7 of this Guidance.	N/A	Applications for development on land with a flood risk.
Surface Water Management Plan	Refer to flooding guidance set out on the Council's website. See Chapter 3.7 of this Guidance.	N/A	For all applications.
Habitat and protected species surveys	Surveys in accordance with the requirements of the Biodiversity section of this guidance, set out in Chapter 3.4.	N/A	For all applications unless identified that it is not required at pre-application.
Tree protection information	A survey in accordance with BS 5837:2012.	1:200 preferred. 1:500 may be appropriate on larger sites where 1:200 would not fit onto A1 paper.	For sites where there are trees with a stem of more than 75mm in diameter at 1.5m above ground level on or within 12m of the site.
	A tree constraints plan in accordance with BS 5837:2012.		
Stage 1 quality audit	<p>A strategic assessment of a range of issues relating to the design of streets that can include the following issues:</p> <ul style="list-style-type: none"> • an audit of visual quality; • a review of how the street will be used by the community; • a road safety audit; • an inclusive access audit; • a walking audit; and • a cycle audit. <p>Designing Streets (page 58) contains more information about Quality Audits.</p>	N/A	For applications for planning permission in principle that involve the design of streets and routes particularly where there are tensions between different objectives.

SITE & CONTEXT APPRAISALS

Description	What should it contain / do?	Scale	What it is required for?												
Stage 2 quality audit	In accordance with the Transport for Scotland - Transport Assessment & Implementation: A Guide.	N/A	Applications for full planning permission and approvals of matters specified in condition that involve the design of streets and routes.												
Transport information	<p>For all developments the following information is required:</p> <ul style="list-style-type: none"> • type and scale of development; • detailed accommodation schedule; • identification of existing transport information; • details of proposed access for pedestrians and cyclists; • details of proposed access to public transport facilities; • comprehensive parking information; and • mitigation measures (when low levels of parking proposed). <p>For larger developments the following additional transport information will be required:</p> <ul style="list-style-type: none"> • trip generation and modal split forecasts; • analysis of traffic levels; • analysis of potential safety issues; • how car use will be managed; • measures considered to influence travel behaviour; • demand management measures; and • environmental impacts of transport. 	N/A	<p>Transport information is required for all developments.</p> <p>The following are indicative of when additional transport information is required:</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%;">Description</td> <td>Gross Floor Area Greater than:</td> </tr> <tr> <td>Housing</td> <td>more than 50 dwellings</td> </tr> <tr> <td>Business</td> <td>10,000m²</td> </tr> <tr> <td>Industry</td> <td>10,000m²</td> </tr> <tr> <td>Storage and distribution</td> <td>10,000m²</td> </tr> <tr> <td>Other developments</td> <td>5,000m²</td> </tr> </table>	Description	Gross Floor Area Greater than:	Housing	more than 50 dwellings	Business	10,000m ²	Industry	10,000m ²	Storage and distribution	10,000m ²	Other developments	5,000m ²
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Housing	more than 50 dwellings														
Business	10,000m ²														
Industry	10,000m ²														
Storage and distribution	10,000m ²														
Other developments	5,000m ²														
Noise Impact Assessment	In accordance with requirements of Scottish Government's <i>Technical Advice Note—Assessment of Noise</i> .	N/A	Pre application advice will help determine whether this assessment is required.												

INFORMATION REQUIRED

Description	What should it contain / do?	Scale	What it is required for?
Location Plan	This must identify the land to which the proposal relates and its situation in relation to the locality - in particular in relation to neighbouring land (land which has a common boundary or within 20 metres of the boundary of the land for which development is proposed).	1:1250 (1:2500 acceptable in countryside).	For all planning applications.
Existing and proposed floor plans	<ul style="list-style-type: none"> a) the direction of North; b) explain the proposal in detail; c) show where existing buildings or walls are to be demolished; d) show details of the existing building(s) as well as those for the proposed development; and e) show new buildings in context with adjacent buildings (including property numbers where applicable). 	1:100 (1:200 may be acceptable for very large buildings where 1:100 would not fit on an A1 sheet) (A scale bar should be shown).	For all full planning applications and where relevant for approval of matters specified in condition (AMC) applications. These may also be required for some planning permission in principle applications. Pre application advice can be provided to determine this.
Existing and proposed elevations	<ul style="list-style-type: none"> a) show the proposed works in relation to what is already there; b) show all sides of the proposal; c) indicate, where possible, the proposed building materials and the style, materials and finish of windows and doors; d) include blank elevations (if only to show that this is in fact the case); and e) where a proposed elevation adjoins another building or is in close proximity, the drawings should clearly show the relationship between the buildings, and detail the positions of the openings on each property. 		
Existing and proposed site sections	<ul style="list-style-type: none"> a) show a cross section(s) through the proposed building(s); b) where a proposal involves a change in ground levels, show both existing and finished levels to include details of foundations and eaves and how encroachment onto adjoining land is to be avoided; c) include full information to demonstrate how proposed buildings relate to existing site levels and neighbouring development; and d) show existing site levels and finished floor levels (with levels related to a fixed datum point off site), and also show the proposals in relation to adjoining buildings (unless, in the case of development of an existing house, the levels are evident from floor plans and elevations). 	1:100 (1:200 may be acceptable for very large buildings where 1:100 would not fit on an A1 sheet). (A scale bar should be shown).	For all full planning applications and where relevant for approval of matters specified in condition (AMC) applications. These may also be required for some planning permission in principle applications. Pre application advice can be provided to determine this.
Roof plans	To show the shape of the roof and specifying details such as the roofing material, vents and their location.		
Topographical survey (existing & proposed)	Existing & proposed spot heights across the site and adjacent to the site.	1:500 or 1:200 (a scale bar should be shown).	For all planning applications (with exception of changes of use) where levels need to be considered in detail.

INFORMATION REQUIRED

Description	What should it contain / do?	Scale	What it is required for?
Soft landscape plan	Plan that show the details of all proposed planting complete with accompanying planting schedule. This should include levels against Ordnance Survey datum. As well as the planted size, the eventual tree canopy spread should be shown on drawings.	1:200 preferred. 1:500 may be appropriate on larger sites where	For all applications where soft landscape is proposed. For applications with limited soft landscape this can be combined with a hard landscape plan.
Hard landscape plan	Plan that shows the proposed hard landscape materials including surface finishes, street furniture, boundary treatments. This should include levels against Ordnance Survey datum.	1:200 would not fit onto A1 paper.	For all applications where hard landscape is proposed. For applications with limited hard landscape this can be combined with a soft landscape plan.
Tree protection plan	Plan showing trees to be protected including tree protection measures - see chapter 3.5 of this Guidance.		For all applications where existing trees require protection.
Design Statement	See chapter 1.3 Assessments & Statements of this Guidance.		Applications for planning permission for local development within: a) a World Heritage Site; b) a conservation area; c) a historic garden or designed landscape; d) a National Scenic Area; e) the site of a scheduled monument; or f) the curtilage of a category A listed building will require a design statement unless the development comprises the alteration or extension of an existing building.
Sustainability Statement Form	A completed City of Edinburgh Council 'S1 Sustainability Statement Form'.		To determine sustainability measures for non-householder applications.
Design and access statement	See chapter 1.3 Assessments & Statements of this Guidance.		Applications for planning permission for major developments. Not required for applications for planning permission in principle.
Environmental protection surveys	<ul style="list-style-type: none"> Noise Impact Assessment - in accordance with requirements of Scottish Government's 'Technical Advice Note – Assessment of Noise'; Odour Impact Assessment - in accordance with requirements with the IAQM's 'Guidance of the assessment of odour for planning'; Air Quality Impact Assessment - in accordance with requirements of Scottish Government's 'Delivering Cleaner Air for Scotland - Development Planning and Development Management of Guidance from Environmental Protection Scotland and the Royal Town Planning Institute'; and Ground contamination – in accordance with PAN 33 'Development of Contaminated Land'. 		For all applications where noise, odour, air quality and ground contamination may be an issue.
Environmental Impact Assessment (EIA)	Many of the above noted appraisals will form part of an EIA if one is deemed to be required. A Screening Opinion should be sought from the Planning Authority to determine what appraisals will be required as part of the EIA. Refer to Scottish Government's guidance on EIAs .		To assess the environmental impacts of all developments as defined under Schedule 1 and developments under Schedule 2 where they are likely to have a significant effect on the environment.